

# CYNTHIA B FORTE

BERKELEY COUNTY

REGISTER OF DEEDS

Po Box 6122 ~ Moncks Corner, SC 29461 (843) 719-4084

---

**\*\*\* THIS PAGE IS PART OF THE INSTRUMENT - DO NOT REMOVE \*\*\***

---



Instrument #: 2023005611

Receipt Number: 284552

Return To: JAKE WASTLER

Recorded As: MISCELLANEOUS DOCUMENT

4969 CENTRE POINTE DRIVE STE  
200

Recorded On: February 28, 2023

NORTH CHARLESTON, SC, 29418

Recorded At: 02:33:11 PM

Received From: JAKE WASTLER

Recorded By: wk10

Parties:

Book/Page: RB 4492: 1 - 12

Direct- STEPHANIE DRIVE TOWNHOMES

Total Pages: 12

Indirect- STEPHANIE DRIVE TOWNHOMES

---

**\*\*\* EXAMINED AND CHARGED AS FOLLOWS \*\*\***

---

Recording Fee: \$25.00

Tax Charge: \$0.00



*Cynthia B. Forte*

Cynthia B Forte - Register of Deeds

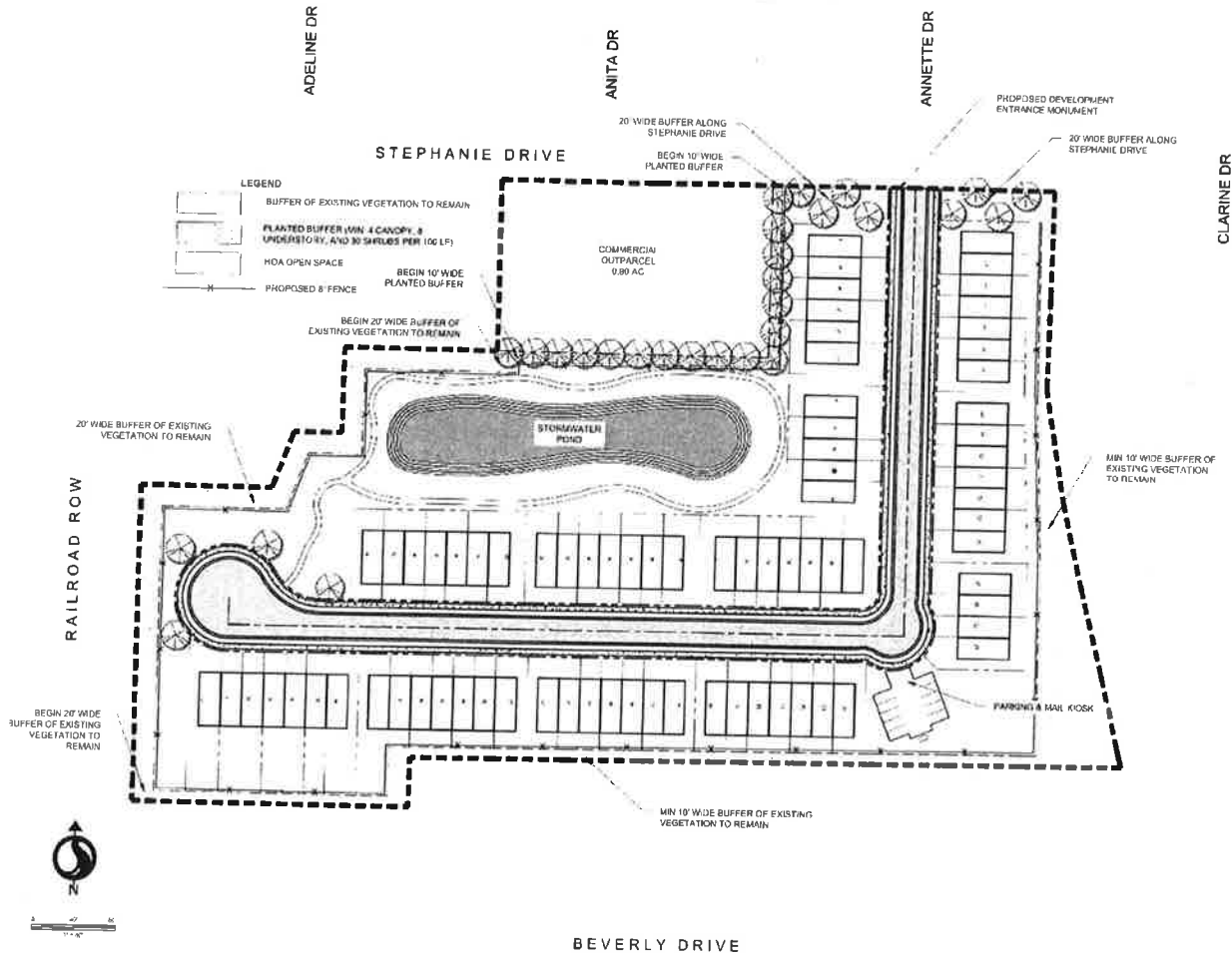
# Stephanie Drive Townhomes Planned Development Guidelines

Doc: 2023005611  
Total Pages: 12

## City of Goose Creek

December 22, 2020

Revised: March 3, 2021



**OWNED BY:**

**STYO Development**  
1 Cool Blow St  
Suite 122  
Charleston, SC 29403

**PREPARED BY:**

**Stantec**  
4969 Centre Pointe Drive  
Suite 200  
North Charleston, SC 29418

# Contents

	<b>Page</b>
<b>A. STATEMENT OF OBJECTIVES</b>	<b>3</b>
<b>B. DEVELOPMENT STANDARDS</b>	<b>3</b>
<b>C. LAND USE</b>	<b>4</b>
<b>D. IMPACT ASSESSMENT &amp; ANALYSIS</b>	<b>4</b>
<b>E. SCHEDULE</b>	<b>5</b>
<b>F. ACCESS</b>	<b>5</b>
<b>G. OPEN SPACE</b>	<b>5</b>
<b>H. GENERAL GUIDELINES</b>	
Residential Architecture	5
Decorative Site Features	6
Exterior Lighting	6
Signage	7
Parking Requirements	7
Building Height	7
Offsite Improvements	7
Landscaping & Buffering Requirements	7
Tree Protection	7
<b>I. APPENDICES</b>	
Location Map	<b>8</b>
Current Site Zoning Map	<b>9</b>
Plat of Record	<b>10</b>
Conceptual Site Plan	<b>11</b>

## **A. Statement of Objectives**

The goal of the Stephanie Drive Townhome Development plan is to expand within the existing residential area with an affordable townhome neighborhood. The total acreage of the development is 9.25 acres and the site is bounded by railroad right of way and commercial parcels to the west, single family homes to the east, and south, and Stephanie Drive to the north. Site access will be provided via Stephanie Drive which ties to 52/N Goose Creek Blvd. The proposed development plan will provide much needed affordable housing in the area. The townhomes are clustered to allow for larger contiguous areas of open space, with proposed commercial use fronting on Stephanie Drive. The neighborhood will complement the existing adjacent commercial and residential uses and will help propel further enhancement of the surrounding area.

## **B. Development Standards**

<b>Property Address:</b>	<b>200 Stephanie Road Goose Creek, SC 29445</b>
<b>TMS/Site Area:</b>	Located within the City of Goose Creek & Berkeley County, SC TMS#235-13-02-004 (3.20 acres) TMS#235-13-02-019 (3.00 acres) TMS#235-13-02-060 (3.05 acres) TMS#235-13-02-053 (0.24 acres)
<b>PD Area:</b>	<b>9.49 Acres</b>
<b>Existing Zoning:</b>	<u>R-3 High Density Residential (Goose Creek)</u> TMS#235-13-02-004 (3.20 acres) TMS#235-13-02-060 (3.05 acres) <u>GC General Commercial (Berkeley County)</u> TMS#235-13-02-019 (3.00 acres) TMS#235-13-02-053 (0.24 acres)
<b>Proposed Zoning:</b>	Planned Development (Stephanie Road Townhomes) <u>Residential Development (8.50 acres) &amp; GC General Commercial Outparcel (0.99 acres)</u>
<b>Existing Use:</b>	Undeveloped / Commercial and Residential
<b>Proposed Use:</b>	Single Family Residential-Attached & Commercial
<b>Minimum Lot Area:</b>	1,700 Square Feet
<b>Maximum Density:</b>	10 Units per Acre
<b>Maximum Building Height:</b>	45 Feet to Peak of Roof (From Average Foundation Grade)
<b>Maximum Building Coverage:</b>	75% of Lot
<b>Open Space Calculation:</b>	9.49 AC x .20 = 1.90 AC minimum.
<b>Open Space Description:</b>	A minimum of 20% of the site is dedicated to active open space, centralized within the community, and perimeter buffers.

**C. Land Use**

<b>Land Use Table</b>	
<b>Total Acreage</b>	9.49 Acres
<b>Commercial Acreage</b>	0.99 Acres
<b>Residential Acreage</b>	8.50 Acres
<b>Total Lots</b>	78
<b>Maximum Density</b>	10 units/acre
<b>Total Right of Way</b>	1.20 Acres
<b>Total Lot Area</b>	4.15 Acres
<b>Total HOA</b>	3.15 Acres
Wetland Area	N/A
Wetland Buffer	N/A
Open Space	2.35 Acres
Pond Area	0.80 Acres
List of Permissible Uses	Townhomes / Commercial
<b>Lot Dimensional Standards</b>	
<b>Minimum Lot Area</b>	1,700 Square Feet
<b>Minimum Lot Width</b>	19 Feet
<b>Minimum Lot Depth</b>	90 Feet
<b>Setbacks</b>	
Front	18' Feet ( <i>Stairs &amp; roof overhang allowed in setback</i> )
Side (on end units)	5 Feet ( <i>10' minimum between building units</i> ) ( <i>Roof overhangs, HVAC units, meters &amp; electric panels allowed in setbacks</i> )
Rear	15' Feet ( <i>HVAC units allowed in setbacks</i> )
<b>Maximum Building Coverage</b>	75%
<b>Maximum Height</b>	45 Feet to Peak of Roof (From Average Foundation Grade)

**D. Impact Assessment/Analysis**

The impact of this development on existing public facilities and services will be minimal since utility mains are stubbed to the project limits and the surrounding properties are single family, or rail right of way. Primary access will be via Stephanie Drive from Highway 52/N Goose Creek Blvd. Water and sewer service for this development will tie into existing public water mains and sewer manholes adjacent to the site. The existing mains will be extended within the new road right of way to service the proposed homes. Water will be provided by Goose Creek Water and sewer service will be provided by Berkeley County Water & Sanitation.

The proposed roadway section throughout the development is shall have a 50' right-of-way, which includes 5' sidewalks along both sides of the roadway. Applicant will coordinate with SCDOT regarding any transportation impacts. There are no delineated jurisdictional wetlands present on the property.

**Stormwater:** The overall site area is 9.49 acres of partially developed land combining four adjacent parcels in the City of Goose Creek & Berkeley County, SC. Most of the site is wooded and relatively flat. Post-development stormwater for the entire development will be collected and conveyed via a piped drainage system to the proposed central stormwater pond. Site drainage will be masterplanned to ensure the shared pond is adequately sized to handle runoff from both the residential and commercial portions of the development and meet all applicable stormwater requirements. This pond will outfall into the existing ditch to the west. Public drainage easements shall be 20' and private HOA easements can be reduced to 10'.

## **E. Schedule**

Upon approval of annexing one parcel into the City of Goose Creek, preliminary platting through the City, and approved utilities in place, construction would begin with installation of infrastructure and will develop in a single phase, beginning with the road and HOA being finalized before certification of occupancy on lots.

## **F. Access**

All proposed lots will have direct driveway access to the proposed 50' road rights-of-way. The residential portion of the overall development will have one point of access to Stephanie Drive and the commercial parcel will have one direct point of access to Stephanie Drive.

## **G. Open Space**

This development has been designed to maximize open space and is laid out to ensure this space is easily accessible for the residents to enjoy. In lieu of providing small, interconnected ponds, this site centers around a single large pond that will serve as an amenity to the homeowners. The developer is proposing to install a walking trail throughout this green space and around the pond, as well as installing a playground area to activate this open space. Benches will also be added to make this a place for gathering. Buffers, consistent with the City of Goose Creek requirements, will be provided around the perimeter of the development and between the residential and commercial uses.

A Home Owner's Association (HOA) Board of Directors will be created for the planned development which would manage the residential roads, the drainage system, and all other common/amenity areas including open space areas. The HOA will be managed by the developer, collecting all fees and handling HOA responsibilities until all lots within the residential development are sold, at which time duties will be turned over to a successor chosen by the HOA. A minimum of 20% open space will be maintained by the HOA for the development.

The HOA is responsible for maintaining all common areas, associated furnishings, pathways and improvements. They will also fund any private lighting repairs, landscaping, buffers, fences, ponds and the overall drainage system which serve the development. All of these items will be maintained by the developer until the ongoing maintenance is assumed by the HOA. Since the roadway will be private for the subdivision, the HOA must be setup along with typical required escrow account for proper maintenance of infrastructure, with the covenants to be agreed upon by the developer and the City.

## **H. General Guidelines**

Each building within this Planned Development will be clustered so that each will have a reasonable views and privacy. Consideration will be given to topography, the protection of existing trees, and/or other aesthetic or environmental conditions. Tree protection and mitigation requirements to be satisfied per the City of Goose Creek Zoning Ordinance current standards at the time of development.

### **Residential Architecture**

Below is a detailed breakdown of the architectural design criteria for the residential portion of this project -

- No more than 7 dwelling units shall be attached.
- Façade materials may not include vinyl of any thickness below 0.042". Dutchlap and beaded styles are prohibited. Acceptable vinyl to have a thickness of 0.042" or greater. Vinyl siding to be a minimum of double 4.5" profile, clapboard style with greater than ½" projections such as the "Certainteed Mainstreet" or equivalent as approved by Planning Director.
- Porches/stoops or a variety of door overhangs should be incorporated on all front facades to create a neighborly look.
- A combination of hip and gable roofs should be incorporated in roof design to avoid monotony.
- Flat roofs are prohibited on townhome units.
- Front and side elevations and high visibility rear elevation treatments should avoid large expanses of flat, vertical wall through the use of such elements as trim boards on window frames, arched elements, decorative panels, balconies, bay windows and/or projections.
- All exposed wood shall be stained or painted, and any exposed supporting columns shall be cased with finished covering/trim.

- Color Palette: As approved by the Director of Planning.
- Architectural elements consistent with the chosen style should be applied on all sides of the building(s), not just the front facade.
- Each unit shall have a garage.
- Each unit allowed an 8 ft x 10 ft rear concrete patio. To enhance privacy, a partition fence between units measuring a minimum of 6 ft tall & 8 ft long shall be installed on common property line. Fencing material to be consistent with site perimeter fencing.
- No elevated or lumber decks allowed.

### **Decorative Site Features**

- Primary vehicular entries into the residential project site should be through an entry driveway using identifiable colored, textured, and/or permeable paving treatments.
- A clearly visible and well-designed project entry should be created by incorporating decorative paving, accent landscaping, and/or signage to visually link the project site entry to the building(s) and shall be approved by the Director of Planning.
- As shown on the PD Concept Plan, 8' tall perimeter treated-wood fence to be installed with 6"x6" minimum fence posts. Perimeter fence to be painted by color approved by Director of Planning

### **Exterior Lighting**

Exterior Site Lighting shall provide security while avoiding light pollution. There should be no spillover to adjacent properties and a lighting plan must be approved through the HOA and comply with the City of Goose Creek standards.

### **Signage**

Signage for the development will be compliant with the City of Goose Creek standards.

### **Parking Requirements**

Parking is to be provided per the City of Goose Creek Zoning Ordinance current standards at the time of development. Two off-street spaces shall be provided per unit. The minimum driveway length for each residential unit shall be 20 ft measured from back of sidewalk to front of garage door, as to not impeded pedestrian travel on proposed site sidewalks. Guest/overflow parking is very desirable in townhome developments and will be provided onsite to benefit homeowners.

### **Building Height**

Section B of this document describe building height. Building height is measured from the average foundation grade, to the top of the roof. Unoccupied portions of building, including decorative cupolas and/or fireplace chimneys may exceed this height, with prior approval from the developer or HOA.

### **Offsite Improvements**

This proposed development will ultimately have two access points onto Stephanie Drive – a dedicated right-of-way connection to the residential portion and a driveway for the commercial outparcel. To enhance the community, the developer is proposing streetscape improvements along the Stephanie Drive frontage. This shall include re-establishing the Stephanie Drive roadway by eliminating the abandoned Blossom Street access point and provide fluid transitions to the two new curb cuts. These beautification efforts will also include providing lighting and landscaping along the frontage of Stephanie Drive.

## **Landscaping & Buffering Requirements**

Existing trees shall be preserved to serve as a perimeter buffer between differing land uses adjacent to the site. A perimeter 8' stockade fence shall be provided and maintained by HOA along the railroad rights of way to the west. There shall be a 10-foot wide landscape buffer with an 8-foot high stockade fence as approved by the Director of Planning between the proposed development and adjacent residential parcels to the south and east. The developer shall maintain a minimum 10-foot wide buffer of existing vegetation and a 8-foot high stockade fence approved by the Director of Planning along the south and east property lines. A 20' wide landscape buffer (no fence required) shall be provided along the residential portion of the Stephanie Drive frontage and a 10' wide landscape buffershall be provided along the commercial portion of the Stephanie Drive frontage.

Street trees will be installed on each side of the street at a minimum interval of one tree per proposed building. All street tree and landscape tree caliper inches provided shall count towards mitigation inches. Landscaping plan shall be provided and submitted to the City of Goose Creek and be approved by the Director of Planning.

All front yards shall be landscaped prior to closing.

The proposed Stormwater Pond shall include a 5-foot perimeter path that shall be constructed of a semi-pervious material.

The 50-foot ROW for the residential streets shall include a 5-foot concrete sidewalk along both sides of the street.

## **Tree Protection**

The proposed planned development is located on undeveloped parcels and the developer shall comply with the provisions of the City of Goose Creek Tree Protection and Preservation requirements



# I. Appendices

## Location Map



**Current Site Zoning Map (City of Goose Creek R-3/ Berkeley County GC)**





