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NEW BUSINESS: MAJOR APPLICATIONS

2021-087 EMOD

MITSUBISHI

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# PERMIT APPLICATION CITY OF GOOSE CREEK, SOUTH CAROLINA

Office Use Only: Permit Numbers	
X _____	E _____
B _____	M _____
G _____	SP _____
P _____	DP _____
BL# _____	

Street Address <u>208 South Goose Creek Boulevard</u>	Construction Group/Classification <u>Repair</u>
Tax Map Number <u>29464-3564</u>	Lot _____ Block _____ Subdivision _____
Property Owner <u>Goose Creek Mitsubishi</u>	Phone <u>[REDACTED]</u>
Contractor <u>Resident LLC</u>	Phone <u>[REDACTED]</u>
Address <u>[REDACTED]</u>	Contractor's State License # <u>120843</u>
Owner Email <u>[REDACTED]</u>	Contractor Email <u>[REDACTED]</u>

**Scope of Work** (Please use reverse side of this form for a detailed description of work) over →

Use of Improvement  Single Family  Duplex  Apartment  Commercial  Other \_\_\_\_\_

1<sup>st</sup> Floor Heated Sq. Ft. 5600 2<sup>nd</sup> Floor Heated Sq. Ft. \_\_\_\_\_ 3<sup>rd</sup> Floor Heated/Unheated(please circle) Sq. Ft. \_\_\_\_\_

Garage Sq. Ft. \_\_\_\_\_ Attached/Detached (please circle) Heated/Unheated(please circle) Room Over Garage Sq. Ft. \_\_\_\_\_

Carport Sq. Ft. \_\_\_\_\_ Porch Sq. Ft. \_\_\_\_\_ Patio Sq. Ft. \_\_\_\_\_

Number of: Baths 1 Bedrooms \_\_\_\_\_ Fireplace \_\_\_\_\_ Rooms \_\_\_\_\_ Stories \_\_\_\_\_ Units \_\_\_\_\_

Type of Fuel:  Electric - #Amps \_\_\_\_\_  Gas - # Outlets \_\_\_\_\_ Outlet Type: Range/H2O/Heat/Fire/Grill/Other \_\_\_\_\_

Cost of: Mechanical \$ \_\_\_\_\_ Land \$ \_\_\_\_\_ Construction \$ [REDACTED]

### OFFICE USE ONLY

Primary Structure (sq. ft. \_\_\_\_\_ )  
 Cost per sq. ft. \$ \_\_\_\_\_ Construction value \$ \_\_\_\_\_

Secondary Structure (sq. ft. \_\_\_\_\_ )  
 Cost per sq. ft. \$ \_\_\_\_\_ Construction value \$ \_\_\_\_\_

**Application Fee (Non-refundable) \$ 25.00**

**PERMIT FEES**

Primary Structure Permit Fee	\$ _____
Primary Structure Plan Review Fee	\$ _____
Secondary Structure Permit Fee	\$ _____
Secondary Structure Plan Review Fee	\$ _____
Impact Fee Res/Multi - Other	\$ _____
Impact Fee Com/Off/Ind sq. ft. _____	\$ _____
Electrical Permit Fee	\$ _____
Plumbing Permit Fee	\$ _____
_____ sq. ft. x 2.30 = _____	Construction Value
Mechanical Permit Fee	\$ _____
Gas Permit Fee	\$ _____
Pool Permit Fee	\$ _____
Dumpster Fee	\$ _____
<b>Total Fee Due</b>	<b>\$ _____</b>

Notes:

Zoning Administrator \_\_\_\_\_ Date \_\_\_\_\_

Date of ARB Approval \_\_\_\_\_

Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

Permit Technician \_\_\_\_\_ Date \_\_\_\_\_

Scope of Work Exterior painting. HVAC Change Out, Parking Lot Repair per Goose Creek ARB and SC Building Code

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Are there recorded covenants and restrictions for this property (ex: HOA) Yes \_\_\_\_\_ No X

Do these covenants and restrictions prohibit any of the features being constructed per this permit? Yes \_\_\_\_\_ No \_\_\_\_\_

Windows –DP Rating: NA # Windows Replaced: NA #Doors Replaced: NA

Reroof Color and/or Style Change: Yes/No If yes, please explain: No

HVAC Changeout: Yes/No Location of Exterior System: Yes. Side of building

Demolition: Yes \_\_\_\_\_ No X If yes, Attach copy of Asbestos Survey and DHEC Demolition Permit

Fire Sprinkler System: Yes \_\_\_\_\_ No X If yes, Attach State Fire Marshall approved plans to this application

**DEMOLITION PERMIT INFORMATION**

**ASBESTOS:**

S.C. DHEC Regulation 61-86.1 states that prior to commencing demolition or major renovations of regulated facilities or structures, contact the S.C. DHEC Asbestos Section to determine if there are any asbestos abatement requirements that would require permitting through their offices. For more information visit S.C. DHEC at 803-898-4289

**LEAD PAINT:**

Before commencing demolition, contact the Land and Waste Management of S.C. DHEC 803-896-4203 to determine identification and disposal requirements for lead contaminate construction waste.

I understand and acknowledge this information. Initial: JDS

*Applicant Certification*

I, Jeffrey D. Stasz understand that if my scope of work changes in any way after the submittal and approval of this permit, I must contact the Building Permits Department for additional permits. If I perform work not permitted under this permit or another permit issued to me, a stop work order will be placed on the site of construction and all work will cease until proper permits are obtained. Permit becomes void if work authorized is not begun and/or completed within six months of the permit issue date. I have examined this application and certify it to be true and correct. I agree the work will be accomplished in accordance with all city, state, and federal codes or laws regulating construction or the performance thereof.

Jeffrey D. Stasz  
Signature of Contractor/Agent/Owner

01\*/05/2022  
Date

Managing Partner  
Title



Town of Goose Creek

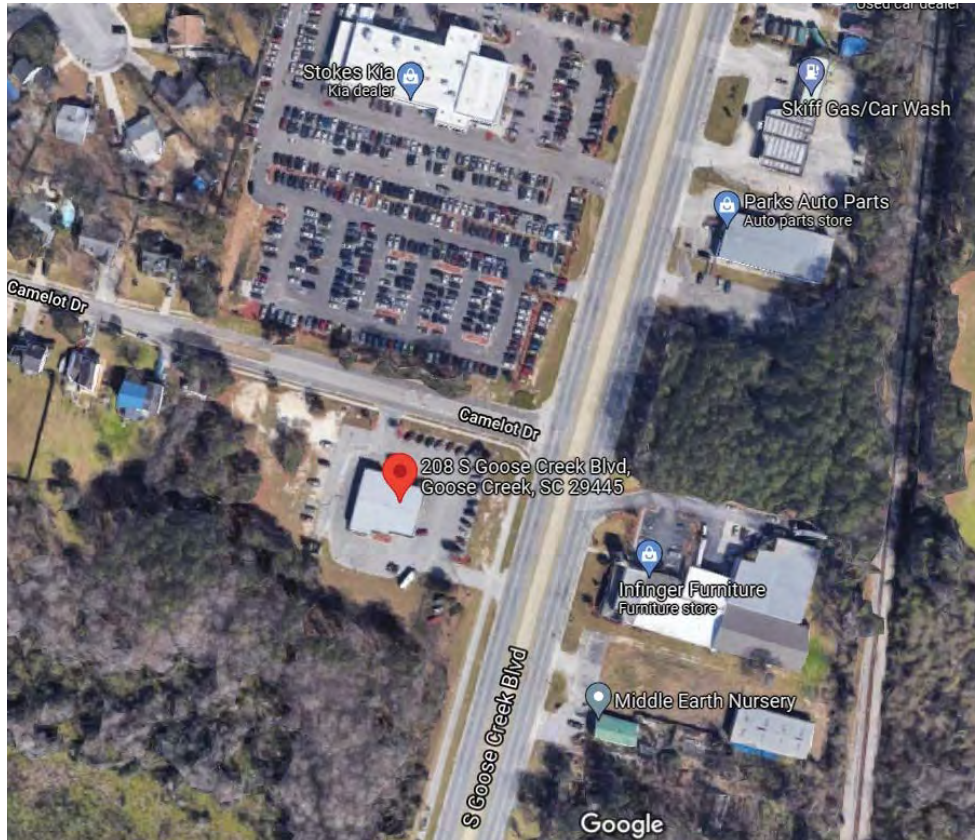
ARB Submission

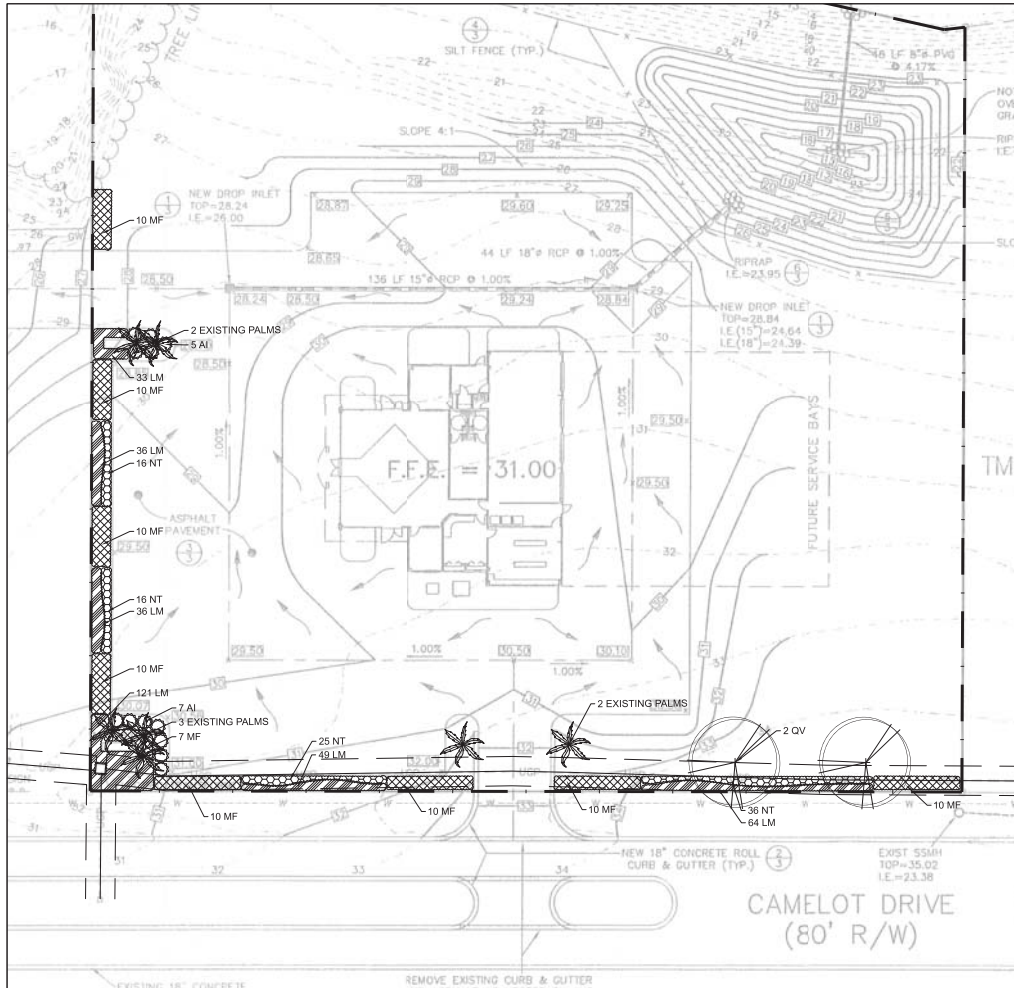
TMS # 2431601048

Address: 208 South Goose Creek Blvd. Goose Creek, SC 29445

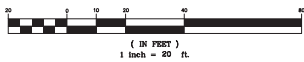
Zoning: Goose Creek – GC

Arial Photo:



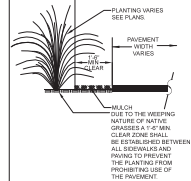
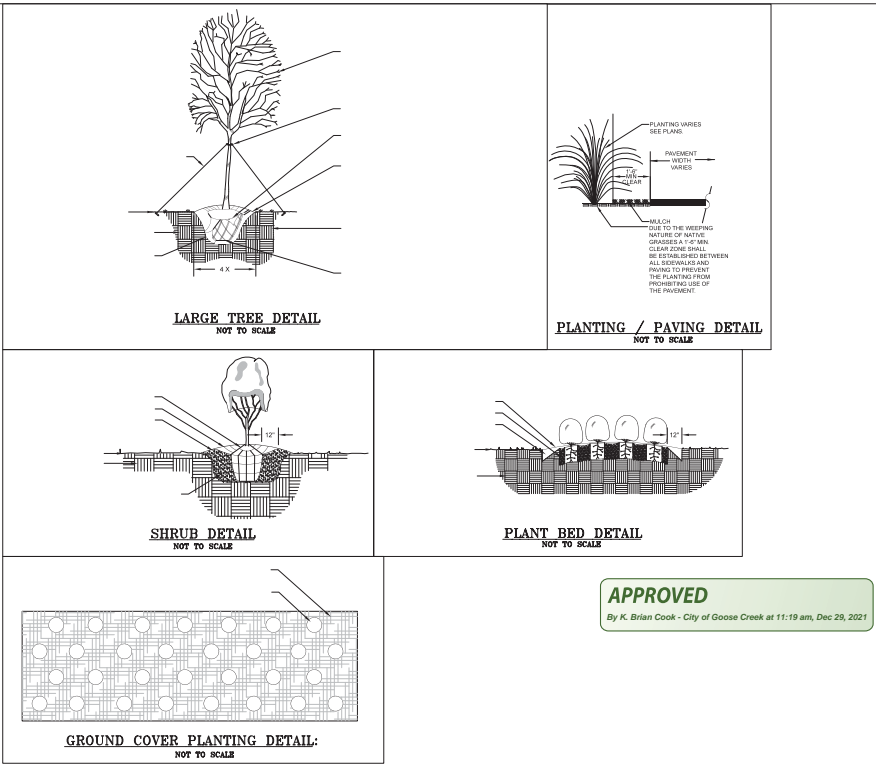


GRAPHIC SCALE



PLANT SCHEDULE

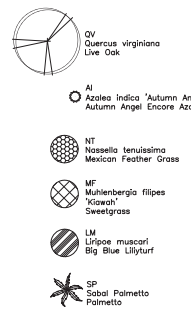
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	HEIGHT	SPREAD	ROOT	REMARKS
<b>TREES</b>								
QV	<i>Quercus virginiana</i>	Live Oak	2	2.5"	10'-12'	8'-10'	BB	
<b>SHRUBS</b>								
AI	<i>Azalea indica 'Autumn Angel'</i>	Autumn Angel Encore Azalea	12	3 Gal.	24"-30"	18"-24"	Cont.	
<b>GROUND COVERS, GRASSES &amp; SEASONAL COLOR</b>								
MF	<i>Muhlenbergia filipes 'Kiwah Sweetgrass'</i>	Kiwah Sweetgrass	87	1 Gal.	18"-24"	24"-30"	Cont.	Space 36" O.C.
LM	<i>Liriope muscari 'Big Blue'</i>	Big Blue Lilyturf	339	1 Gal.	18"-24"	12"-18"	Cont.	Space 18" O.C.
NT	<i>Nassella tenuissima</i>	Mexican Feather Grass	93	1 Gal.	18"-24"	12"-18"	Cont.	Space 24" O.C.



PLANTING / PAVING DETAIL  
NOT TO SCALE

**APPROVED**  
By K. Brian Cook - City of Goose Creek at 11:19 am, Dec 29, 2021

PLANT LEGEND



GENERAL PLANTING NOTES:

- The materials list was prepared for estimating purposes, contractor shall make own quantity take-off using drawings and specifications to determine quantities to his satisfaction, reporting promptly any discrepancies which may affect bidding.
- The Contractor is advised to visit the site and verify field conditions.
- The Contractor shall be responsible for obtaining all licenses, permits, and permit drawings required for the performance of his job.
- All work shall be performed in accordance with applicable building codes.
- The Contractor shall be responsible for verifying all utility locations. Contact PUPS (Palmetto Utility Protection Service @ 811) three days prior to digging.
- Root types may be freely substituted in case of balled and burlapped or container grown, all other specifications to remain unchanged.
- Contractor to verify that all plant materials are available as specified when proposal is submitted.
- See tree, shrub, and ground cover planting details and special provisions for planting specifications.
- Contractor shall test soil pH and conditions for all soil areas to insure that proper soil requirements are met for the sodded lawn. Soil shall be amended by contractor as indicated by soil test and specifications to achieve proper soil conditions.
- Contractor is responsible for performing percolation test on planting areas prior to beginning planting operations, and reporting results to the landscape architect.
- Contractor shall stake out all shrub bed lines, tree locations, and shrub groupings for approval by Landscape Architect before beginning planting operations. If planting occurs without approval, relocation of plantings requested by Landscape Architect shall be done at Contractor's expense.
- Existing ecology and aesthetics will often require field adjustments to the plan to fit the site. Stakes by Contractor and field adjustments by the Landscape Architect are absolutely necessary.
- Soil mix shall be 20% peat moss, 40% top soil, and 40% sandy loam.
- All shrub beds to receive 3" deep mulch.
- Contractor to maintain the plantings and control weeds in mulch areas through the duration of construction until final acceptance.
- Planting shall be guaranteed to have acceptable appearance, to be healthy and exhibit normal growth for a period of one year after final acceptance of work, or per agreement with Owner.
- Due to the extent of the growing season, all stakes, wires, and hoses shall be removed after the completion of the first growing season, unless otherwise specified.
- In the Plant Schedule, plants noted as "specimen", shall be selected by the Landscape Architect at the nursery or photos of the planting stock shall be selected by the Landscape Architect.
- Substituted plant species shall have similar character as original plant and be authorized by the Landscape Architect.
- Plant bed shall be tested for pH and amended prior to installation.
- Plant sizes and species may vary due to availability. Changes to plant sizes and species must be approved by the Landscape Architect.
- All tree and shrubs shall conform to accepted standards established by the American Nursery and Landscape Association.
- Contractor shall coordinate with all other trades on site for any required items to complete the landscape and irrigation including but not limited to clock location, power supply, conduit runs, back flow preventer, etc.
- All landscape bed finish grades adjacent to pavement shall be 1" below hardscape to prevent runoff and erosion onto pavement.
- Contractor shall be responsible for removal and disposal of all existing landscape materials where trees, shrubs, and groundcover are proposed on the landscape plans. Existing irrigation system shall remain and contractor shall be responsible for any repairs / adjustments for proposed landscape.
- The maintenance and irrigation of required landscaped areas and open space areas is the responsibility of the property owner.



OVERALL LANDSCAPE PLAN  
HWY 52 AUTO DEALER  
CITY OF GOOSE CREEK  
BERKELEY COUNTY, SOUTH CAROLINA

PROJECT #  
**21105.00**

DATE: 12/02/2021  
SCALE: 1"=20'  
DESIGN: NCA  
DRAWN: NCA  
CHECK:

REVISIONS

Proposed Color

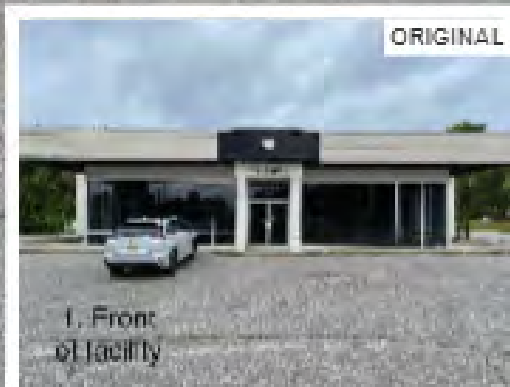
Sherwin Williams Repose Gray (7015)



Created with



1. Front  
of facility



✓ FEATURED IN SCENE

SW 7015  
**Repose Gray**  
Locator Number: 244-C1



**SHERWIN-WILLIAMS.**

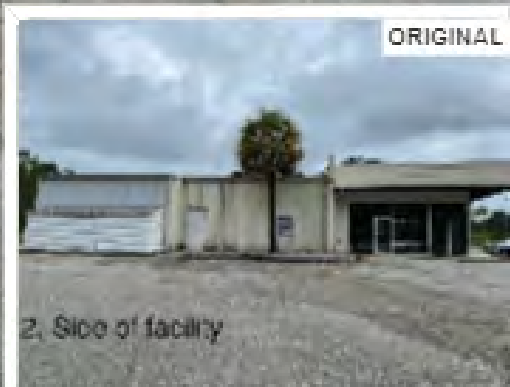
Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.

Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.

Created with



## 2. Side of facility



✓ FEATURED IN SCENE

SW 7015  
**Repose Gray**  
Locator Number: 244-C1



**SHERWIN-WILLIAMS.**

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.

Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.





### 3. Side of facility

ORIGINAL



✓ FEATURED IN SCENE

SW 7015  
**Repose Gray**  
Locator Number: 244-C1

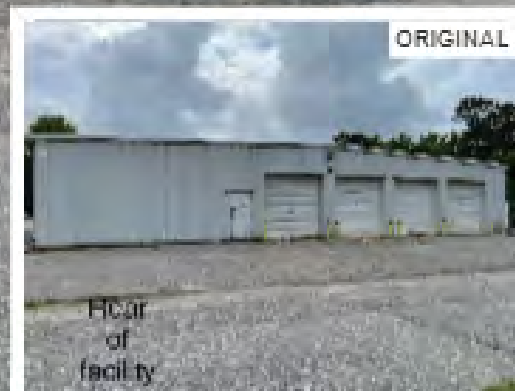


**SHERWIN-WILLIAMS.**

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.

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Created with



✓ FEATURED IN SCENE

SW 7015  
**Repose Gray**  
Locator Number: 244-C1



**SHERWIN-WILLIAMS.**

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.

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NEW BUSINESS: MAJOR APPLICATIONS

2022-007 NBLD

BILAL REHMAN

COMMERCIAL DEVELOPMENT

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**ARB SCOPE OF WORK FORM /**

**APPLICATION / INFORMATION SUMMARY**

**DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1116**

PAR Number 1768

SPP No. Goose Creek filed

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

<b>Property Address:</b> St. James Avenue, Summerville, SC 29486		<b>TMS No.:</b> 222-00-00-164
<b>Review request:</b>	<b>For:</b>	<b>Preliminary meeting date requested:</b> 12/20/2021
<input checked="" type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other	

<b>Property Owner:</b> Oaks Country Club Apartments, LLC	<b>Daytime phone:</b> [REDACTED]
<b>Applicant:</b> Bilal Rehman	<b>Daytime phone:</b> [REDACTED]
<b>ARB Meeting Representative:</b> Tim Hazelbaker, AIA and Live Oak Consultants, LLC c/o Jake Serrano	<b>Contact Information:</b> [REDACTED]
<b>Applicant's mailing address:</b> [REDACTED]	
<b>City:</b> [REDACTED]	<b>State:</b> [REDACTED] <b>Zip:</b> [REDACTED]
<b>Applicant's e-mail address:</b> [REDACTED]	
<b>Applicant's relationship:</b> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

**Materials/Colors Used:** (specific colors/manufacture #'s listed; samples must be presented to Board.  attached)  
 (Example: Building Materials, Exterior Colors, Landscaping, Lighting)

The scope of materials and colors used are repetitive on each building. Nichia Fiber Cement is the product specified with acceptable alternatives allowed. The architectural wall panels where brick is detailed is to be VintageBrick; white wash. Other manufactures are being considered for a whiter look. The architectural wall panels where white planking is detailed is to be Miraia; snow with a 9" repeat pattern. Trim in moldings and window-wall trim is to be by the manufacturer or shall be PVC. Trim will be in both black and white in Kynar factory finished metal for wall copings. A contrasting horizontal ribbed panel occurs over doorways. It is to be a ribbed panel with Kynar factory finished metal in a dark charcoal color. The storefront system is to be gray glazing in black anodized frames. Several egress doors are shown in a natural wood tone, but these are meant to be colored differently for each shop/tenant for variety.

**Scope of Work:** (please give a detailed description)

Proposed commercial development of a vacant site on St. James Avenue. The site improvements will consist of clearing and grubbing the existing wooded land, grading of the existing contours, construction of four (4) new buildings, new asphalt and concrete pavement, utilities, and landscaping.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner or the subject property or an authorized representative. I authorize the subject property to be posted and inspected and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

**Applicant's signature:** Bilal Rehman **Date:** 12/06/2021

**Print name legibly:** Bilal Rehman

# TRACT A3 COBBLESTONE PARCEL

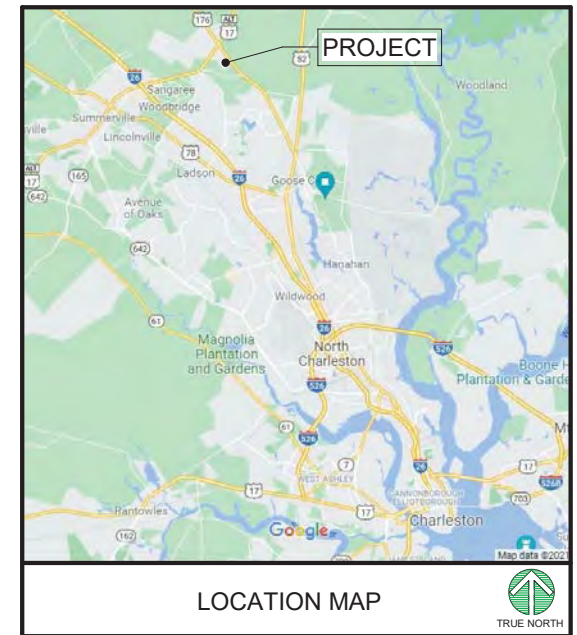
ST JAMES AVE  
GOOSE CREEK, SC 29486

DECEMBER 6, 2021

TMH PROJECT NUMBER: 210101

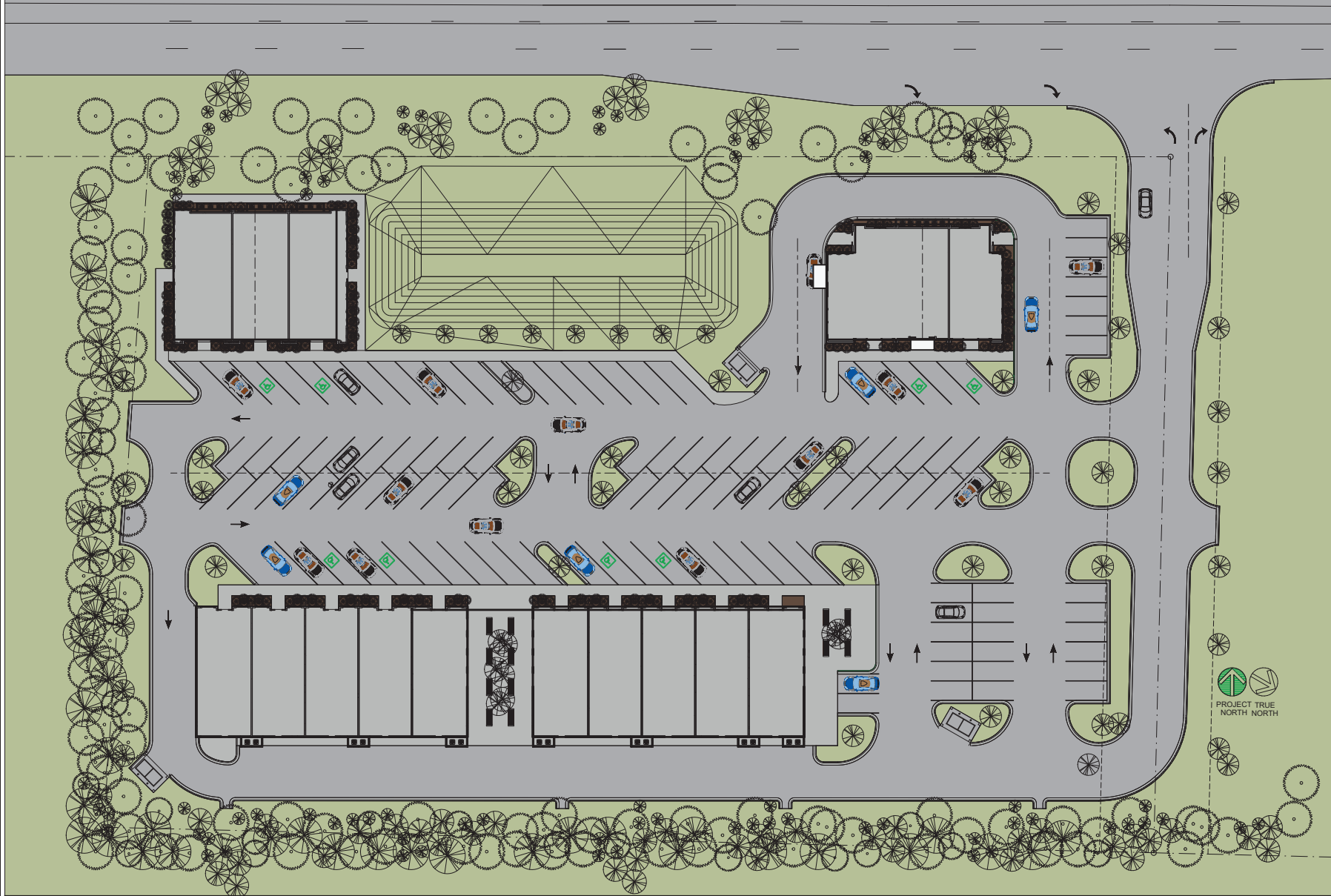
LOC PROJECT NUMBER: 2021000

DRAWING INDEX		
SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE
A0-01	COVER SHEET	DECEMBER 6, 2021
A0-02	OVERALL SITE PLAN	12/06/21
A0-03	LIFE SAFETY CODE-ANALYSIS	12/06/21
A1-01	FLOOR PLAN - ROOF PLAN - ONE	12/06/21
A1-02	FLOOR PLAN - ROOF PLAN - TWO	12/06/21
A1-03	FLOOR PLAN - ROOF PLAN - THREE	12/06/21
A3-01	EXTERIOR ELEVATIONS - ONE	12/06/21
A3-02	EXTERIOR ELEVATIONS - TWO	12/06/21
A3-03	EXTERIOR ELEVATIONS - THREE	12/06/21
A7-01	VIEWS - ONE	12/06/21
A7-02	VIEWS - TWO	12/06/21
A7-03	VIEWS - THREE	12/06/21
A7-04	VIEWS - SITE	12/06/21
A7-05	3D OVERALL SITE VIEW	12/06/21
A7-06	OVERALL SITE RENDERING	12/06/21
A7-07	SITE VIEW RENDERINGS	12/06/21
A7-08	ONE RENDERINGS	12/06/21
A7-09	TWO RENDERINGS	12/06/21
A7-10	THREE RENDERINGS	12/06/21



Tim Mac Hazelbaker, AIA  
 Architect  
 826 Old Airport Rd., Apt 330  
 Greenville, South Carolina 29607  
 678-644-3331  
 thazelbaker@gmail.com

**LOC**  
 LIVE OAK CONSULTANTS  
 Engineers, Project Managers & Planners  
 PO Box 60490  
 North Charleston, SC 29419  
 MAIN: (843) 529-8428  
 FAX: (803) 915-0341  
 www.LiveOakConsultants.com  
 Email: Info@LiveOakConsultants.com



COBBLESTONE PARCEL  
 TRACT A3

A	12/06/2021	TMH
ISSUED FOR PERMIT		
REV.	DATE	REV. BY
DESIGNER INFORMATION		
PROJ. MANAGER	JAKE M SERRANO	
DESIGNED BY	TIM MAC HAZELBAKER	
DRAWN BY	TMH	
APPROVED BY	TMH	
SCALE	1" = 20'-0"	
PROJ. NUMBER	210101	
CAD FILE		



COBBLESTONE PARCEL  
 TRACT A3  
 GOOSE CREEK, SC  
 ARCHITECTURAL  
 OVERALL SITE PLAN

A0-02

**GENERAL INFORMATION**

PROJECT NAME: CROSS COUNTY DEVELOPMENT - BUILDING #1  
 PROJECT ADDRESS: 7355 CROSS COUNTY ROAD  
 NORTH CHARLESTON, SOUTH CAROLINA 29418  
 TMH PROJECT #: 200102

PROJECT CONSISTS OF WAREHOUSE AND OFFICE SPACE DIVIDED EQUALLY WITH 3 HOUR FIRE BARRIER FOR OPTIONAL TWO TENANTS

35,685 SF TOTAL BUILDING AREA  
 27,125 ALLOWED WITH FRONTAGE INCREASE  
 EACH TENANT SPACE  
 2,240 SF OFFICE  
 15,600 SF WAREHOUSE  
 17,840 SF WAREHOUSE TOTAL EACH HALF

**NEW CONSTRUCTION:**

- A. OFFICE-EAST LAY-IN CEILING PANELS, LED LIGHT FIXTURES LOW-E GLAZING ACCESSIBLE TOILETS FOR EACH OFFICE AND WAREHOUSE. OFFICE PLAN MIRRORED - EAST AND WEST
- B. WAREHOUSE-EAST 25' - 0" STRUCTURAL BAYS WITH COLUMNS AT CENTER. CLEAR HEIGHT PER CODE 20' - 0". BATT INSULATION ON Z PURLINS LED LIGHT FIXTURES & RIGID DUCTING AND DIFFUSERS SUSPENDED FROM STRUCTURE ABOVE. TWO TRUCK-WELL DOCKS WITH LEVELERS AND SEALS -- DRIVE-IN OVERHEAD DOOR
- C. OFFICE-WEST FUTURE PLAN EQUAL TO OFFICE-EAST. ALTERNATE BID FUTURE PLUMBING STUBBED IN
- D. WAREHOUSE-WEST EQUAL TO WAREHOUSE-EAST SEPARATED BY THREE HOUR FIRE BARRIER. TWO TRUCK-WELL DOCKS WITH LEVELERS AND SEALS DRIVE IN OVERHEAD DOOR

**CODE ANALYSIS**

THE FOLLOWING IS A SUMMARY ANALYSIS OF APPLICABLE SECTIONS OF THE CODES, RULES AND REGULATIONS OF THE FOLLOWING:

- 2018 INTERNATIONAL BUILDING CODE OR 2018 IBC WITH SC MODIFICATIONS
- 2018 INTERNATIONAL FIRE CODE OR 2018 IFC WITH SC MODIFICATIONS
- 2018 INTERNATIONAL PLUMBING CODE OR 2018 IPC WITH SC MODIFICATIONS
- 2018 INTERNATIONAL MECHANICAL CODE OR 2018 IMC WITH SC MODIFICATIONS
- 2018 INTERNATIONAL FUEL GAS CODE OR 2018 IFGC WITH SC MODIFICATIONS
- 2017 NATIONAL ELECTRICAL CODE (NFPA 70) WITH SC MODIFICATIONS
- 2009 INTERNATIONAL ENERGY CONSERVATION CODE
- ICC/ANSI A117.1, ACCESSIBLE AND USEABLE BUILDING AND FACILITIES 2000

BUILDING OCCUPANCY CLASSIFICATION: F-1 FACTORY INDUSTRIAL - MODERATE HAZARD

CONSTRUCTION TYPE: TYPE II-B, NON-SPRINKLED - SINGLE STORY

TABLE 601	FIRE RESISTANCE RATING	HOURS
PRIMARY STRUCTURAL FRAME	0	
NONBEARING WALLS & PARTITIONS, EXTERIOR	0	TABLE 602 (10 < X < 30)
NONBEARING WALLS & PARTITIONS, INTERIOR	0	
ROOF CONSTRUCTION	0	

PROJECT IS TWO SEPARATE BUILDINGS 17,840 SF OCCUPANCY OF TOTAL 35,685 SF

ALLOWABLE BUILDING AREA TABLE 506.2: FACTORY INDUSTRIAL, > 30' PUBLIC WAY/YARDS  
 FRONTAGE INCREASE 30' - 0" ALL FRONTAGE = .75  
 A = 15,500 + (15,500 X .75) = 27,125 SF ALLOWABLE.

PROPOSED TENANT FIRE AREA SEPARATED BY FIRE BARRIER (TABLE 707.3.10 - 3 HOURS)  
 FIRE AREA 901.7 (FIRE BARRIER 707 OR HORIZONTAL ASSEMBLY 711) NOT LESS THAN 707.3.10

OCCUPANT LOAD (CHAPTER 10, TABLE 1004.1.2)

WAREHOUSE: 17,840 SQ. FT. / 500 GROSS = 36 OCCUPANTS

EGRESS ALLOWED: ONE EXIT < 49 OCCUPANTS  
 LOCKS AND LATCHES PERMITTED  
 75 MAXIMUM COMMON PATH OF EGRESS - 200 FT MAXIMUM TRAVEL DISTANCE  
 CORRIDOR WIDTH 5'-0" PROVIDED (MIN 44") -- NO DEAD-END CORRIDORS

EGRESS WIDTH CALCULATIONS: REQUIRED WIDTH PER OCCUPANT (SECTION 1005.3.2): 36 X 0.20 = 7.2" PROVIDED: 4 DOORS @ 36" = 136"

MINIMUM INTERIOR FINISH CLASSIFICATION: ROOMS AND CORRIDORS: CLASS C

MINIMUM NUMBER OF FIXTURES (CHAPTER 29)  
 2902.2 SEPARATE FACILITIES SHALL BE PROVIDED FOR EACH SEX FOR OCCUPANT LOAD GREATER THAN 15 -- BOTH EMPLOYEES AND CUSTOMERS

EXCEPTION:  
 FOR TENANT SPACE REQUIRING A SEPARATE TOILET FACILITY FOR EACH SEX AND EACH TOILET FACILITY IS REQUIRED TO HAVE ONLY ONE WATER CLOSET. TWO (2) FAMILY FACILITIES SHALL BE PERMITTED TO SERVE AS THE REQUIRED SEPARATE FACILITIES.

OCCUPANCY	WATER CLOSETS				LAVATORIES				DRINKING FOUNTAINS			OTHER
	TABLE	LOAD	MEN	WOMEN	TABLE	LOAD	MEN	WOMEN	TABLE	LOAD	TOTAL	
FACTORY INDUSTRIAL F-1 REQUIRED	1 PER 100	36	1 PER >15	1 PER >15	1 PER 100	36	1 PER >15	1 PER >15	1 PER 400	36	1 PER >15	1 SERVICE SINK
TOTAL OFFICE (ACCESSORY)			1	1			1	1			1	1
WAREHOUSE			1	1			1	1			1	-

C1	ABBREVIATIONS
AC	ACRYLIC
ADP	ACOUSTICAL CEILING PANEL
ACT	ACOUSTICAL CEILING TILE
AFF	ABOVE FINISH FLOOR
BJ	BOTTOM OF ...
BLK	BLOCK
BLKG	BLOCKING
BRG	BEARING
BW	BETWEEN
CL	CENTER LINE
CJ	CONTROL JOINT
GLG	CEILING
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
COORD	COORDINATE
CPT	CARPET
CT	CARPET TILE
DN	DOWN
DS	DOWNSPOUT
EA	EACH
EFS	EXTERIOR INSULATION AND FINISH SYSTEM
ELEC	ELECTRIC, ELECTRICAL
EL ELEV	ELEVATION
EP	EPOXY PAINT
EQ	EQUAL
EW	ELECTRIC WATER COOLER
EMST	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET (FINISHED)
FIN	FLOOR
FLR	FLOOR
FSTUD	FACE OF STUD
FWALL	FACE OF FINISH WALL
FWC	FABRIC WALL COVERING
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GL	GLASS
GWB	GYPSPUM WALL BOARD
HW	HARDWARE
HWOD	HARDWOOD
HGT	HEIGHT
HM	HOLLOW METAL
HORZ	HORIZONTAL
HP	HIGH POINT
INT	INTERIOR
JT	JOINT
LAM	LAMINATE
LAV	LAVATORY
LP	LOW POINT
MAX	MAXIMUM
MECH	MECHANICAL
MFD	MANUFACTURED
MG	MANUFACTURER
MN	MINIMUM
MO	MASONRY OPENING
MC	MARBLE THRESHOLD
MTL	METAL
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
P	PAINT
PL	PLATE
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
POL	POLISHED
PT	PRESSURE TREATED
PTD	PAINTED
QT	QUARRY TILE
RAD, R	RADIUS
RB	RESILIENT BASE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
RE	REFERENCE
REIN	REINFORCED
REQD	REQUIRED
REV	REVISION
RO	ROUGH OPENING
RM	ROOM
SL	STRUCTURAL LINE
SAB	SOUND ATTENUATION BLANKETS
SCHD	SCHEDULE
SIM	SIMILAR
SPEC	SPECIFICATION
SS	STAINLESS STEEL
ST	STAIN
STD	STANDARD
STL	STEEL
STRUC	STRUCTURE, STRUCTURAL
SUSP	SUSPENDED
TOP	TOP OF
TPN	TOILET PARTITION
TRZO	TERRAZZO
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VNL	VINYL COMPOSITION TILE
VCT	VERTICAL
VF	VERIFY IN FIELD
VFL	VINYL FLOOR
VNL	VINYL WALL COVERING
W	WITH
WC	WALL COVERING
WD	WOOD
WDD	WINDOW

**ROOM NUMBER IDENTIFICATION**

INDICATES THE ROOM NAME: OFFICE

INDICATES THE ROOM NUMBER: 104

**VIEW TITLE**

INDICATES THE VIEW NUMBER: A1

INDICATES THE SHEET NUMBER WHERE TAKEN: A1.1

INDICATES DIRECTION OF CUTTING PLANE

**BUILDING / WALL SECTION CUT**

INDICATES SHEET NUMBER WHERE SECTION IS DRAWN

**EXTERIOR ELEVATION**

INDICATES SHEET NUMBER WHERE ELEVATION IS DRAWN

**INTERIOR ELEVATION**

INDICATES THE ELEVATION NUMBER

INDICATES THE DETAIL / PLAN NUMBER

**DETAIL / ENLARGED PLAN NUMBER**

**DOOR - WINDOW NUMBER IDENTIFICATION**

DOOR NUMBER REFER TO A4.3

WINDOW NUMBER REFER TO A4.1

**WALL TAG IDENTIFICATION**

WALL TAG REFER TO A4.1

**DEMOLITION KEY NOTE IDENTIFICATION\***

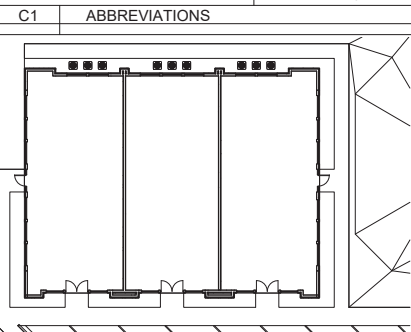
KEY NOTE NUMBER

\*NOT USED

**LEVEL HEAD**

FIN, EL, FL, D, 0'-0"

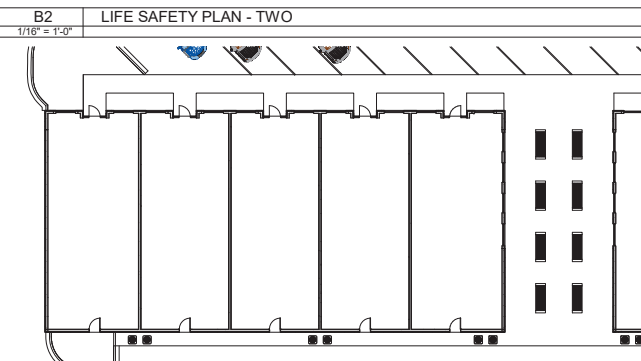
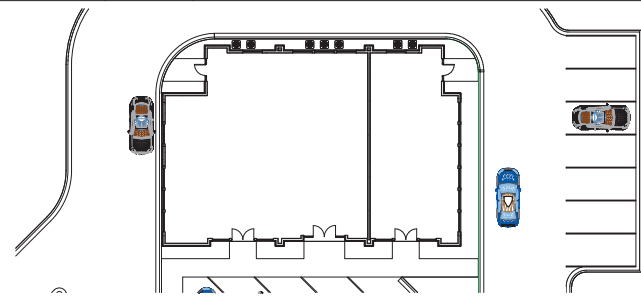
**C2 GRAPHIC SYMBOLS**



**LIFE SAFETY LEGEND**

- 150' → TRAVEL DISTANCE TO EXIT (LISTED IN FEET)
  - FE FIRE EXTINGUISHER
  - EXIT LIGHT
  - THREE HOUR FIRE BARRIER
  - POINT OF ACCESSIBLE EGRESS TO EXTERIOR OR FIRE-PROTECTED EGRESS ENCLOSURE. NUMBER INDICATES WIDTH OF OPENING IN INCHES.
- NOTES:  
 1. SEE ELECTRICAL DRAWINGS FOR EXIT LIGHT LOCATIONS.  
 2. SEE ELECTRICAL DRAWINGS FOR ALARM SYSTEM COMPONENTS.

NOTE: MAIN LEVEL THRESHOWN; MAIN LEVEL FOUR OPPOSITE AND EQUAL



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COBBLESTONE PARCEL TRACT A3

A	12/06/2021	TMH
ISSUED FOR PERMIT		
REV.	DATE	REV. BY
REVISION INFORMATION		
PROJ. MANAGER	JAKE M SERRANO	
DESIGNED BY	TIM MAC HAZELBAKER	
DRAWN BY	TMH	
APPROVED BY	TMH	
SCALE:	As indicated	
PROJ. NUMBER:	210101	
CAD. FILE:	200102.C.C.#1.RVT	
PROJECT INFORMATION		
COBBLESTONE PARCEL TRACT A3 GOOSE CREEK, SC ARCHITECTURAL		
LIFE SAFETY CODE-ANALYSIS		
DATE: A0-03		

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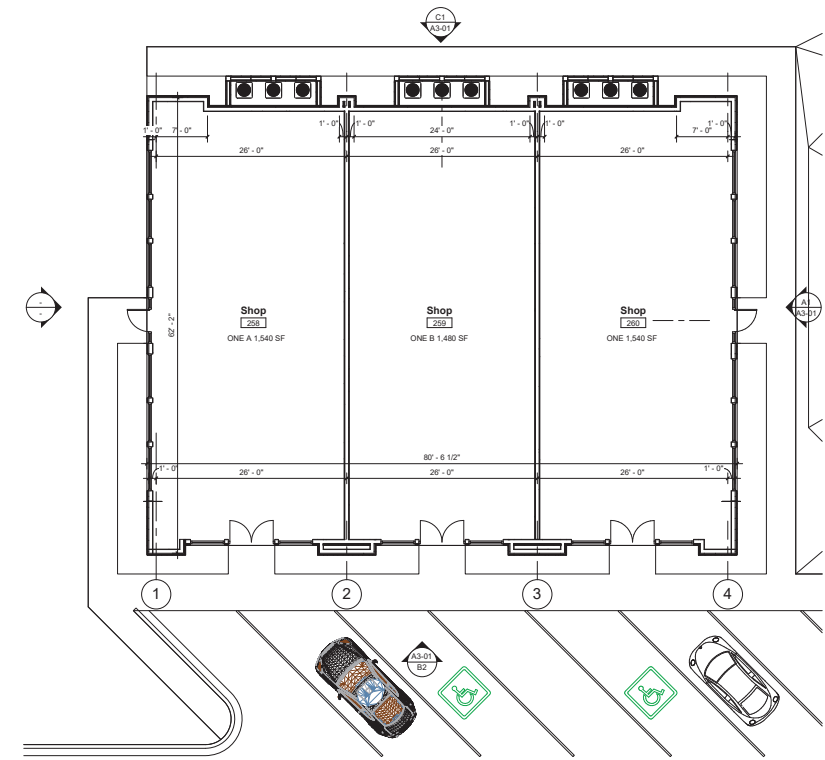
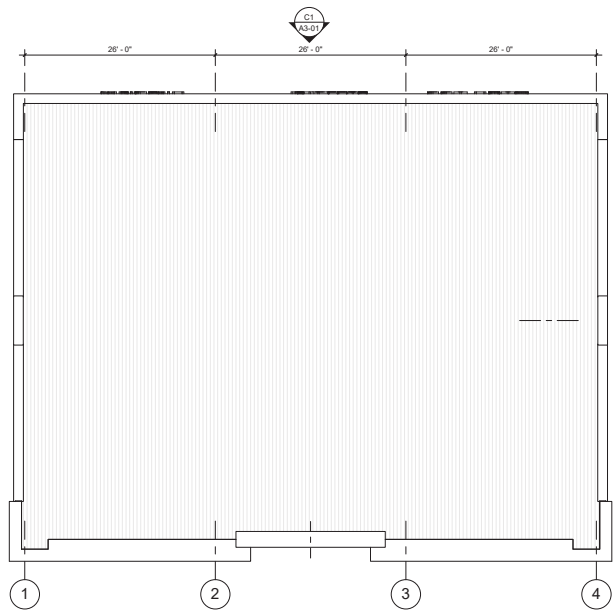

COBBLESTONE PARCEL  
 TRACT A3

REV.	DATE	REV. BY
A	12/06/2021	TMH
ISSUED FOR PERMIT		
DESIGNER INFORMATION		
PROJ. MANAGER:	JAKE M SERRANO	
DESIGNED BY:	TIM MAC HAZELBAKER	
DRAWN BY:	TMH	
APPROVED BY:	TMH	
SCALE:	1/8" = 1'-0"	
PROJ. NUMBER:	210101	
CAD FILE:	200102 C.C. #1.RVT	

COBBLESTONE PARCEL  
 TRACT A3  
 GOOSE CREEK, SC  
 ARCHITECTURAL

FLOOR PLAN - ROOF PLAN - ONE

A1-01



A1 ROOF - ONE  
 1/8" = 1'-0" A3-01

A2 MAIN LEVEL ONE  
 1/8" = 1'-0" A3-01

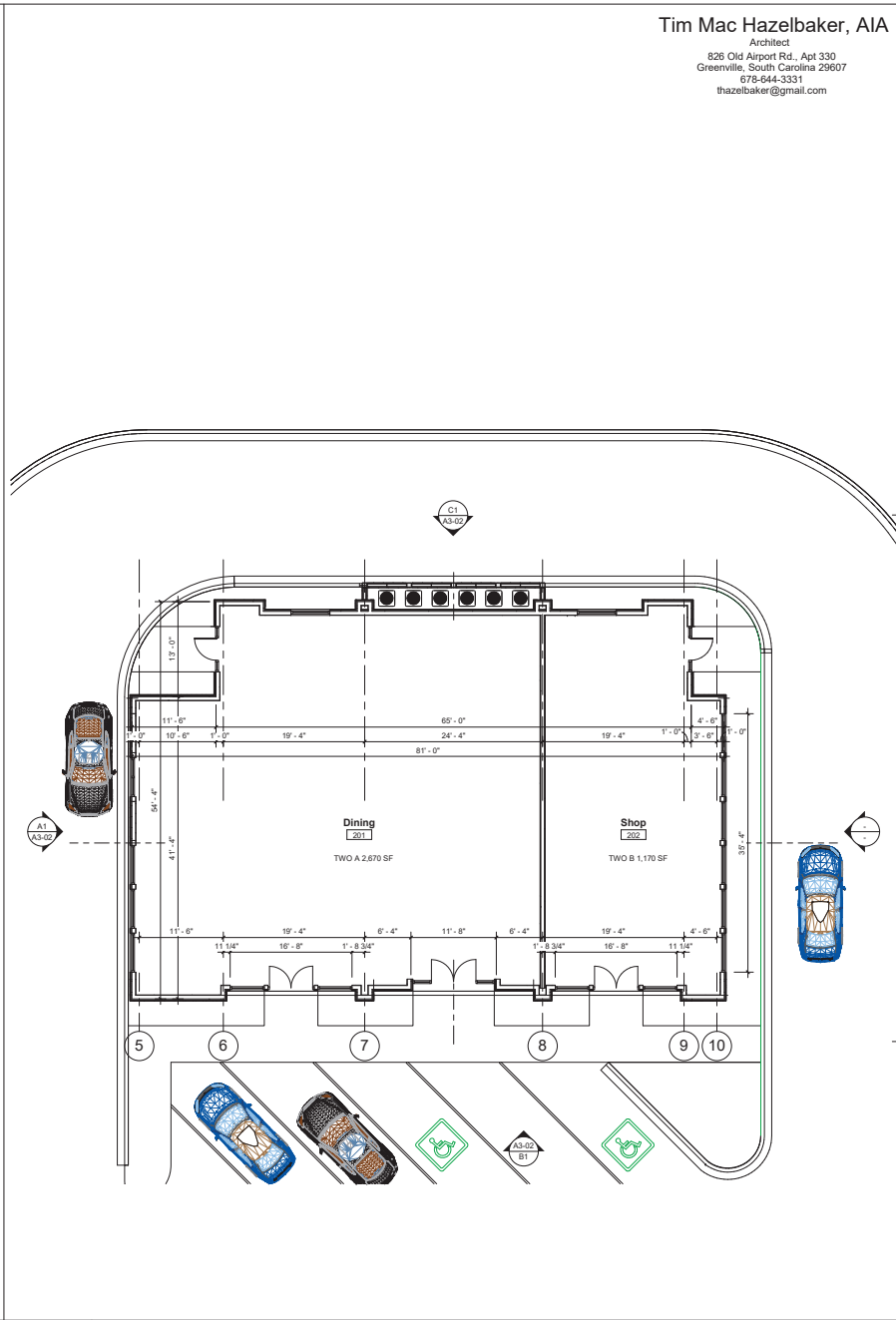
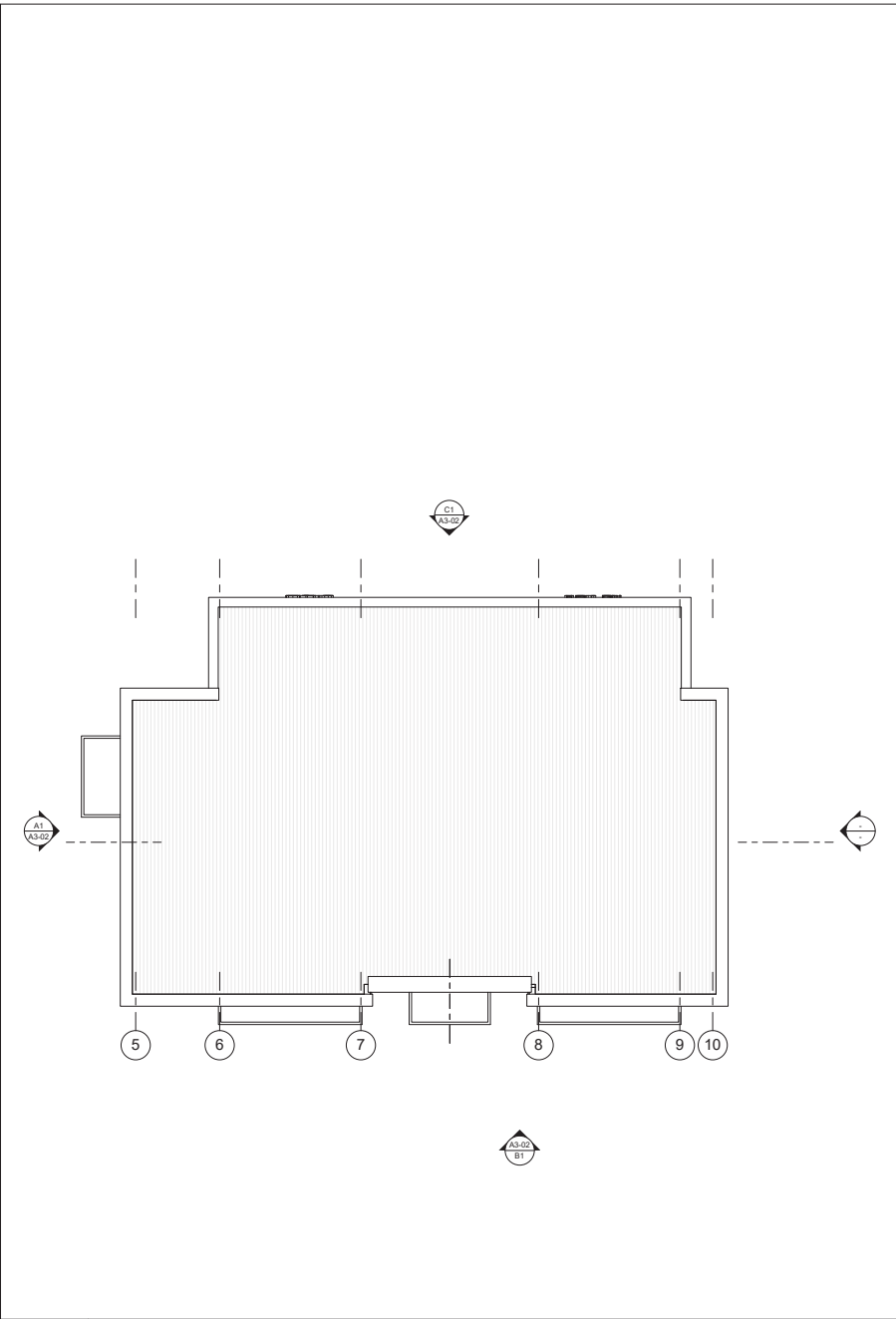


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COBBLESTONE PARCEL  
 TRACT A3



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PROJ. MANAGER	JAKE M SERRANO	
DESIGNED BY	TIM MAC HAZELBAKER	
DRAWN BY	TMH	
APPROVED BY	TMH	
SCALE	1/8" = 1'-0"	
PROJ. NUMBER	210101	
CAD. FILE	200102 C.C. #1.RVT	
COBBLESTONE PARCEL TRACT A3 GOOSE CREEK, SC ARCHITECTURAL		
FLOOR PLAN - ROOF PLAN - TWO		
A1-02		

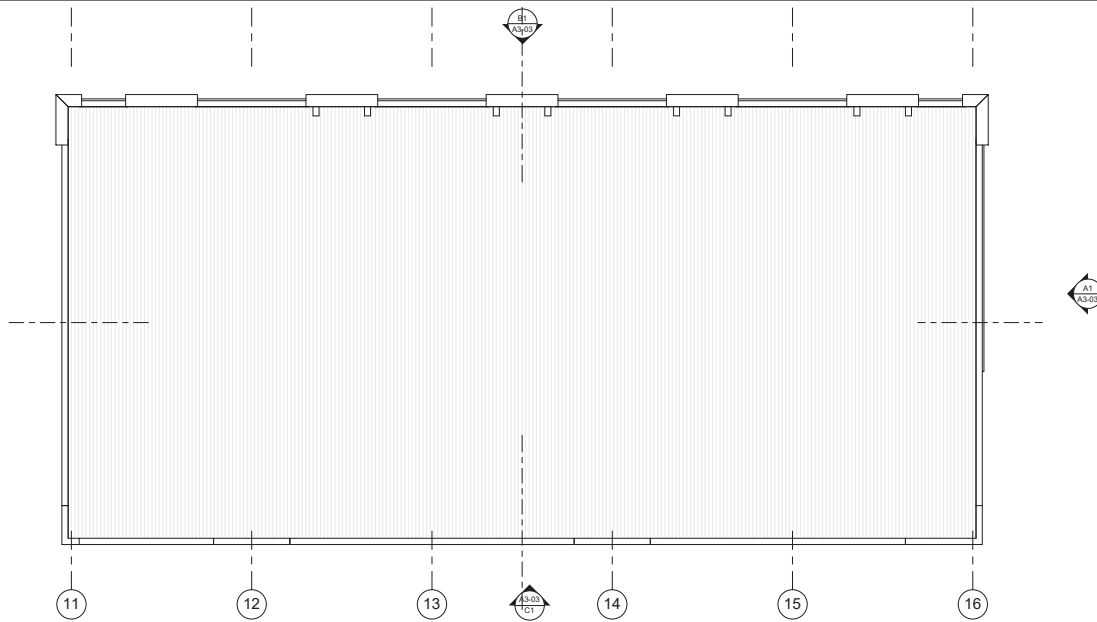
A1 ROOF - TWO  
 1/8" = 1'-0" A3-01

A2 MAIN LEVEL EAST PLAN  
 1/8" = 1'-0" A3-01

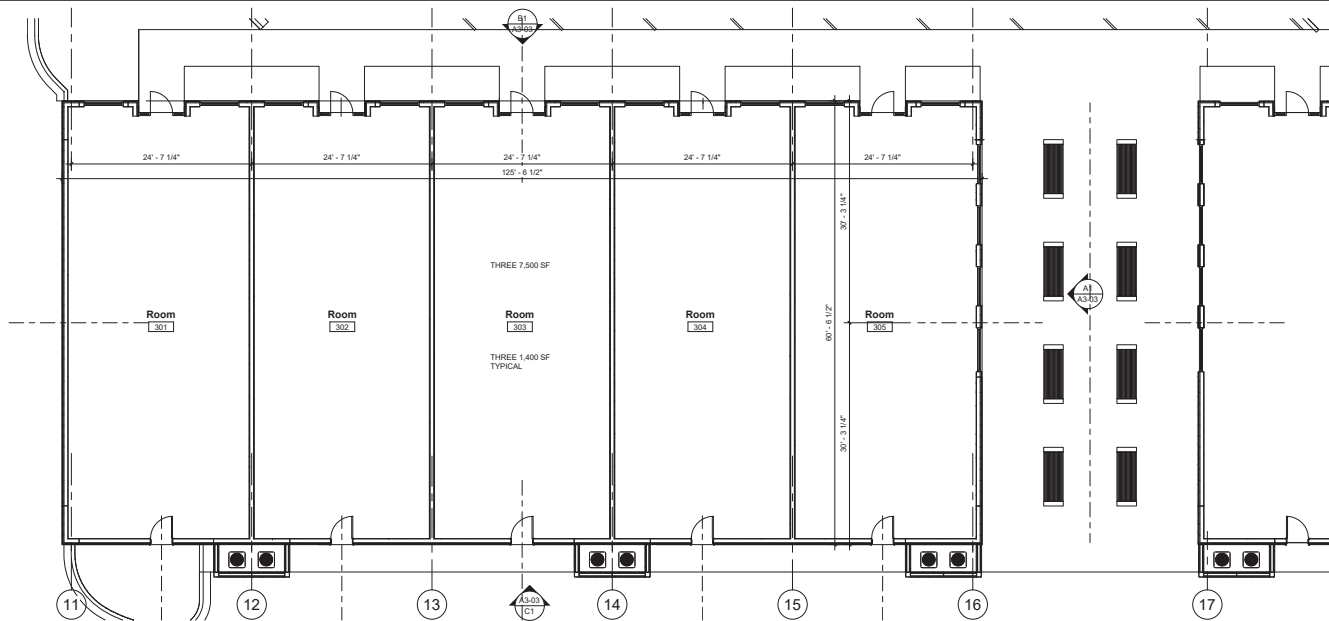
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COBBLESTONE PARCEL  
 TRACT A3



B2 ROOF - THREE  
 1/8" = 1'-0" A3-01



A1 MAIN LEVEL EAST PLAN  
 1/8" = 1'-0" A3-01

REV.	DATE	REV. BY
A	12/06/2021	TMH
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DESIGNER'S IMPROVEMENTS		
PROJ. MANAGER	JAKE M SERRANO	
DESIGNED BY	TIM MAC HAZELBAKER	
DRAWN BY	TMH	
APPROVED BY	TMH	
SCALE	1/8" = 1'-0"	
PROJ. NUMBER	210101	
CAD FILE		
PROJECT NAME		
COBBLESTONE PARCEL TRACT A3		
GOOSE CREEK, SC		
ARCHITECTURAL		
FLOOR PLAN - ROOF PLAN - THREE		
DRAWING NO.		
A1-03		

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COBBLESTONE PARCEL  
 TRACT A3



C1 ONE NORTH  
 1/4" = 1'-0" A1-01



B2 ONE SOUTH  
 1/4" = 1'-0" A1-01



A1 ONE EAST - ONE WEST SIM  
 1/4" = 1'-0" A1-01

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REV.	DATE	REV. BY
DESIGNER INFORMATION		
PROJ. MANAGER	JAKE M SERRANO	
DESIGNED BY	TIM MAC HAZELBAKER	
DRAWN BY	TMH	
APPROVED BY	TMH	
SCALE	1/4" = 1'-0"	
PROJ. NUMBER	210101	
CAD FILE	200102 C.C. #1.RVT	
PROJECT		
COBBLESTONE PARCEL TRACT A3 GOOSE CREEK, SC ARCHITECTURAL		
EXTERIOR ELEVATIONS - ONE		
DRAWING NO.:		
A3-01		

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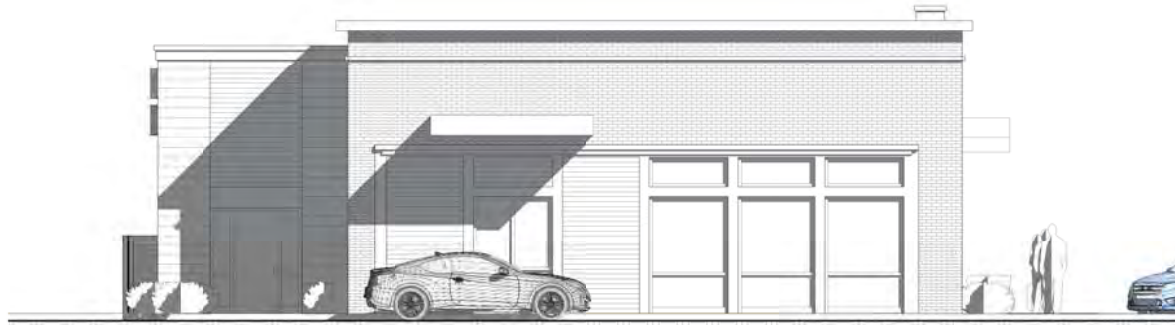

COBBLESTONE PARCEL  
 TRACT A3



C1 TWO NORTH  
 1/4" = 1'-0" A1-02



B1 TWO SOUTH  
 1/4" = 1'-0" A1-02



A1 TWO WEST - TWO EAST SIM  
 1/4" = 1'-0" A1-02

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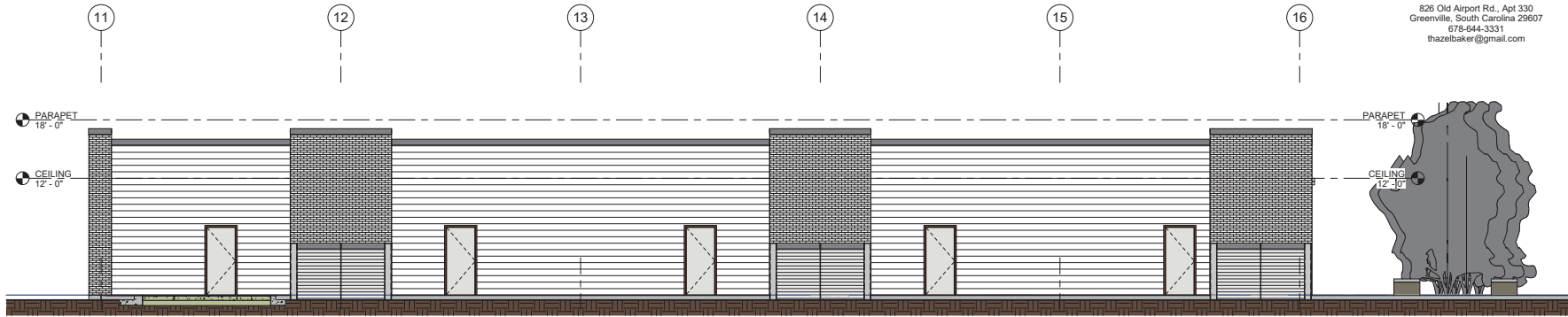
DESIGNED INFORMATION	
PROJ. MANAGER	JAKE M SERRANO
DESIGNED BY	TIM MAC HAZELBAKER
DRAWN BY	TMH
APPROVED BY	TMH
SCALE	1/4" = 1'-0"
PROJ. NUMBER	210101
CAD FILE	

COBBLESTONE PARCEL  
 TRACT A3  
 GOOSE CREEK, SC  
 ARCHITECTURAL

EXTERIOR ELEVATIONS - TWO

A3-02

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C1 THREE SOUTH  
 3/16" = 1'-0" A1-03



B1 THREE NORTH  
 3/16" = 1'-0" A1-03



A1 THREE EAST  
 3/16" = 1'-0" A1-03



A2 THREE NORTH - SINGLE SHOP  
 1/4" = 1'-0" A3-03

COBBLESTONE PARCEL  
 TRACT A3

A	12/06/2021	TMH
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REV.	DATE	REV. BY

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 DESIGNED BY: TIM MAC HAZELBAKER  
 DRAWN BY: TMH  
 APPROVED BY: TMH  
 SCALE: As Indicated  
 PROJ. NUMBER: 210101  
 CAD FILE:

GOOSE CREEK, SC  
 ARCHITECTURAL

EXTERIOR ELEVATIONS - THREE

A3-03



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B1 ONE SOUTHEAST

B2 ONE SOUTHWEST



A1 ONE SOUTHEAST COLOR

COBBLESTONE PARCEL  
 TRACT A3

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DESIGNER INFORMATION

PROJ. MANAGER	JAKE M SERRANO
DESIGNED BY	TIM MAC HAZELBAKER
DRAWN BY	TMH
APPROVED BY	TMH
SCALE	1/8" = 1'-0"
PROJ. NUMBER	210101
CAD FILE	200102 C.C. #1.RVT

COBBLESTONE PARCEL  
 TRACT A3  
 GOOSE CREEK, SC  
 ARCHITECTURAL

VIEWS - ONE

VIEW NO.

A7-01



B1 TWO NORTHWEST



A1 TWO SOUTHEAST

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DESIGNER INFORMATION		
PROJ. MANAGER	JAKE M SERRANO	
DESIGNED BY	TIM MAC HAZELBAKER	
DRAWN BY	TMH	
APPROVED BY	TMH	
SCALE		
PROJ. NUMBER	210101	
CAD FILE		

COBBLESTONE PARCEL  
 TRACT A3  
 GOOSE CREEK, SC  
 ARCHITECTURAL  
 VIEWS - TWO

A7-02

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COBBLESTONE PARCEL  
 TRACT A3



B2 THREE NORTHEAST



A1 THREE NORTHWEST

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REVISION INFORMATION

PROJ. MANAGER	JAKE M SERRANO
DESIGNED BY	TIM MAC HAZELBAKER
DRAWN BY	TMH
APPROVED BY	TMH
SCALE	
PROJ. NUMBER	210101
CAD FILE	

COBBLESTONE PARCEL  
 TRACT A3  
 GOOSE CREEK, SC  
 ARCHITECTURAL  
 VIEWS - THREE

Drawing No.:  
**A7-03**





C1 CENTER WEST



B1 LINE DRAWING - NORTHEAST



A1 ONE & TWO FROM THREE

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 TRACT A3

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REV.	DATE	REV. BY
DESIGNER INFORMATION		
PROJ. MANAGER	JAKE M SERRANO	
DESIGNED BY	TIM MAC HAZELBAKER	
DRAWN BY	TMH	
APPROVED BY	TMH	
SCALE:		
PROJ. NUMBER:	210101	
CAD FILE:		

COBBLESTONE PARCEL  
 TRACT A3  
 GOOSE CREEK, SC  
 ARCHITECTURAL  
 VIEWS - SITE

A7-04



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COBBLESTONE PARCEL  
TRACT A3

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 DESIGNED BY: TIM MAC HAZELBAKER  
 DRAWN BY: TMH  
 APPROVED BY: TMH  
 SCALE: 1/2" = 1'-0"  
 PROJ NUMBER: 210101  
 CAD FILE:

COBBLESTONE PARCEL  
TRACT A3  
GOOSE CREEK, SC  
ARCHITECTURAL

OVERALL SITE RENDERING

Sheet No. **A7-06**



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COBBLESTONE PARCEL  
 TRACT A3

C1 | CENTER WEST



B1 | SITE NORTHEAST



A1 | ONE & TWO FROM THREE

A	12/06/2021	TMH
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DESIGNER INFORMATION		
PROJ. MANAGER	JAKE M SERRANO	
DESIGNED BY	TIM MAC HAZELBAKER	
DRAWN BY	TMH	
APPROVED BY	TMH	
SCALE:	12" = 1'-0"	
PROJ. NUMBER	210101	
CAD FILE:		
Name:		
COBBLESTONE PARCEL TRACT A3 GOOSE CREEK, SC ARCHITECTURAL		
SITE VIEW RENDERINGS		
Drawing No.:		
A7-07		

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COBBLESTONE PARCEL  
 TRACT A3



B1 ONE SOUTHEAST



A1 ONE SOUTHWEST

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REVISION INFORMATION		
PROJ. MANAGER	JAKE M SERRANO	
DESIGNED BY	TIM MAC HAZELBAKER	
DRAWN BY	TMH	
APPROVED BY	TMH	
SCALE		
PROJ. NUMBER	210101	
CAD FILE		
COBBLESTONE PARCEL TRACT A3 GOOSE CREEK, SC ARCHITECTURAL		
ONE RENDERINGS		
Drawing No. <b>A7-08</b>		



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COBBLESTONE PARCEL  
 TRACT A3

B1 TWO NORTHWEST



A1 ONE SOUTHEAST

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REV.	DATE	REV. BY
REVISION INFORMATION		
PROJ. MANAGER	JAKE M SERRANO	
DESIGNED BY	TIM MAC HAZELBAKER	
DRAWN BY	Author	
APPROVED BY	TMH	
SCALE	12" = 1'-0"	
PROJ. NUMBER	210101	
CAD FILE		
COBBLESTONE PARCEL TRACT A3 GOOSE CREEK, SC ARCHITECTURAL TWO RENDERINGS		

A7-09



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COBBLESTONE PARCEL  
TRACT A3




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DESIGNER INFORMATION

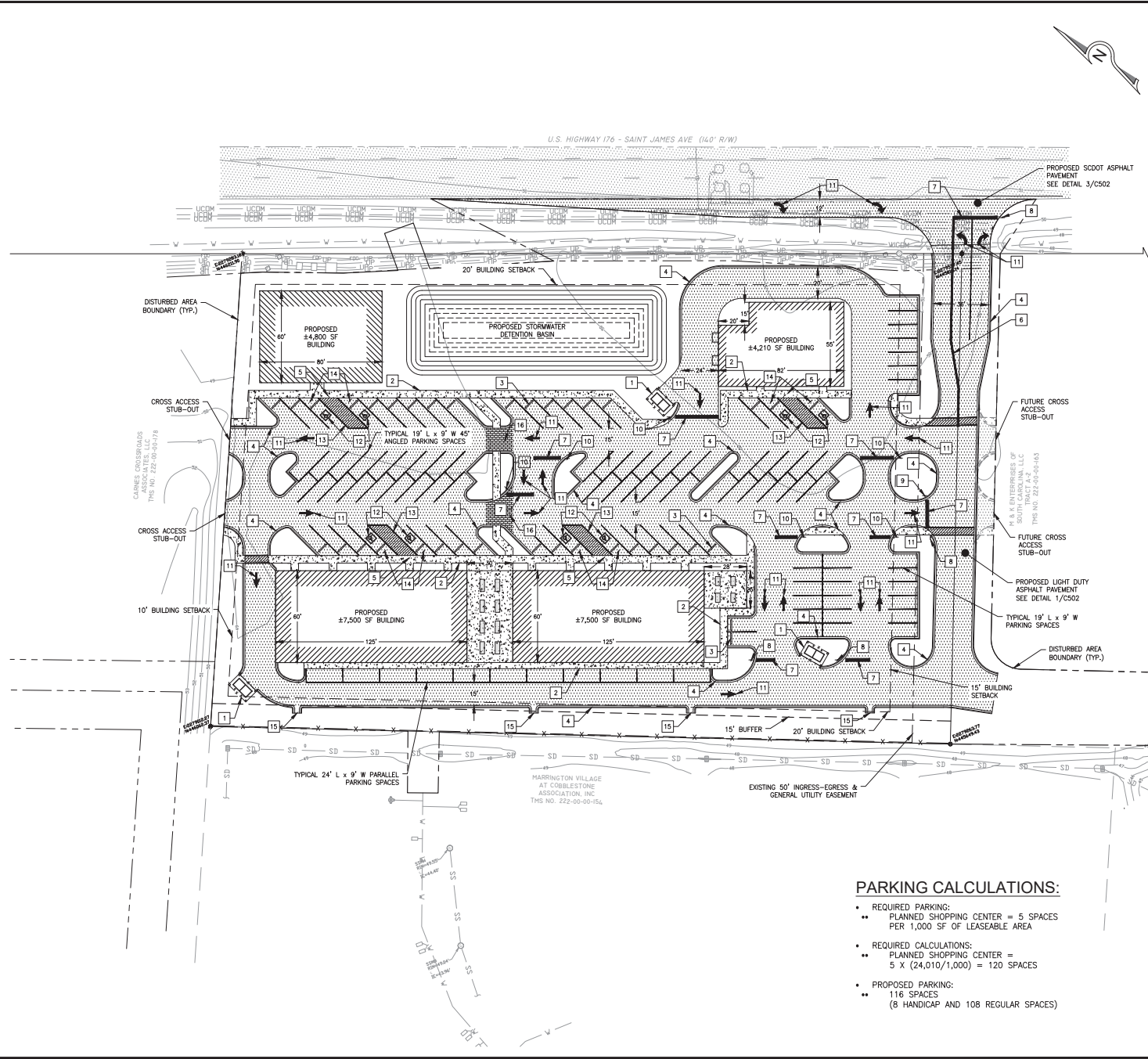
PROJ. MANAGER: JAKE M SERRANO  
 DESIGNED BY: TIM MAC HAZELBAKER  
 DRAWN BY: TMH  
 APPROVED BY: TMH  
 SCALE: 1/2" = 1'-0"  
 PROJ. NUMBER: 210101  
 CAD FILE:

COBBLESTONE PARCEL  
 TRACT A3  
 GOOSE CREEK, SC  
 ARCHITECTURAL  
 THREE SOUTHWEST

PLATE NO. A7-11



FILE NAME: 2021006C1-03.dwg  
 USER NAME: Anne Shimp  
 LAST UPDATE: 10/27/2021 3:14 PM  
 PLOTTED: 10/27/2021 1:40 PM  
 PLOT BY: Bilal Rehman 2021006C1 - 3.4 Acres St. James Ave. (Drawing) Civil



**REFERENCE DRAWINGS:**

1. SEE DRAWING C0-01 FOR CIVIL ABBREVIATIONS AND LEGEND.
2. SEE DRAWING C0-02 FOR CIVIL GENERAL NOTES.
3. SEE DRAWING C1-01 FOR EXISTING CONDITIONS PLAN.
4. SEE DRAWING C1-02 FOR DEMOLITION PLAN.
5. SEE DRAWING C1-03 FOR LAYOUT AND PAVING PLAN.
6. SEE DRAWING C1-04 FOR EROSION AND SEDIMENT CONTROL PLAN.
7. SEE DRAWING C1-05 FOR GRADING AND DRAINAGE PLAN.
8. SEE DRAWING C1-06 FOR UNDERGROUND UTILITIES PLAN.

**CONSTRUCTION NOTES:**

1. SIGHT DISTANCE VISIBILITY AT ALL EXITS AND/OR INTERSECTIONS SHALL BE MAINTAINED IN ACCORDANCE WITH SCDOT ACCESS AND ROADSIDE MANAGEMENT STANDARDS MANUAL.
2. ALL TRAFFIC CONTROL DEVICES SHALL BE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) COMPLIANT.
3. PROVIDE WHEEL STOPS AT ALL PARKING SPACES ADJACENT TO SIDEWALK.
4. ALL PAVEMENT WITHIN THE SCDOT RIGHT OF WAY SHALL MEET SCDOT MINIMUM SPECIFICATIONS. SEE DETAIL 3/C5-02 FOR PAVEMENT SECTION.

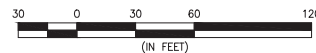
**KEY NOTES:**

1. DUMPSTER ENCLOSURE (SEE DETAIL 1/C5-01)
2. 5" CONCRETE TURNDOWN SIDEWALK (SEE DETAILS 6/C5-01 AND 7/C5-01)
3. PRECAST CONCRETE WHEEL STOP (SEE DETAIL 5/C5-01)
4. CONCRETE CURB AND GUTTER (SEE DETAIL 2/C5-03)
5. FLARED SIDEWALK RAMP (SEE DETAIL 8/C5-01)
6. DOUBLE CENTERLINE STRIPING (SEE DETAIL 1/C5-03)
7. 24" STOP BAR (SEE DETAIL 2/C5-03)
8. STOP SIGN (SEE DETAIL 3/C5-03)
9. ONE WAY SIGN (SEE DETAIL 3/C5-03)
10. STOP/ONE WAY COMBINATION SIGN (SEE DETAIL 3/C5-03)
11. DIRECTIONAL ARROW PAVEMENT MARKING (SEE DETAIL 4/C5-03)
12. ACCESSIBILITY PARKING SYMBOL (SEE DETAIL 5/C5-03)
13. ACCESSIBLE PARKING AISLE STRIPING (SEE DETAIL 6/C5-03)
14. ADA VAN ACCESSIBLE PARKING SIGN (SEE DETAIL 7/C5-03)
15. CONCRETE FLUME (SEE DETAIL 3/C5-01)
16. PERVIOUS PAVEMENT (SEE DETAIL 5/C5-02)

**PARKING CALCULATIONS:**

- REQUIRED PARKING:
  - PLANNED SHOPPING CENTER = 5 SPACES PER 1,000 SF OF LEASEABLE AREA
- REQUIRED CALCULATIONS:
  - PLANNED SHOPPING CENTER = 5 X (24,010/1,000) = 120 SPACES
- PROPOSED PARKING:
  - 116 SPACES (8 HANDICAP AND 108 REGULAR SPACES)

**LAYOUT AND PAVING PLAN**



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CLIENT:  
**BILAL REHMAN**


B	01/03/22	KWS
ISSUED FOR PERMITTING		
A	08/27/21	KWS
ISSUED FOR PERMITTING		
REV.	DATE	REV. BY
REVISION INFORMATION		

PROJ. MANAGER: J. SERRANO  
 DESIGNED BY: K. STILLINGS  
 DRAWN BY: J. SERRANO  
 SCALE: GRAPHIC  
 PROJ. NUMBER: 2021006C1  
 CAD FILE: 2021006C1-03.DWG

DRAWING TITLE:  
**3.4 ACRE  
 COMMERCIAL DEVELOPMENT  
 GOOSE CREEK, SC  
 CIVIL  
 LAYOUT AND  
 PAVING PLAN**

DRAWING NO.:  
**C1-03**

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