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**GOOSE CREEK ARCHITECTURAL REVIEW BOARD MEETING  
MONDAY, FEBRUARY 19, 2024 • REGULAR MEETING AT 6:00PM  
City Hall - 519 N Goose Creek Boulevard**

**I. CALL TO ORDER & ROLL CALL**

**II. APPROVAL OF MINUTES**

- a. Architectural Review Board Meeting Minutes - January 16, 2024

**III. NEW BUSINESS**

- a. New Construction (Resubmittal) - Pack Rat Storage - TMS #222-00-00-183

**IV. CLOSING REMARKS & ADJOURNMENT**



# Request for Architectural Review Board Agenda Item

To: Architectural Review Board

From: Kendra Wise

*Please check one box*

Regular Meeting

Special Meeting

Work Session

*Please check one box, if applicable*

Ordinance

Resolution

Proclamation

Request to Purchase

## Ordinance/Resolution Title

Architectural Review Board Meeting Minutes - January 16, 2024

## Background Summary

## Financial Impact

## Impact if denied

## Impact if approved

Department Head:

City Administrator:

\_\_\_\_\_  
*Signature & Date*

\_\_\_\_\_  
*Signature & Date*

MINUTES  
CITY OF GOOSE CREEK  
ARCHITECTURAL REVIEW BOARD  
TUESDAY, JANUARY 16, 2024, 6:00PM  
MARGUERITE H. BROWN MUNICIPAL CENTER

I. CALL TO ORDER

Chairperson Wise called the meeting to order at 6:00 p.m.

Present: Jen Wise; Robert Smith; Doug Dickerson; Kelly Conrad; Mary Kay Soto; Terri Victor

Absent: Armando Solarana

Staff Present: Planning and Zoning Director Kendra Wise; Special Projects Manager Alexis Kiser

II. APPROVAL OF MINUTES: DECEMBER 18, 2023

Motion: A motion was made to approve the minutes as submitted. Moved by Board Member Smith, Seconded by Board Member Dickerson.

Discussion: None.

Vote: All voted in favor (6-0). Motion carried.

III. NEW BUSINESS

a. NEW CONSTRUCTION (ACCESSORY STRUCTURE)– 103 MARILYN STREET – TMS 243-08-06-007

The applicant is proposing an accessory structure 40' x 60' in the rear of the property located behind an existing fence on the property. Additionally, the applicant is proposing on extending the existing driveway and adding landscaping in the front yard area. Ms. Kiser stated the applicant did reach out and would like to amend their application to a building height of 16 feet; however, Ms. Kiser referenced Section § 151.108 ACCESSORY USES of the City's Ordinance which states that accessory buildings which serve single story principal structures are limited to 15 feet in height. Accessory buildings serving structures which are two stories or greater are limited to 27 feet in height. Ms. Kiser stated the primary structure on this lot is single story, so the maximum height allowed is 15 feet. She stated this was agreeable with the applicant. The applicant presented the application and answered questions from the Board.

Motion: A motion was made to approve the application with the following conditions: The height of the building will be limited to 15 feet, and the roof must be non-reflective. Moved by Board Member Smith; Seconded by Board Member Conrad.

Discussion: None

Vote: All voted in favor (6-0). Motion carried.

IV. CLOSING REMARKS & ADJOURNMENT

None.

Motion: A motion was made to adjourn. Moved by Board Member Smith; Seconded by Board Member Victor.

Discussion: None

Vote: All voted in favor. Motion carried (6-0).

The Board adjourned at 6:10 PM.

\_\_\_\_\_

Date: \_\_\_\_\_

Jen Wise, Chair



# Request for Architectural Review Board Agenda Item

**To:** CITY OF GOOSE CREEK ARCHITECTURAL REVIEW BOARD

**From:** ALEXIS KISER, SPECIAL PROJECTS MANAGER

*Please check one box*

Regular Meeting

Special Meeting

Work Session

*Please check one box, if applicable*

Ordinance

Resolution

Proclamation

Request to  
Purchase

## Ordinance/Resolution Title

New Construction (Resubmittal) - Pack Rat Storage - TMS #222-00-00-183

## Background Summary

## Financial Impact

## Impact if denied

## Impact if approved

Department Head:

City Administrator:

\_\_\_\_\_  
*Signature & Date*

\_\_\_\_\_  
*Signature & Date*



ARB SCOPE OF WORK FORM/

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com


Fax: 843-863-5208

Property Address: <b>NEW COMET RD</b>		TMS No.: <b>222-00-00-183</b>
Review request:	For:	Preliminary meeting date requested:
<input type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input checked="" type="checkbox"/> Other <b>RESUBMITTAL - APPROVED 10/2021</b>	

Property Owner: <b>WELCH DEVELOPMENT, LLC</b>	Daytime phone: <b>843-697-1613</b>
Applicant: <b>PAT WELCH</b>	Daytime phone:
ARB Meeting Representative:	Contact Information:
Applicant's mailing address: <b>1260 BEES FERRY RD</b>	
City: <b>CHARLESTON</b>	State: <b>SC</b> Zip: <b>29414</b>
Applicant's e-mail address: <b>P.WELCH@WELCHMGT.COM</b>	
Applicant's relationship: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

Materials/Colors Used: (specific color(s)/manufacture #'s listed: samples must be presented to Board attached) (Example: Building Materials, Exterior Colors, Landscaping, Lighting) <input type="checkbox"/>	
<b>STUCCO NICH HA HARDI PLANK METAL AWNINGS FENCING</b>	<b>COLORS BEING RE-SELECTED FROM HISTORIC CHARLESTON COLOR PALETTE</b>
Scope of Work: (please give a detailed description)	
<b>114350 SF PACK RAT STORAGE FACILITY SELF STORAGE / RETAIL MIXED USE</b>	

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature:  Date: 1/16/21

Print name legibly: R. Patrick Welch

Please send completed application and supporting documents to Alexis Kiser at akiser@cityofgoosecreek.com



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## MEMORANDUM

**TO:** City of Goose Creek Architectural Review Board  
**FROM:** Alexis Kiser, Special Projects Manager  
**RE:** New Construction (Resubmittal) – Pack Rat Storage – TMS# 222-00-00-183  
**DATE:** January 24, 2024

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Staff has reviewed the submittal to the Architectural Review Board (ARB) and offers the following commentary:

### General Conformance Analysis

1. The applicant is proposing new construction of self-storage facility located off of New Comet Rd. on a currently cleared, undeveloped parcel. The total lot is +/- 3.72 acres, however, the entirety of the lot will not be dedicated for this use.
2. The proposed structure will be approximately 39,000 square feet.
3. The parcel is located within the Cobblestone Planned Development and this is a permissible use for the zone and development.
4. This proposed structure was previously approved by the Architectural Review Board, however, the approval has expired.

### Architectural Review Design Guidelines Analysis

#### Site design

The building is oriented so that the front façade is facing east, which will be facing the new portion of Baxter Brown Way and St. James Avenue. The applicant should note that any new curb cuts for entry into this site shall align with the other user planned for this parcel, even if the lot is to be subdivided at some point during the development process.

#### Architectural theme

The proposed structure will create variation in the existing and proposed built environment. It uses architectural features on all sides of the exterior that create visual interest. As this is a new development on a lot that has previously been cleared, the applicant should work to create a natural setting in the overall design that is similar to existing structures and infrastructure.

#### Architectural interest

The applicants demonstrates the use of quality design elements such as metal awnings, Bahama shutters, offset pilasters, large windows and glass doors at street level, and where actual windows are not possible the applicant uses faux windows to add interest. As this building is larger than 20,000 square feet, the applicant is required to create variation every 50 feet to avoid long monotonous facades; the applicant meets this requirement. The applicant is proposing several primary building materials on this project including, stucco, hardie plank, fiber cement block. The variation in materials help to give the building a defined base, body, and cap. The colors chosen for this project are mostly neutral and fall generally on the beige which tend to blend together without any true distinction. The only accent color shown on the building is the secret garden green color for sections of stucco, metal shutters,



and metal awnings. Staff has encouraged the applicant to choose a color palette that is more fitting to the current structures and other previously approved structures.

#### Building design

The dimensions of the proposed structure is approximately 37 feet tall and 200 feet wide (appear wider due to bump outs along sides of buildings). As previously discussed, the structure defines a base, body, and cap through the majority of the elevation through the use of varying building materials. The applicant does not show any roof mounted materials or roll up doors.

#### Site Elements

The applicant shows all mechanical equipment screened in a way that is architecturally interesting to the overall structure. The site plan does not show whether there will be refuse collection on site. If there is refuse collection on site, the applicant must provide plans to screen the area that is architecturally similar to the primary structure.

#### Other comments

The applicant should note that bulk zoning, landscaping, and parking requirements will be verified as a part of the site plan review process. Public art may be required for this project pursuant to Chapter 154: Public Art on Private Property.

#### **Staff Recommendation**

Staff asks the Architectural Review Board to approve the application with the following conditions:

- The applicant presents staff with an improved color palette that is more reflective of the current built environment and recently proposed structures;
- Provide staff with material sheets for the fencing and gates shown on the site plan;
- If applicable, provide staff with plans for refuse screening that are architecturally similar to the primary structure.



**SCDHEC STANDARD SWPPP NOTES**

1. IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
  - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
  - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY INSTALLED, OR INCORRECTLY MAINTAINED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCRT100000.
8. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
9. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
11. A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
12. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
13. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
  - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
  - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
  - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
  - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
17. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
18. IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
19. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

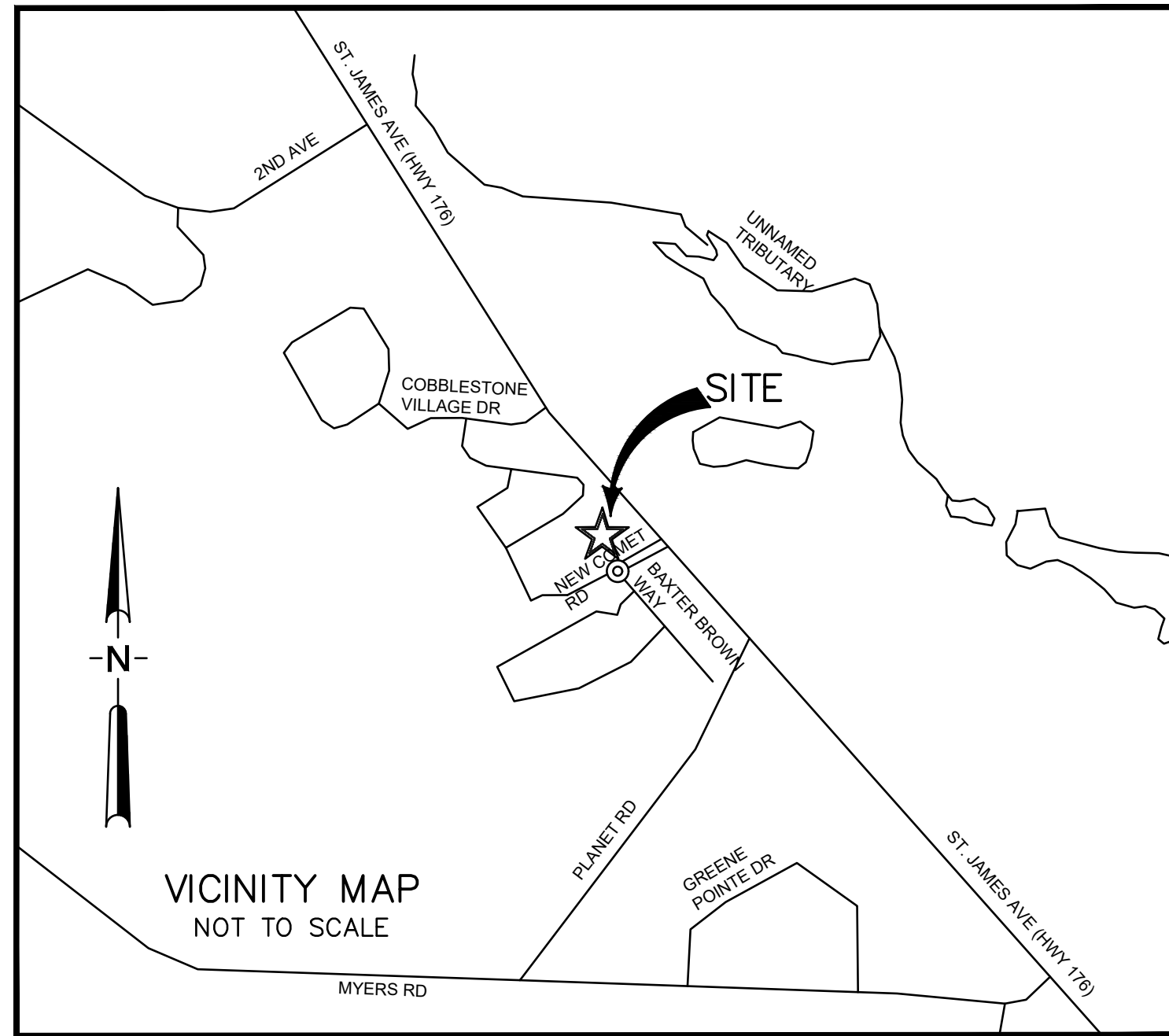
**POST CONSTRUCTION MAINTENANCE PLAN**

1. THE ON-SITE STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS SHALL BE CONSTRUCTED, OPERATED, AND MAINTAINED BY THE OWNER, ITS SUCCESSORS AND ASSIGNS, IN ACCORDANCE WITH THE APPROVED PLAN AND SPECIFICATIONS IDENTIFIED IN THE PLAN, AS WELL AS IN ACCORDANCE WITH STATE AND FEDERAL REQUIREMENTS, THE BERKELEY COUNTY STORMWATER MANAGEMENT ORDINANCE AND STORMWATER DESIGN STANDARDS MANUAL, AND ANY AND ALL OTHER APPLICABLE COUNTY ORDINANCES; BERKELEY COUNTY STORMWATER MANAGEMENT PROGRAM COVENANTS FOR PERMANENT MAINTENANCE OF STORMWATER SYSTEMS ADOPTED SEPTEMBER 1, 2008
2. THE OWNER, ITS SUCCESSORS AND ASSIGNS, INCLUDING ANY HOMEOWNERS ASSOCIATION, SHALL ADEQUATELY MAINTAIN THE STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS ON THE PROPERTY. ADEQUATE MAINTENANCE REQUIRED BY THIS COVENANT SHALL INCLUDE, BUT IS NOT LIMITED TO, SCHEDULED AND CORRECTIVE MAINTENANCE AS DESCRIBED ON/IN THE APPROVED PLAN AND/OR AS DESCRIBED IN THE BERKELEY COUNTY STORMWATER DESIGN STANDARDS MANUAL FOR ALL STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS INTENDED TO MANAGE AND/OR CONTROL STORMWATER ON THE PROPERTY, WITH SUCH FACILITIES, BMPs, AND IMPROVEMENTS TO EXPRESSLY INCLUDE, BUT NOT BE LIMITED TO PIPES, DRAINAGE STRUCTURES, DITCHES, SWALES, VEGETATION, BERMS, POND AREAS, OUTLET STRUCTURES, MAINTENANCE SHELF(S) AND ACCESS ROADS, OR ANY OTHER IMPROVEMENT ASSOCIATED WITH STORMWATER ON THE PROPERTY BUT EXCLUDING ANY SUCH IMPROVEMENTS LOCATED ON, UNDER, OR WITHIN ANY PUBLICLY OWNED OR DEDICATED RIGHTS-OF-WAY IN WHICH STATE OR COUNTY HAS ACCEPTED MAINTENANCE OF THE ROADWAYS AND/OR DRAINAGE FACILITIES. ADEQUATE MAINTENANCE IS HEREIN DEFINED AS KEEPING SUCH STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS IN GOOD WORKING CONDITION SUCH THAT THEY SATISFACTORILY PERFORM THEIR INTENDED DESIGN FUNCTIONS.
3. THE OWNER, ITS SUCCESSORS AND ASSIGNS, SHALL INSPECT THE STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS AS DESCRIBED ON/IN THE APPROVED PLAN AND/OR AS DESCRIBED IN THE BERKELEY COUNTY STORMWATER DESIGN STANDARDS MANUAL TO ASSURE SAFE AND PROPER FUNCTIONING OF THE STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS LOCATED ON THE PROPERTY. ANY AND ALL DEFICIENCIES IDENTIFIED DURING SUCH INSPECTIONS SHALL BE REPAIRED AS NECESSARY AT THE OWNER'S EXPENSE. A DETAILED REPAIR PLAN MAY BE REQUIRED TO BE PREPARED BY A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF SOUTH CAROLINA.
4. THE OWNER, ITS SUCCESSORS AND ASSIGNS, HEREBY GRANTS PERMISSION TO THE COUNTY, ITS AUTHORIZED AGENTS AND EMPLOYEES, TO ENTER UPON THE PROPERTY AND TO INSPECT THE STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS AS DEEMED NECESSARY BY THE COUNTY FOR PURPOSES OF PROTECTING THE PUBLIC HEALTH, SAFETY OR WELFARE, FOR PURPOSES OF INVESTIGATING OR INSPECTING ANY REPORTED OR SUSPECTED DEFICIENCIES IN THE STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS ON THE PROPERTY, FOR PURPOSES OF RESPONDING TO OR INVESTIGATING CITIZENS COMPLAINTS RELATING TO THE MANAGEMENT OR CONTROL OF STORMWATER ON THE PROPERTY, OR FOR ANY OTHER PURPOSE DEEMED NECESSARY BY THE COUNTY. THE COUNTY SHALL PROVIDE THE OWNER, ITS SUCCESSORS AND ASSIGNS, WITH A COPY OF ANY INSPECTION FINDINGS, AS WELL AS A DIRECTIVE TO COMMENCE WITH ANY REQUIRED REPAIRS, TO THE EXTENT THAT THE COUNTY DOES NOT AGREE WITH OR TO THE CONTEMPLATED REPAIRS PROPOSED BY THE OWNER. THE COUNTY MAY SUBMIT AN ALTERNATE REPAIR PLAN TO THE OWNER OR REQUIRE THE OWNER TO SUBMIT A DETAILED REPAIR PLAN PREPARED BY A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF SOUTH CAROLINA.
5. IN THE EVENT THE OWNER, ITS SUCCESSORS AND ASSIGNS, FAILS TO MAINTAIN THE STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS ON THE PROPERTY IN GOOD WORKING CONDITION ACCEPTABLE TO THE COUNTY, OR FAILS TO MAKE REPAIRS AS SPECIFIED IN THE INSPECTION REPORT WITHIN A REASONABLE TIME FRAME AS ESTABLISHED BY THE COUNTY, WITH SUCH TIME FRAME NOT TO BE SHORTER THAN THIRTY (30) DAYS, THE COUNTY MAY ENTER UPON THE PROPERTY AND TAKE ANY AND ALL ACTION NECESSARY TO CORRECT DEFICIENCIES IDENTIFIED IN THE INSPECTION REPORT. THE OWNER, ITS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR ANY AND ALL EXPENSES INCURRED BY THE COUNTY IN TAKING SUCH CORRECTIVE ACTION. THIS PROVISION SHALL NOT BE CONSTRUED TO ALLOW THE COUNTY TO ERECT ANY STRUCTURE OF A PERMANENT NATURE ON THE LAND OF THE OWNER OUTSIDE THE EASEMENT FOR THE STORMWATER MANAGEMENT/BMP FACILITIES. IT IS EXPRESSLY UNDERSTOOD AND AGREED THAT THIS COVENANT IMPOSES NO OBLIGATION OR RESPONSIBILITY ON THE COUNTY TO ROUTINELY MAINTAIN OR REPAIR ANY STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS LOCATED ON THE PROPERTY.
6. IN THE EVENT THAT THE COUNTY PERFORMS OR UNDERTAKES WORK OF ANY KIND PURSUANT TO THIS COVENANT OR EXPENDS ANY FUNDS OR RESOURCES IN PERFORMANCE OF SAID WORK FOR LABOR, USE OF EQUIPMENT, SUPPLIES, MATERIAL, AND THE LIKE, THE OWNER, ITS SUCCESSORS AND ASSIGNS, SHALL REIMBURSE THE COUNTY UPON DEMAND, WITHIN THIRTY (30) DAYS OF RECEIPT OF SAME.

# NEW COMET ROAD PACK-RAT STORAGE FACILITY

## TMS#222-00-00-183

### GOOSE CREEK, BERKELEY COUNTY, SC



**SHEET INDEX:**

- C000 - COVER SHEET
- C001 - BOUNDARY SURVEY
- C100- EXISTING CONDITIONS SURVEY
- C200 - EROSION CONTROL AND DEMOLITION PLAN
- C300 - NEW SITE PLAN
- C400 - GRADING AND DRAINAGE PLAN
- C401 - UTILITY PLAN
- C500 - CONSTRUCTION DETAILS
- C501 - CONSTRUCTION DETAILS
- C502 - CONSTRUCTION DETAILS
- C503 - CONSTRUCTION DETAILS
- C504 - CONSTRUCTION DETAILS
- L101 - LANDSCAPE PLAN
- L102 - LANDSCAPE PLAN
- L103 - PLANTING SCHEDULE

**CONTACT INFORMATION**

OWNER / DEVELOPER:  
PACK RAT HOLDINGS LLC.  
157 E BAY STREET  
CHARLESTON, SOUTH CAROLINA 29401

CONTACT: DAN NORWOOD  
TEL: 843-425-3664

CIVIL ENGINEER:  
FORSBERG ENGINEERING & SURVEYING, INC.  
ATTN: GADSDEN A. LINTON III III  
P.O. BOX 30575 CHARLESTON, SOUTH CAROLINA 29407  
TEL: 843-571-2622

**NOTES:**

- 1) THE TMS NUMBERS ARE 222-00-00-183 (BERKELEY COUNTY)
- 2) TOTAL TRACT AREA IS 3.72 ACRES.
- 3) THE PROPERTY IS ZONED GC (GENERAL COMMERCIAL).

**CONSTRUCTION SEQUENCE**

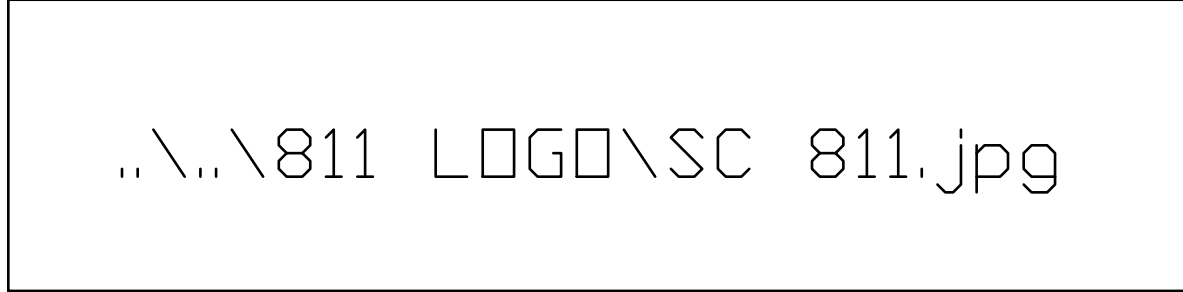
ITEMS MUST OCCUR IN THE ORDER LISTED; ITEMS CANNOT OCCUR CONCURRENTLY UNLESS SPECIFICALLY NOTED.

1. RECEIVE NPDES COVERAGE FROM DHEC
2. PRE-CONSTRUCTION MEETING (ON-SITE IF MORE THAN 10 DISTURBED AND NON-LINEAR)
3. NOTIFY DHEC EPC REGIONAL OFFICE OR OCRM OFFICE 48 HOURS PRIOR TO BEGINNING LAND-DISTURBING ACTIVITIES
4. INSTALLATION OF CONSTRUCTION ENTRANCE(S)
5. CLEARING & GRUBBING ONLY AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS
6. INSTALLATION OF PERIMETER CONTROLS (E.G., SILT FENCE)
7. CLEARING & GRUBBING ONLY IN AREAS OF BASINS/ TRAPS/ PONDS
8. INSTALLATION OF BASINS/ TRAPS/ PONDS AND INSTALLATION OF DIVERSIONS TO THOSE STRUCTURES (OUTLET STRUCTURES MUST BE COMPLETELY INSTALLED AS SHOWN ON THE DETAILS BEFORE PROCEEDING TO NEXT STEP; AREAS DRAINING TO THESE STRUCTURES CANNOT BE DISTURBED UNTIL THE STRUCTURES AND DIVERSIONS TO THE STRUCTURES ARE COMPLETELY INSTALLED)
9. CLEARING & GRUBBING OF SITE OR DEMOLITION (SEDIMENT & EROSION CONTROL MEASURES FOR THESE AREAS MUST ALREADY BE INSTALLED)
10. ROUGH GRADING
11. INSTALLATION OF STORM DRAIN SYSTEM AND PLACEMENT OF INLET PROTECTION AS EACH INLET IS INSTALLED
12. FINE GRADING, PAVING, ETC.
13. PERMANENT/ FINAL STABILIZATION
14. REMOVAL OF TEMPORARY SEDIMENT & EROSION CONTROL MEASURES AFTER ENTIRE AREA DRAINING TO THE STRUCTURE IS FINALLY STABILIZED (THE DEPARTMENT RECOMMENDS THAT THE PROJECT OWNER/ OPERATOR HAVE THE SWPPP PREPARER OR REGISTRATION EQUIVALENT APPROVE THE REMOVAL OF TEMPORARY STRUCTURES.)
15. PERFORM AS-BUILT SURVEYS OF ALL DETENTION STRUCTURES AND SUBMIT TO DHEC OR MS4 FOR ACCEPTANCE.
16. SUBMIT NOTICE OF TERMINATION (NOT) TO DHEC AS APPROPRIATE.

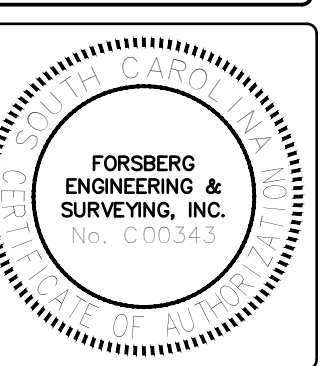
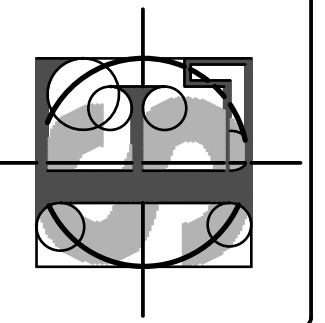
**CONSTRUCTION/DEMOLITION DELIVERY ROUTE:**

CONSTRUCTION TRAFFIC SHALL ACCESS THE SITE BY NEW COMET ROAD. EXIT INTERSTATE I-26 TO HWY 78 EASTBOUND, FOLLOW HWY 78 TO RIVERS AVE (HWY 52) NORTHBOUND. FOLLOW HWY 52 NORTH UNTIL YOU REACH ST JAMES AVE (HWY 17B). TURN LEFT ON TO ST JAMES AVE. REMAIN STRAIGHT UNTIL YOU REACH NEW COMET ROAD ON THE LEFT. THE SITE AND CONSTRUCTION ENTRANCE WILL BE ON THE IMMEDIATELY ON THE RIGHT ON THE CORNER OF ST. JAMES AND NEW COMET ROAD. VEHICLES WILL BE ENTERING AND EXITING FROM THIS ENTRANCE.

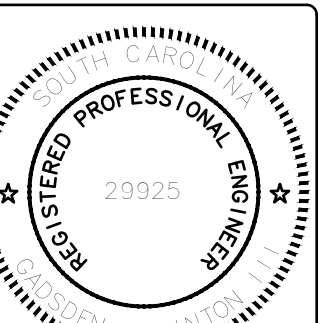
REVISION TABLE		
NO.	DATE	REVISION
1		
2		
3		
4		
5		



**FORSBERG ENGINEERING AND SURVEYING, INC.**  
1587 SAVANNAH HIGHWAY SUITE B  
P.O. BOX 30575  
CHARLESTON, SOUTH CAROLINA 29417  
(843) 571-2622  
CIVIL ENGINEERING, SURVEYING AND LANDSCAPE ARCHITECTURE



**COVER SHEET**  
**PACK-RAT STORAGE FACILITY**  
**TMS 222-00-00-183/TRACT A-2-B1**  
**CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA**



GADSDEN A. LINTON III

**DATE**

**FEBRUARY 6, 2022**

**DRAWN/CHECKED**

**CLH/TL**

**LAST REVISED**

**APPROVED**

**TL**

**SCALE**

**1"=20'**

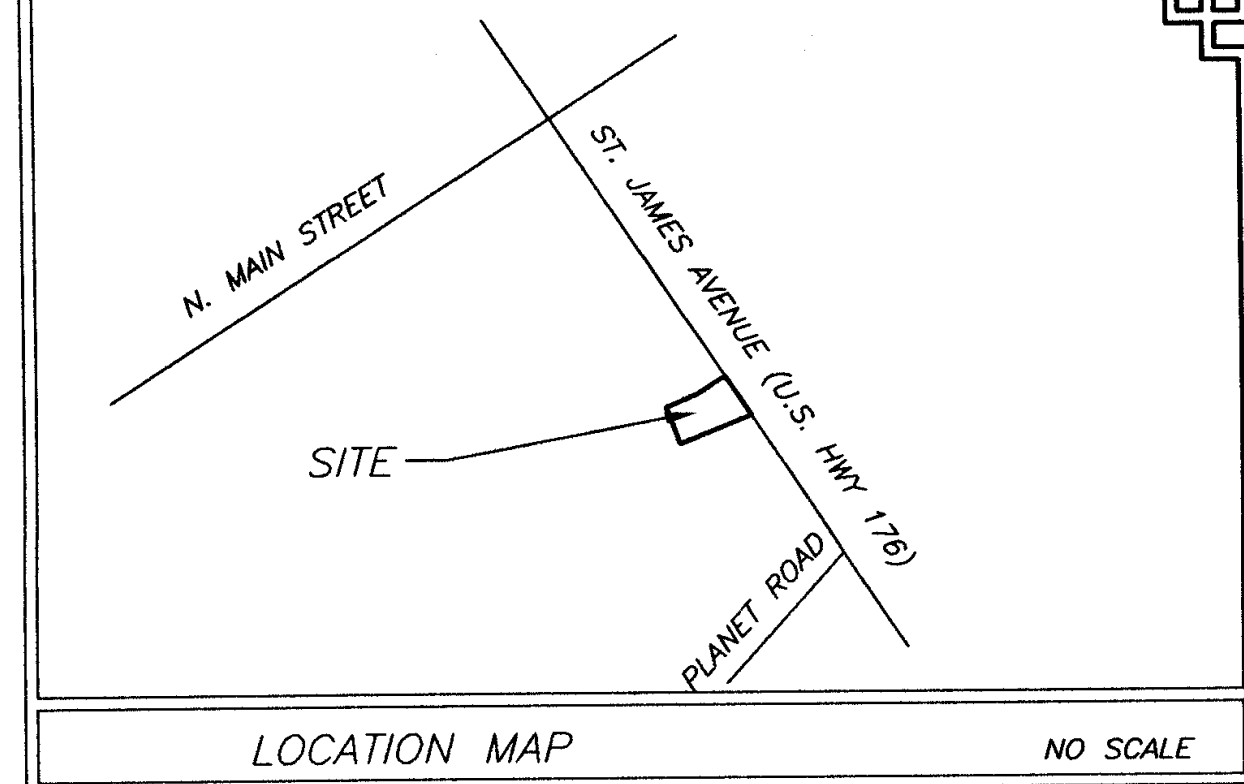
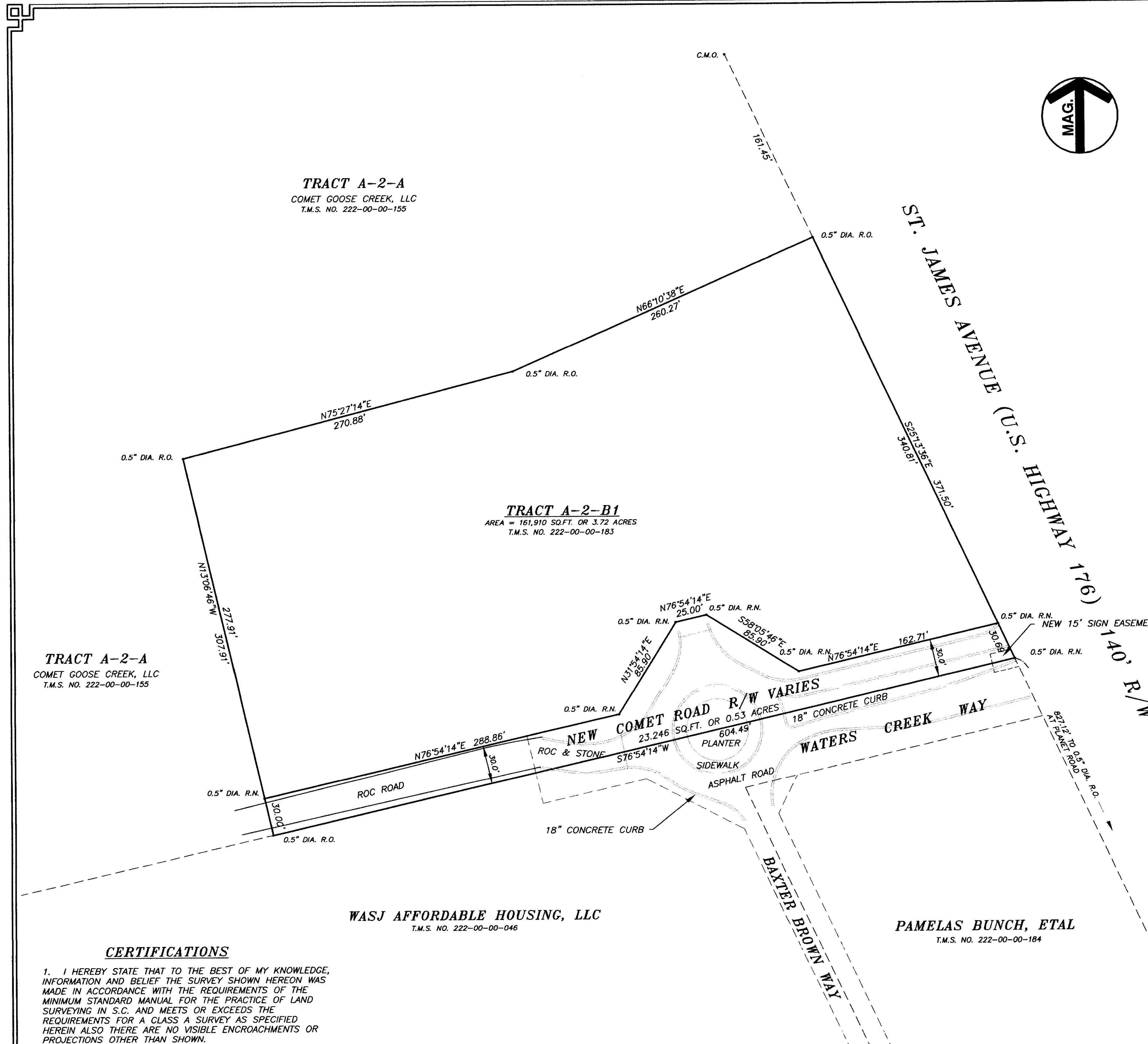
**PROJECT NO.**

**5672**

**SHEET NUMBER**

**C000**

**OF**



- LEGEND**
- I.O. IRON OLD
  - I.N. IRON NEW
  - C.M.O. CONCRETE MONUMENT OLD
  - R.O. ROD OLD
  - R.N. ROD NEW
- REFERENCES**
1. PLAT BOOK S, PAGE 106I.
  2. PLAT BOOK S, PAGE 158I.
  3. T.M.S. NO. 222-00-00-183

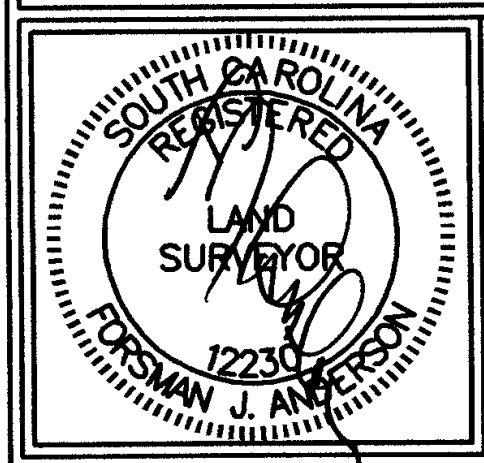
2017031945  
BK: PLAT CABS  
PG: 351s  
PRESENTED & RECORDED:  
08-31-2017 01:46:11 PM  
CYNTHIA B FORTE  
REGISTER OF DEEDS  
BERKELEY COUNTY, SC

APPROVED  
CITY OF GOOSE CREEK, S.C.  
DATE: 08/31/17

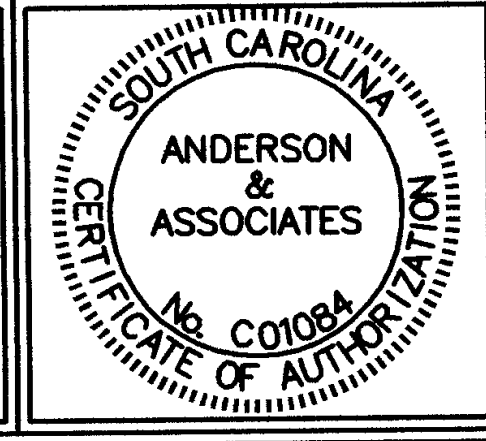
- NOTES**
1. BEARINGS ARE MAGNETIC AND ARE SUBJECT TO LOCAL ATTRACTION.
  2. AREA CALCULATED BY THE COORDINATE METHOD.
  3. TRACT A-2-B1 IS ABOUT TO BE CONVEYED TO PACK RAT HOLDINGS, ET AL.
  4. THE PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE X SHOWN ON COMMUNITY PANEL 45019C-0590D DATED NOV. 17, 2004.
  5. TOTAL AREA OF PROPERTY SURVEYED IS 185,156 SQ.FT. OR 4.25 ACRES.
  6. PUBLIC UTILITIES ARE PROVIDED BY BERKELEY COUNTY WATER AND SEWER.
  7. PROPERTY IS ZONED "GENERAL COMMERCIAL".

**CERTIFICATIONS**

1. I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARD MANUAL FOR THE PRACTICE OF LAND SURVEYING IN S.C. AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED HEREIN ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



**ANDERSON & ASSOCIATES**  
LAND SURVEYING AND PLANNING, INC.  
P.O. BOX 87, JOHNS ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA 29457  
PHONE (843)571-0900



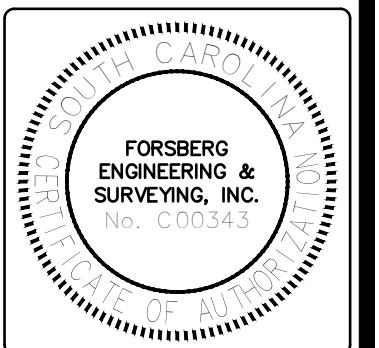
TITLE  
PLAT OF A SUBDIVISION OF TRACT A-2-B, INTO TRACT A-2-B1 AND NEW 30' COMET ROAD. LOCATED IN THE CITY OF GOOSE CREEK, BERKELEY COUNTY, S.C.

SCALE: 1" = 30'

DATE: AUGUST 15, 2017

DRAWING NUMBER: 9092REC.DWG

**FORSBERG ENGINEERING AND SURVEYING, INC.**  
1587 SAVANNAH HIGHWAY SUITE B  
CHARLESTON, SOUTH CAROLINA 29417  
(843) 571-2622 FAX (843) 571-6780  
CIVIL ENGINEERING, SURVEYING AND LANDSCAPE ARCHITECTURE



**BOUNDARY SURVEY**  
**PACK-RAT STORAGE FACILITY**  
**TMS 222-00-00-183/TRACT A-2-B1**  
CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA

DATE  
FEBRUARY 6, 2022

DRAWN/CHECKED  
CLH/TL

LAST REVISED

APPROVED  
TL

SCALE  
1" = 20'

PROJECT NO.  
5672

SHEET NUMBER

**C001**  
OF

**LEGEND**

- 10 C 10" DIA. CHERRY TREE
- 12 P 12" DIA. PINE
- 8 G 8" DIA. GUM
- 5 B BEECH TREE
- 10 POP 10" DIA. POPCORN
- 9 H 9" DIA. HACKBERRY
- 12 M 12" DIA. MAPLE TREE
- TELEPHONE PEDESTAL
- WOV WOV HANDHOLE
- EXISTING FIRE HYDRANT
- ELECTRICAL TRANSFORMER
- BERKELEY ELECTRIC HANDHOLE
- CP CALCULATED POINT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- + SPOT ELEVATION
- ~ CONTOUR ELEVATION
- ⊕ AT&T HANDHOLE
- ⊕ WM WATER METER
- ⊕ LP LIGHT POLE
- ⊕ FENCE
- ⊕ I.O. IRON OLD
- ⊕ I.N. IRON NEW
- ⊕ C.M.O. CONCRETE MONUMENT OLD
- ⊕ R.O. ROD OLD
- ⊕ R.N. ROD NEW

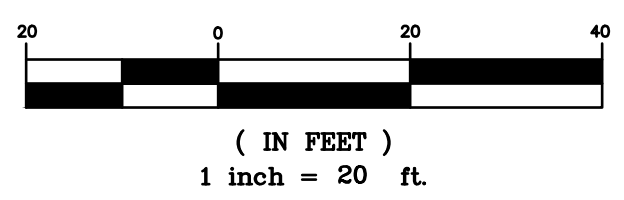
**REFERENCES**

1. PLAT BOOK S, PAGE 106.
2. PLAT BOOK S, PAGE 158
3. PLAT BY ANDERSON AND ASSOCIATES LAND SURVEYING AND PLANNING, INC. DATED AUG. 15, 2017.
4. T.M.S. NO. 222-00-00-183

**NOTES**

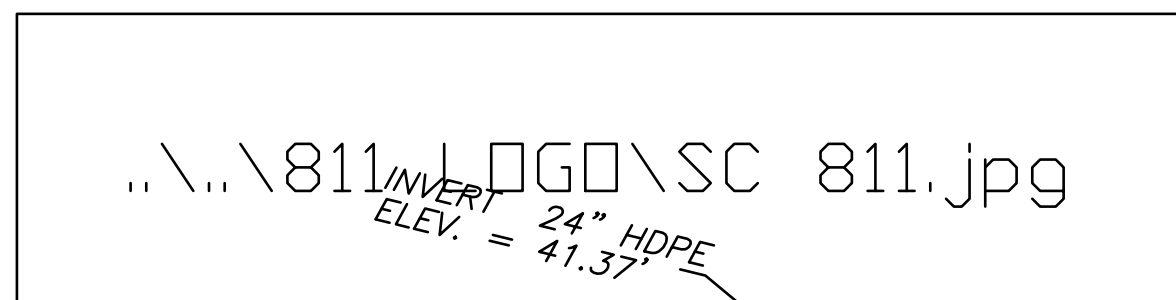
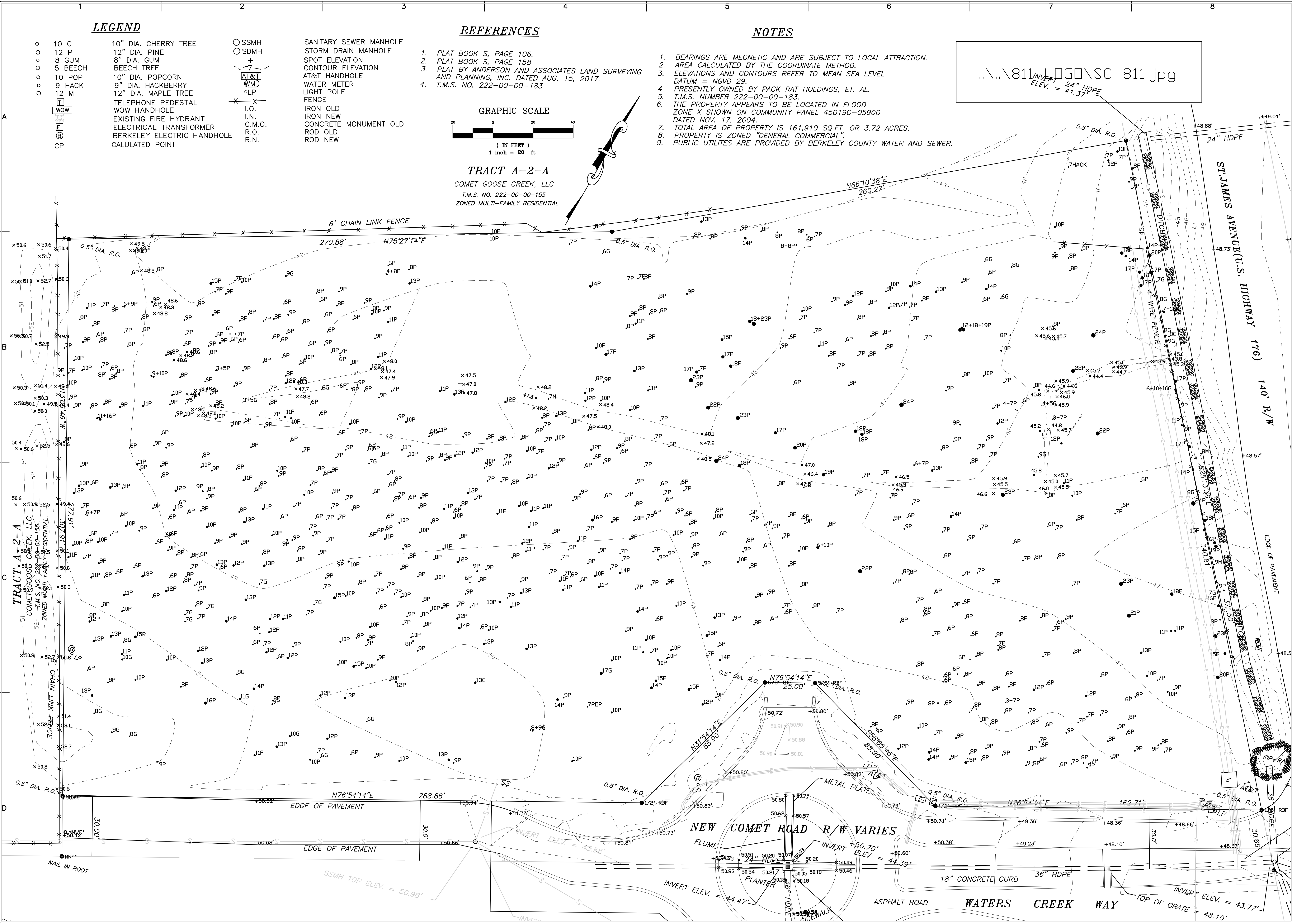
1. BEARINGS ARE MEGNETIC AND ARE SUBJECT TO LOCAL ATTRACTION.
2. AREA CALCULATED BY THE COORDINATE METHOD.
3. ELEVATIONS AND CONTOURS REFER TO MEAN SEA LEVEL DATUM = NGVD 29.
4. PRESENTLY OWNED BY PACK RAT HOLDINGS, ET. AL.
5. T.M.S. NUMBER 222-00-00-183.
6. THE PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE X SHOWN ON COMMUNITY PANEL 45019C-05900 DATED NOV. 17, 2004.
7. TOTAL AREA OF PROPERTY IS 161,910 SQ.FT. OR 3.72 ACRES.
8. PROPERTY IS ZONED "GENERAL COMMERCIAL".
9. PUBLIC UTILITES ARE PROVIDED BY BERKELEY COUNTY WATER AND SEWER.

**GRAPHIC SCALE**

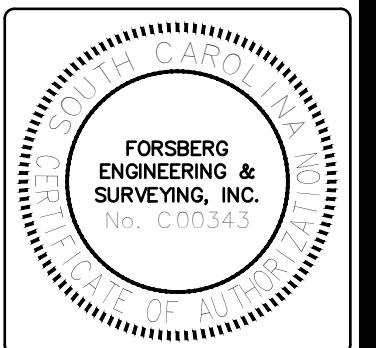
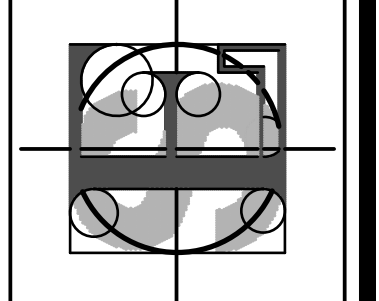


**TRACT A-2-A**

COMET GOOSE CREEK, LLC  
T.M.S. NO. 222-00-00-155  
ZONED MULTI-FAMILY RESIDENTIAL



**FORSBERG ENGINEERING AND SURVEYING, INC.**  
1587 SAVANNAH HIGHWAY, SUITE B  
CHARLESTON, SOUTH CAROLINA 29417  
(843) 571-2622 FAX (843) 571-6780  
CIVIL ENGINEERING, SURVEYING AND LANDSCAPE ARCHITECTURE



**EXISTING CONDITIONS SURVEY**  
PACK-RAT STORAGE FACILITY  
TMS 222-00-00-183/TRACT A-2-B1  
CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA

DATE  
**FEBRUARY 6, 2022**

DRAWN/CHECKED  
**CLH/TL**

LAST REVISED

APPROVED  
**TL**

SCALE  
**1"=20'**

PROJECT NO.  
**5672**

SHEET NUMBER  
**C100**

DATE  
**FEBRUARY 6, 2022**

DRAWN/CHECKED  
**CLH/TL**

LAST REVISED

APPROVED  
**TL**

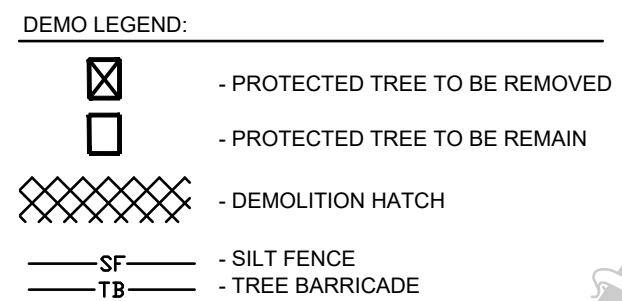
SCALE  
**1"=20'**

PROJECT NO.  
**5672**

SHEET NUMBER  
**C100**

**DEMOLITION NOTES:**

- 1) ALL UNDERGROUND UTILITIES TO BE PROTECTED DURING CONSTRUCTION.
- 2) CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES. SEE EROSION CONTROL NOTES AND DETAILS.
- 3) THE CONSTRUCTION ACTIVITY SHALL BE IMPLEMENTED AND COMPLY WITH SECTION 2.2.2 AND BMP'S INCLUDED IN APPENDIX E OF THE BERKELEY COUNTY STORMWATER DESIGN STANDARDS MANUAL.
- 4) ADEQUATE EROSION SEDIMENT CONTROL WILL BE MAINTAINED ON SITE OR THE DURATION OF CONSTRUCTION ACTIVITIES.
- 5) STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE NO MORE THAN FOURTEEN DAYS AFTER WORK HAS CEASED, UNLESS ACTIVITY IN THAT PORTION OF THE SITE WILL RESUME WITHIN TWENTY ONE DAYS. EXISTING AND NATURAL VEGETATION SHOULD BE PRESERVED AS MUCH AS POSSIBLE.
- 6) THE TOTAL DISTURBED AREA FOR THIS SITE IS XXX ACRES.
- 7) SEE EROSION CONTROL NOTES ON SHEET C500.
- 8) CONTRACTOR IS RESPONSIBLE FOR SETTING ALL NEW AND EXISTING SSMH TOPS, INLET TOPS, FIRE HYDRANTS, VALVES, CLEAN OUTS, & ETC TO FINISHED GRADE. MINOR ADJUSTMENTS MAY BE NECESSARY.
- 9) ALL DISTURBED AREAS SHALL BE TEMPORARILY STABILIZED IN ACCORDANCE TO GRASSING & SEEDING SCHEDULE ON SHEET C500 AND PERMANENTLY STABILIZED IN ACCORDANCE TO THE LANDSCAPE PLAN.
- 10) CONSIDERABLE EFFORT HAS BEEN MADE TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES. SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN FROM UTILITY RECORDS OR LOCATIONS MARKED IN THE FIELD BY THE VARIOUS UTILITY COMPANIES. THIS SURVEY DOES NOT WARRANT THAT UTILITIES ARE SHOWN ACCURATELY NOR THAT ALL UTILITIES ARE SHOWN. CALL PALMETTO UTILITY PROTECTION SERVICE (P.U.P.S.) AT 811 A MINIMUM OF 3 WORKING DAYS BEFORE DIGGING.
- 11) LITTER, CONSTRUCTION DEBRIS, CONCRETE WASHOUT, OILS, FUELS AND BUILDING PRODUCTS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGES.
- 12) A CONCRETE WASHOUT IS REQUIRED FOR THIS SITE. THE LOCATION WILL BE DETERMINED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE FINAL LOCATION WITH ENGINEER.
- 13) THE CONTRACTOR SHALL ENSURE THE PUBLIC RIGHT OF WAY WILL REMAIN ADA COMPLIANT DURING CONSTRUCTION.



**TREE SUMMARY:**

\*THERE ARE NO GRAND TREES SET TO BE REMOVED

**PROTECTED TREES TO BE REMOVED:**

- 8" CHERRY TREE
- 8" POPLAR TREE
- 22" CHERRY TREE
- 16" BEECH TREE
- 9" MAPLE

**TREE MITIGATION:**

8' + 8' + 22" + 16" + 9" = 63" OF MITIGATION REQUIRED

\*\*SEE SHEET L100 SERIES FOR PLANTING LAYOUT AND SCHEDULING

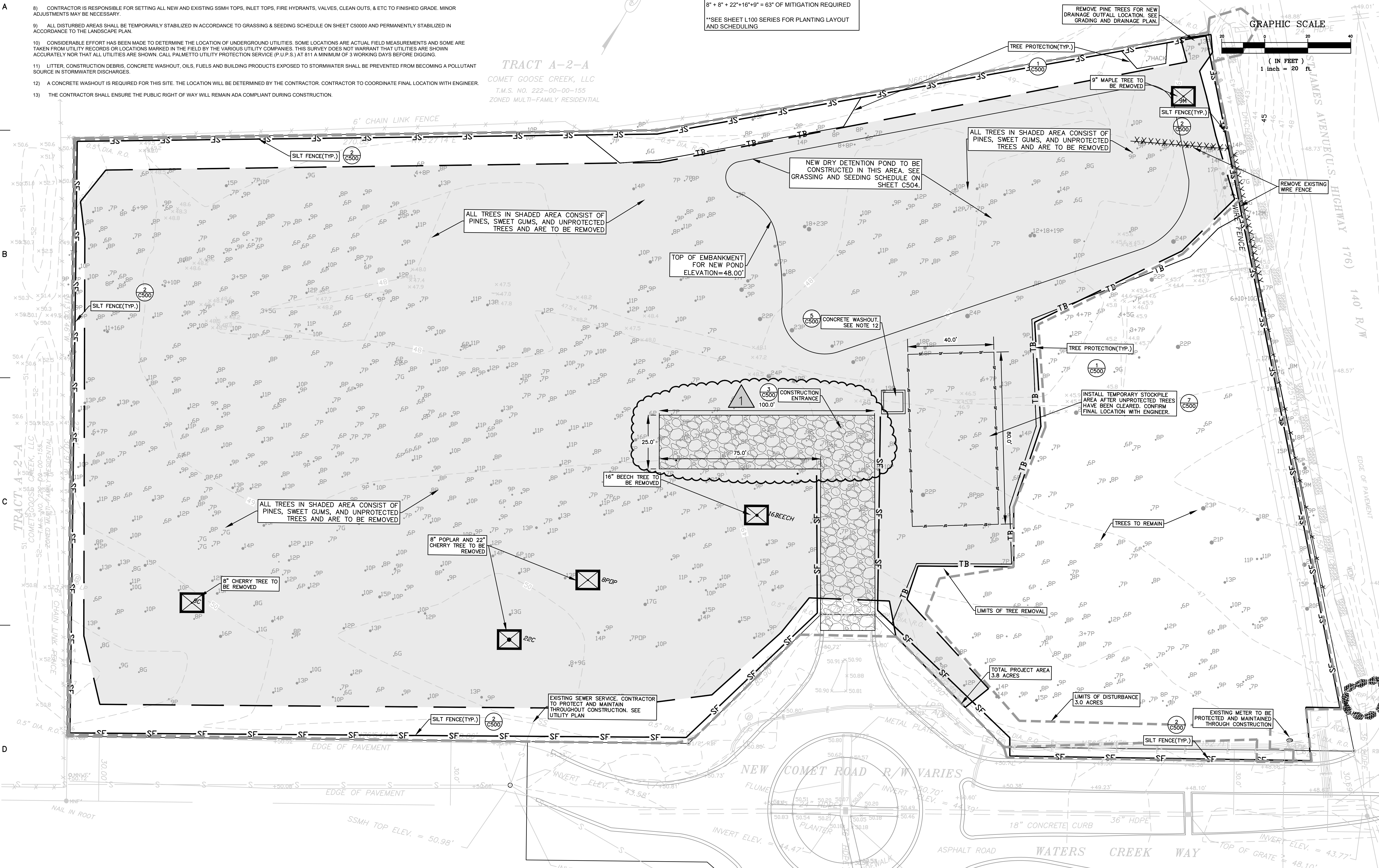
REVISION TABLE			
NO.	DATE	REVISION	PLAN SHEET
1	8/22/2022	ROOF DRAINAGE CONNECTIONS/CONST. ENTRANCE/HDPPE PIPING	C200,C400,C501
2			
3			
4			
5			

811 LOGO\SC 811.jpg

INVERT = 41.37'

GRAPHIC SCALE  
( IN FEET )  
1 inch = 20 ft

**TRACT A-2-A**  
COMET GOOSE CREEK, LLC  
T.M.S. NO. 222-00-00-155  
ZONED MULTI-FAMILY RESIDENTIAL



**FORSBERG ENGINEERING AND SURVEYING, INC.**  
1387 SAVANNAH HIGHWAY, SUITE B  
CHARLESTON, SOUTH CAROLINA 29417  
(843) 571-2622 FAX (843) 571-8780  
CIVIL ENGINEERING, SURVEYING AND LANDSCAPE ARCHITECTURE

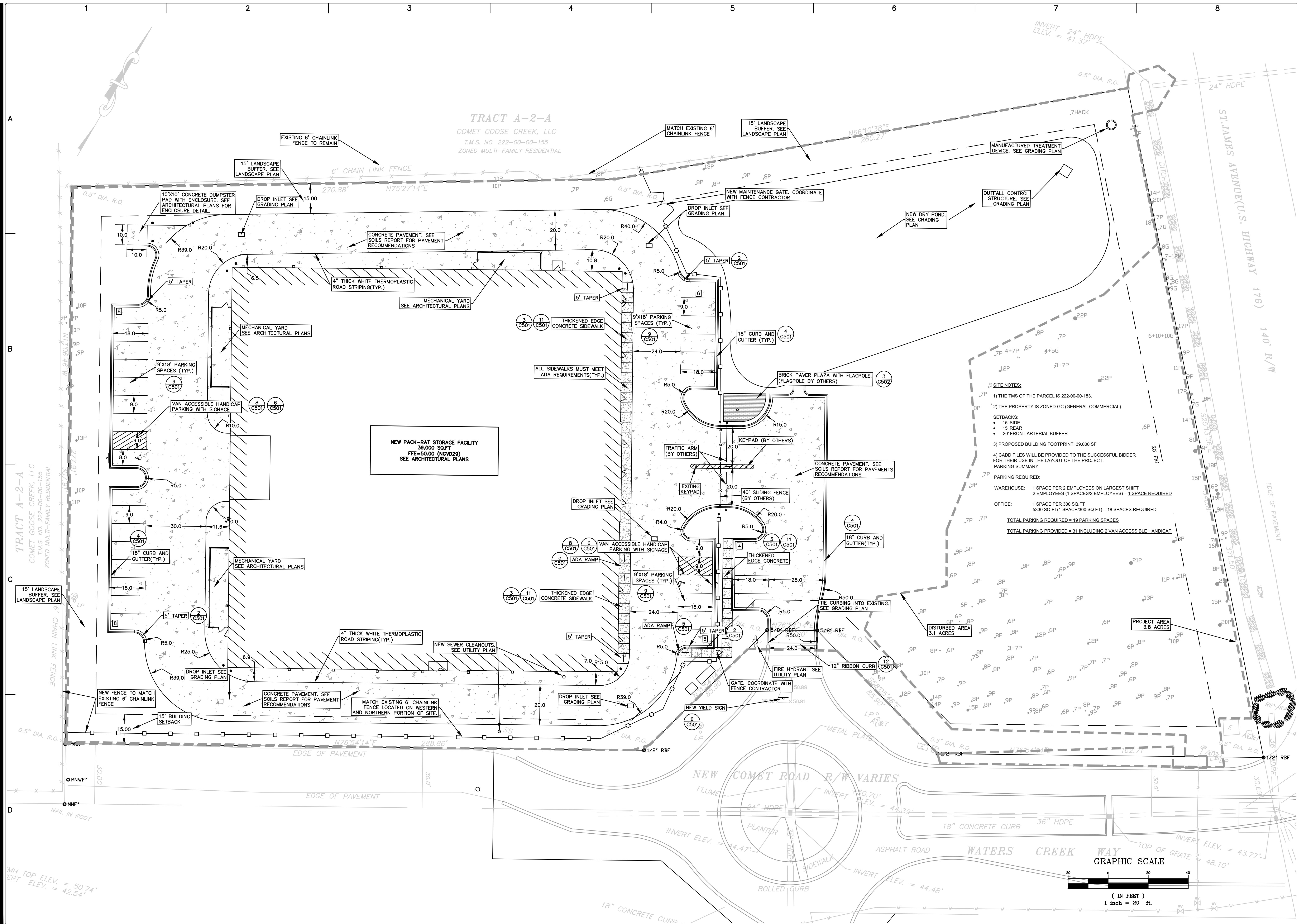
**FORSBERG ENGINEERING & SURVEYING, INC.**  
No. C00343

**DEMOLITION AND EROSION CONTROL PLAN**  
PACK-RAT STORAGE FACILITY  
TMS 222-00-00-183/TRACT A-2-B1  
CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA

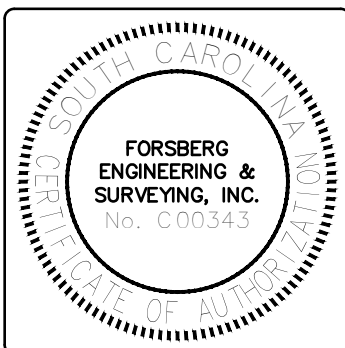
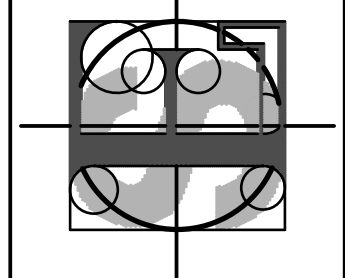
**REGISTERED PROFESSIONAL ENGINEER**  
29925  
GADSDEN A. LINTON III

DATE	FEBRUARY 6, 2022
DRAWN/CHECKED	CLH/TL
LAST REVISED	AUGUST 22, 2022
APPROVED	TL
SCALE	1"=20'
PROJECT NO.	5672
SHEET NUMBER	C200

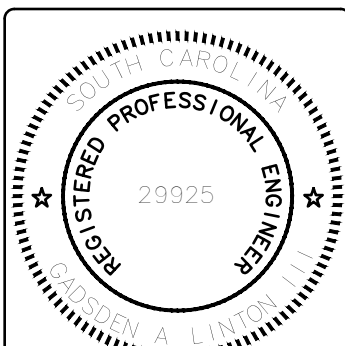
**C200**  
OF



**FORSBERG ENGINEERING AND SURVEYING, INC.**  
1587 SAVANNAH HIGHWAY, SUITE B  
CHARLESTON, SOUTH CAROLINA 29417  
(843) 571-2622 FAX (843) 571-6780  
CIVIL ENGINEERING, SURVEYING  
AND LANDSCAPE ARCHITECTURE



**SITE PLAN**  
**PACK-RAT STORAGE FACILITY**  
**TMS 222-00-00-183/TRACT A-2-B1**  
CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA



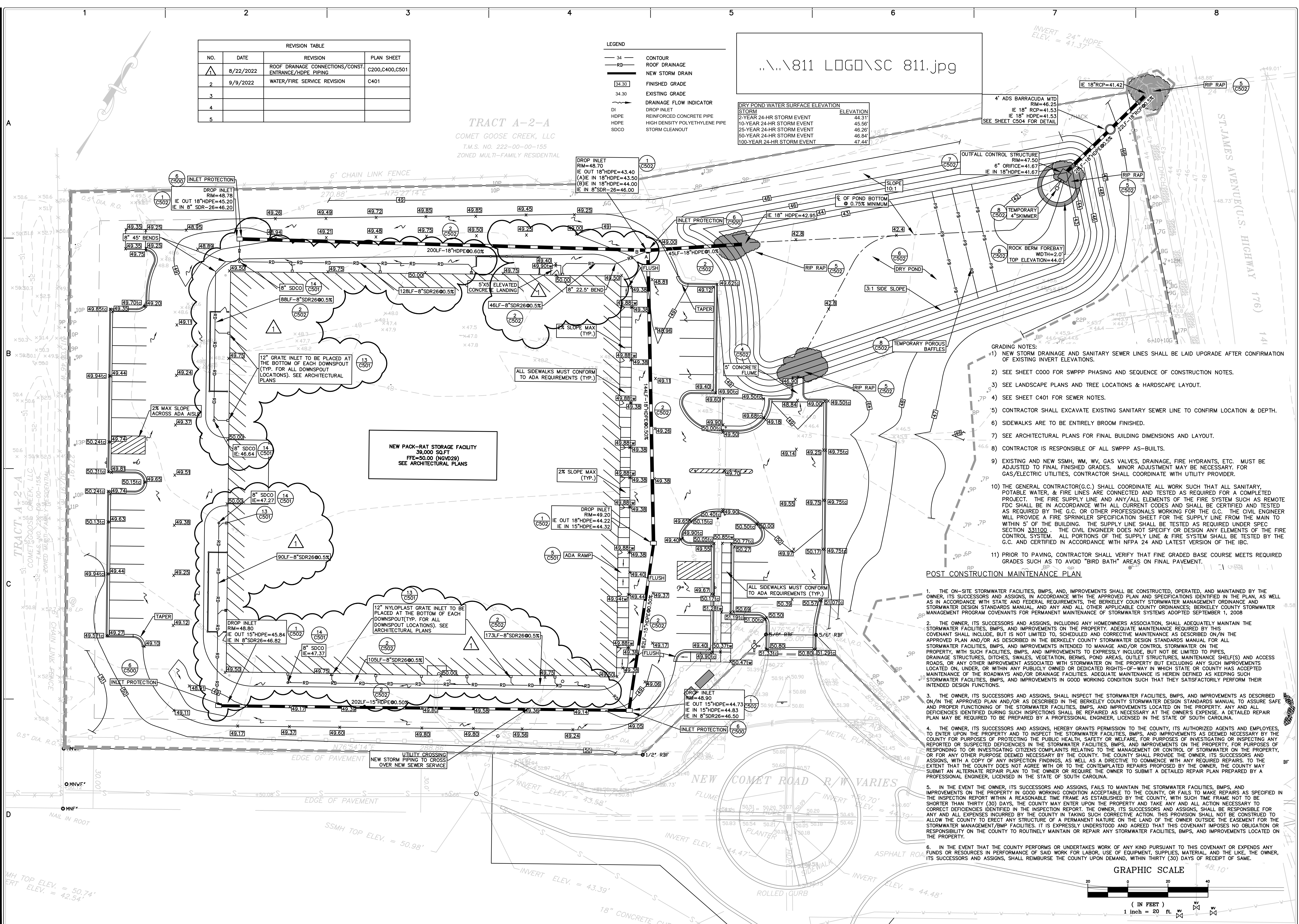
**GADSDEN A. LINTON III**  
DATE  
**FEBRUARY 6, 2022**  
DRAWN/CHECKED  
**CLH/TL**  
LAST REVISED  
**TL**  
APPROVED  
**TL**  
SCALE  
**1"=20'**  
PROJECT NO.  
**5672**  
SHEET NUMBER

**C300**  
OF

REVISION TABLE			
NO.	DATE	REVISION	PLAN SHEET
1	8/22/2022	ROOF DRAINAGE CONNECTIONS/CONST. ENTRANCE/HDPE PIPING	C200,C400,C501
2	9/9/2022	WATER/FIRE SERVICE REVISION	C401
3			
4			
5			

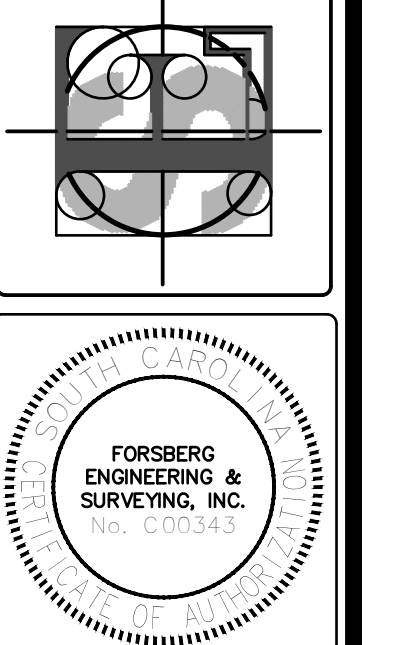
LEGEND	
34	CONTOUR
RD	ROOF DRAINAGE
---	NEW STORM DRAIN
34.30	FINISHED GRADE
34.30	EXISTING GRADE
→	DRAINAGE FLOW INDICATOR
DI	DROP INLET
HDPE	REINFORCED CONCRETE PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
SDCO	STORM CLEANOUT

DRY POND WATER SURFACE ELEVATION	
STORM	ELEVATION
2-YEAR 24-HR STORM EVENT	44.31
10-YEAR 24-HR STORM EVENT	45.98
25-YEAR 24-HR STORM EVENT	46.26
50-YEAR 24-HR STORM EVENT	46.84
100-YEAR 24-HR STORM EVENT	47.44

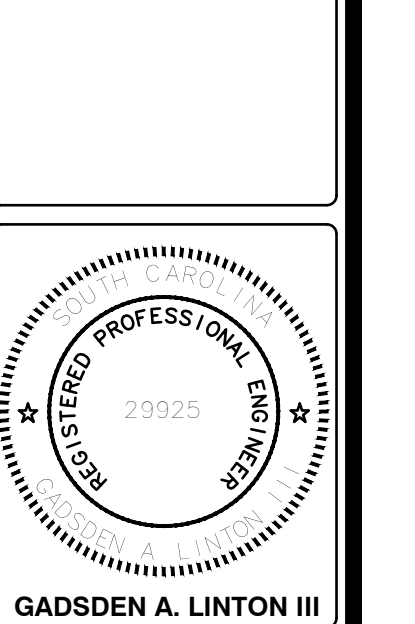


- GRADING NOTES:**
- 1) NEW STORM DRAINAGE AND SANITARY SEWER LINES SHALL BE LAID UPGRADE AFTER CONFIRMATION OF EXISTING INVERT ELEVATIONS.
  - 2) SEE SHEET C000 FOR SWPPP PHASING AND SEQUENCE OF CONSTRUCTION NOTES.
  - 3) SEE LANDSCAPE PLANS AND TREE LOCATIONS & HARDSCAPE LAYOUT.
  - 4) SEE SHEET C401 FOR SEWER NOTES.
  - 5) CONTRACTOR SHALL EXCAVATE EXISTING SANITARY SEWER LINE TO CONFIRM LOCATION & DEPTH.
  - 6) SIDEWALKS ARE TO BE ENTIRELY BROOM FINISHED.
  - 7) SEE ARCHITECTURAL PLANS FOR FINAL BUILDING DIMENSIONS AND LAYOUT.
  - 8) CONTRACTOR IS RESPONSIBLE OF ALL SWPPP AS-BUILTS.
  - 9) EXISTING AND NEW SSMH, WM, WV, GAS VALVES, DRAINAGE, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO FINAL FINISHED GRADES. MINOR ADJUSTMENT MAY BE NECESSARY. FOR GAS/ELECTRIC UTILITIES, CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER.
  - 10) THE GENERAL CONTRACTOR(G.C.) SHALL COORDINATE ALL WORK SUCH THAT ALL SANITARY, POTABLE WATER, & FIRE LINES ARE CONNECTED AND TESTED AS REQUIRED FOR A COMPLETED PROJECT. THE FIRE SUPPLY LINE AND ANY/AE ELEMENTS OF THE FIRE SYSTEM SUCH AS REMOTE FDC SHALL BE IN ACCORDANCE WITH ALL CURRENT CODES AND SHALL BE CERTIFIED AND TESTED AS REQUIRED BY THE G.C. OR OTHER PROFESSIONALS WORKING FOR THE G.C. THE CIVIL ENGINEER WILL PROVIDE A FIRE SPRINKLER SPECIFICATION SHEET FOR THE SUPPLY LINE FROM THE MAIN TO WITHIN 5' OF THE BUILDING. THE SUPPLY LINE SHALL BE TESTED AS REQUIRED UNDER SPEC SECTION 331100. THE CIVIL ENGINEER DOES NOT SPECIFY OR DESIGN ANY ELEMENTS OF THE FIRE CONTROL SYSTEM. ALL PORTIONS OF THE SUPPLY LINE & FIRE SYSTEM SHALL BE TESTED BY THE G.C. AND CERTIFIED IN ACCORDANCE WITH NFPA 24 AND LATEST VERSION OF THE IBC.
  - 11) PRIOR TO PAVING, CONTRACTOR SHALL VERIFY THAT FINE GRADED BASE COURSE MEETS REQUIRED GRADES SUCH AS TO AVOID "BIRD BATH" AREAS ON FINAL PAVEMENT.
- POST CONSTRUCTION MAINTENANCE PLAN**
1. THE ON-SITE STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS SHALL BE CONSTRUCTED, OPERATED, AND MAINTAINED BY THE OWNER, ITS SUCCESSORS AND ASSIGNS, IN ACCORDANCE WITH THE APPROVED PLAN AND SPECIFICATIONS IDENTIFIED IN THE PLAN, AS WELL AS IN ACCORDANCE WITH STATE AND FEDERAL REQUIREMENTS, THE BERKELEY COUNTY STORMWATER MANAGEMENT ORDINANCE AND STORMWATER DESIGN STANDARDS MANUAL, AND ANY AND ALL OTHER APPLICABLE COUNTY ORDINANCES; BERKELEY COUNTY STORMWATER MANAGEMENT PROGRAM COVENANTS FOR PERMANENT MAINTENANCE OF STORMWATER SYSTEMS ADOPTED SEPTEMBER 1, 2008
  2. THE OWNER, ITS SUCCESSORS AND ASSIGNS, INCLUDING ANY HOMEOWNERS ASSOCIATION, SHALL ADEQUATELY MAINTAIN THE STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS ON THE PROPERTY. ADEQUATE MAINTENANCE REQUIRED BY THIS COVENANT SHALL INCLUDE, BUT IS NOT LIMITED TO, SCHEDULED AND CORRECTIVE MAINTENANCE AS DESCRIBED ON/IN THE APPROVED PLAN AND/OR AS DESCRIBED IN THE BERKELEY COUNTY STORMWATER DESIGN STANDARDS MANUAL FOR ALL STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS INTENDED TO MANAGE AND/OR CONTROL STORMWATER ON THE PROPERTY. WITH SUCH FACILITIES, BMPs, AND IMPROVEMENTS TO EXPRESSLY INCLUDE, BUT NOT BE LIMITED TO PIPES, DRAINAGE STRUCTURES, DITCHES, SWALES, VEGETATION, BERM, POND AREAS, OUTLET STRUCTURES, MAINTENANCE SHELF(S) AND ACCESS ROADS, OR ANY OTHER IMPROVEMENT ASSOCIATED WITH STORMWATER ON THE PROPERTY BUT EXCLUDING ANY SUCH IMPROVEMENTS LOCATED ON, UNDER, OR WITHIN ANY PUBLICLY OWNED OR DEDICATED RIGHTS-OF-WAY IN WHICH STATE OR COUNTY HAS ACCEPTED MAINTENANCE OF THE ROADWAYS AND/OR DRAINAGE FACILITIES. ADEQUATE MAINTENANCE IS HEREIN DEFINED AS KEEPING SUCH STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS IN GOOD WORKING CONDITION SUCH THAT THEY SATISFACTORILY PERFORM THEIR INTENDED DESIGN FUNCTIONS.
  3. THE OWNER, ITS SUCCESSORS AND ASSIGNS, SHALL INSPECT THE STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS AS DESCRIBED ON/IN THE APPROVED PLAN AND/OR AS DESCRIBED IN THE BERKELEY COUNTY STORMWATER DESIGN STANDARDS MANUAL TO ASSURE SAFE AND PROPER FUNCTIONING OF THE STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS LOCATED ON THE PROPERTY. ANY AND ALL DEFICIENCIES IDENTIFIED DURING SUCH INSPECTIONS SHALL BE REPAIRED AS NECESSARY AT THE OWNER'S EXPENSE. A DETAILED REPAIR PLAN MAY BE REQUIRED TO BE PREPARED BY A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF SOUTH CAROLINA.
  4. THE OWNER, ITS SUCCESSORS AND ASSIGNS, HEREBY GRANTS PERMISSION TO THE COUNTY, ITS AUTHORIZED AGENTS AND EMPLOYEES, TO ENTER UPON THE PROPERTY AND TO INSPECT THE STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS AS DEEMED NECESSARY BY THE COUNTY FOR PURPOSES OF PROTECTING THE PUBLIC HEALTH, SAFETY OR WELFARE. FOR PURPOSES OF INVESTIGATING OR INSPECTING ANY REPORTED OR SUSPECTED DEFICIENCIES IN THE STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS ON THE PROPERTY, FOR PURPOSES OF RESPONDING TO OR INVESTIGATING CITIZENS COMPLAINTS RELATING TO THE MANAGEMENT OR CONTROL OF STORMWATER ON THE PROPERTY, OR FOR ANY OTHER PURPOSE DEEMED NECESSARY BY THE COUNTY, THE COUNTY SHALL PROVIDE THE OWNER, ITS SUCCESSORS AND ASSIGNS, WITH A COPY OF ANY INSPECTION FINDINGS, AS WELL AS A DIRECTIVE TO COMMENCE WITH ANY REQUIRED REPAIRS, TO THE EXTENT THAT THE COUNTY DOES NOT AGREE WITH OR TO THE CONTEMPLATED REPAIRS PROPOSED BY THE OWNER, THE COUNTY MAY SUBMIT AN ALTERNATE REPAIR PLAN TO THE OWNER OR REQUIRE THE OWNER TO SUBMIT A DETAILED REPAIR PLAN PREPARED BY A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF SOUTH CAROLINA.
  5. IN THE EVENT THE OWNER, ITS SUCCESSORS AND ASSIGNS, FAILS TO MAINTAIN THE STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS ON THE PROPERTY IN GOOD WORKING CONDITION ACCEPTABLE TO THE COUNTY, OR FAILS TO MAKE REPAIRS AS SPECIFIED IN THE INSPECTION REPORT WITHIN A REASONABLE TIME FRAME AS ESTABLISHED BY THE COUNTY, WITH SUCH TIME FRAME NOT TO BE SHORTER THAN THIRTY (30) DAYS, THE COUNTY MAY ENTER UPON THE PROPERTY AND TAKE ANY AND ALL ACTION NECESSARY TO CORRECT DEFICIENCIES IDENTIFIED IN THE INSPECTION REPORT. THE OWNER, ITS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR ANY AND ALL EXPENSES INCURRED BY THE COUNTY IN TAKING SUCH CORRECTIVE ACTION. THIS PROVISION SHALL NOT BE CONSTRUED TO ALLOW THE COUNTY TO ERECT ANY STRUCTURE OF A PERMANENT NATURE ON THE LAND OF THE OWNER OUTSIDE THE EASEMENT FOR THE STORMWATER MANAGEMENT/BMP FACILITIES. IT IS EXPRESSLY UNDERSTOOD AND AGREED THAT THIS COVENANT IMPOSES NO OBLIGATION OR RESPONSIBILITY ON THE COUNTY TO ROUTINELY MAINTAIN OR REPAIR ANY STORMWATER FACILITIES, BMPs, AND IMPROVEMENTS LOCATED ON THE PROPERTY.
  6. IN THE EVENT THAT THE COUNTY PERFORMS OR UNDERTAKES WORK OF ANY KIND PURSUANT TO THIS COVENANT OR EXPENDS ANY FUNDS OR RESOURCES IN PERFORMANCE OF SAID WORK FOR LABOR, USE OF EQUIPMENT, SUPPLIES, MATERIAL, AND THE LIKE, THE OWNER, ITS SUCCESSORS AND ASSIGNS, SHALL REIMBURSE THE COUNTY UPON DEMAND, WITHIN THIRTY (30) DAYS OF RECEIPT OF SAME.

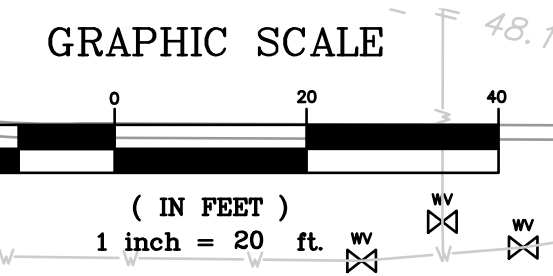
**FORSBERG ENGINEERING AND SURVEYING, INC.**  
 1587 SAVANNAH HIGHWAY SUITE B  
 P.O. BOX 30575  
 CHARLESTON, SOUTH CAROLINA 29417  
 (843) 771-2626 FAX (843) 576-6780  
 CIVIL ENGINEERING AND LANDSCAPE ARCHITECTURE



**GRADING AND DRAINAGE PLAN**  
**PACK-RAT STORAGE FACILITY**  
 TMS 222-00-00-183/TRACT A-2-B1  
 CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA



DATE	FEBRUARY 6, 2022
DRAWN/CHECKED	CLH/TL
LAST REVISED	AUGUST 22, 2022
APPROVED	TL
SCALE	1"=20'
PROJECT NO.	5672
SHEET NUMBER	C400



Main Line and Water Service Parts

- Water Mains**
1. Pipe: All water mains to be new AWWA C-900 Class 150 PVC or Class 50 Ductile Iron.
  2. Valves: Use Resilient Wedge Gate Valves epoxy coated inside and outside.
  3. Fittings: All fittings are to be Mechanical Joint with Grip Ring or Mega Lug.
  4. Valve Boxes: Use adjustable screw type cast iron boxes set on Valve Box Adapters.
  5. Tracer Wire: Use 12 gauge copper wire with direct burial U.L. listed insulation. Tape tracer wire to the top of pipe at center and near joints. Loop up 1' in valve boxes.
  6. Underground Splices: Use 3M or equivalent resin filled splice lites to splice tracer wire.
  7. Tie Ins: At the tie in points use a Mechanical Joint Connector on all three legs of the tee.
  8. Valve Box Adapters: Use Adaptor, Inc. Adapter II between all valve boxes and valves.
- Service Connections**
1. Tapping Saddles: Use double U-bolt epoxy coated saddles (Mueller DE2A, Smith Blair 313 or equal).
  2. Corporation Stop: Use Ford F1001-4 or approved equal.
  3. Polyethylene Service: Use 1" IPS rated to 160psi (PE3406) to the curb stop.
  4. Insert Stiffeners: All PEP will use an appropriate size insert stiffener at each pipe end.
  5. Curb Stop: Use Ford B66-444 IPS Curb Stop on each sub-up, and lock out with wire seal.
  6. Meter: Install GCDPW approved Radio Read AMR meter with electronic register.  
Contractor to provide all materials and labor for commercial installs.
  7. Yoke Assembly: Contact GCDPW Water Department for latest parts list.
  8. Meter Box: Appropriately sized fiber concrete meter box with traffic rated lid with penetration for radio read MXU on standard in ground meter boxes.
  9. Backflow: Use Reduced Pressure, Watts or Equivalent, on commercial domestic taps. Use concrete slab, place RPPA lower port 12" above adjacent ground, with Hot Box or equivalent cover. Irrigation backflow use DCVA if approved, or as specified. DCVA to be placed in below ground box.

- GRADING AND UTILITY NOTES:**
- 1) NEW STORM DRAINAGE AND SANITARY SEWER LINES SHALL BE LAID UPGRADE AFTER CONFIRMATION OF EXISTING INVERT ELEVATIONS.
  - 2) SEE SHEET C000 FOR SWPPP PHASING AND SEQUENCE OF CONSTRUCTION NOTES.
  - 3) SEE LANDSCAPE PLANS AND TREE LOCATIONS & HARDSCAPE LAYOUT.
  - 4) SEE SHEET C401 FOR SEWER NOTES.
  - 5) CONTRACTOR SHALL EXCAVATE EXISTING SANITARY SEWER LINE TO CONFIRM LOCATION & DEPTH.
  - 6) SIDEWALKS ARE TO BE ENTIRELY BROOM FINISHED.
  - 7) SEE ARCHITECTURAL PLANS FOR FINAL BUILDING DIMENSIONS AND LAYOUT.
  - 8) CONTRACTOR IS RESPONSIBLE OF ALL SWPPP AS-BUILTS.
  - 9) EXISTING AND NEW SSMH, WM, WV, GAS VALVES, DRAINAGE, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO FINAL FINISHED GRADES. MINOR ADJUSTMENT MAY BE NECESSARY. FOR GAS/ELECTRIC UTILITIES, CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER.
  - 10) THE GENERAL CONTRACTOR(G.C.) SHALL COORDINATE ALL WORK SUCH THAT ALL SANITARY, POTABLE WATER, & FIRE LINES ARE CONNECTED AND TESTED AS REQUIRED FOR A COMPLETED PROJECT. THE FIRE SUPPLY LINE AND ANY/ALL ELEMENTS OF THE FIRE SYSTEM SUCH AS REMOTE FDC SHALL BE IN ACCORDANCE WITH ALL CURRENT CODES AND SHALL BE CERTIFIED AND TESTED AS REQUIRED BY THE G.C. OR OTHER PROFESSIONALS WORKING FOR THE G.C. THE CIVIL ENGINEER WILL PROVIDE A FIRE SPRINKLER SPECIFICATION SHEET FOR THE SUPPLY LINE FROM THE MAIN TO WITHIN 5' OF THE BUILDING. THE SUPPLY LINE SHALL BE TESTED AS REQUIRED UNDER SPEC SECTION 331100. THE CIVIL ENGINEER DOES NOT SPECIFY OR DESIGN ANY ELEMENTS OF THE FIRE CONTROL SYSTEM. ALL PORTIONS OF THE SUPPLY LINE & FIRE SYSTEM SHALL BE TESTED BY THE G.C. AND CERTIFIED IN ACCORDANCE WITH NFPA 24 AND LATEST VERSION OF THE IBC.
  - 11) PRIOR TO PAVING, CONTRACTOR SHALL VERIFY THAT FINE GRADED BASE COURSE MEETS REQUIRED GRADES SUCH AS TO AVOID "BIRD BATH" AREAS ON FINAL PAVEMENT.

**NEW PACK-RAT STORAGE FACILITY**  
39,000 SQ.FT  
FFE=50.00 (NGVD29)  
SEE ARCHITECTURAL PLANS

SEE PLUMBING FOR CONTINUATION OF FIRE AND DOMESTIC SERVICES.

CONFIRM DEPTH/ELEVATION OF EXISTING SEWER SERVICE. MAINTAIN 18" OF VERTICAL SEPARATION BETWEEN THE WATER/FIRE SERVICES AND SEWER SERVICE. COORDINATE WITH ENGINEER.

SEE PLUMBING FOR CONTINUATION

6" NEPTUNE HP PROTECTUS III FIRE/DOMESTIC SERVICE METER 9.67'X3.75'

BACKFLOW PREVENTER WITH ENCLOSURE ON 4'X4' CONCRETE PAD

SEE AND FOLLOW GOOSE CREEK PUBLIC WORKS STANDARD DETAILS AND NOTES ON SHEET C503

EXTEND WATER EASEMENT 5' BEYOND BACKFLOW PREVENTER

CONTRACTOR RESPONSIBLE FOR RECORDATION OF THE EASEMENT PLAT PRIOR TO THE PUBLIC WORKS DEPARTMENT CLOSE OUT PROCESS.

NEW 6" 100% RESTRAINED JOINT AND FITTINGS DUCTILE IRON PIPE.

WATER EASEMENT TRANSITIONS FROM 10' TO 14' FROM THE PROPERTY LINE

CONTRACTOR TO CONFIRM DEPTH AND ELEVATION OF THE TOP AND BOTTOM OF EXISTING ELECTRICAL LINES/ DUCTBANK. MAINTAIN 1.5' SEPARATION VERTICALLY WITH MINIMUM 3' OF COVER. VERTICAL OFFSET THE 6" DIP IF NECESSARY. COORDINATE WITH ENGINEER PRIOR TO INSTALLATION.

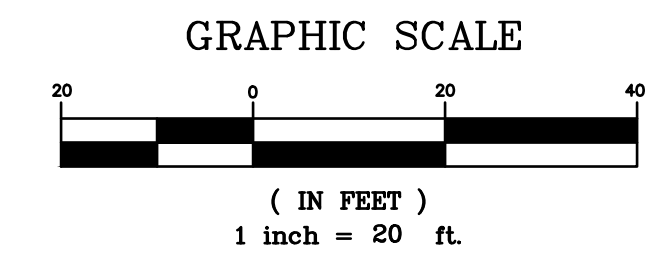
EXISTING 2" BLOWOFF

INSTALL 6" GATE VALVES ON EACH LEG OF NEW TEE

ALL OF NEW 6" DUCTILE IRON WATER/FIRE SERVICE TO BE 100% RESTRAINED JOINTS AND FITTINGS

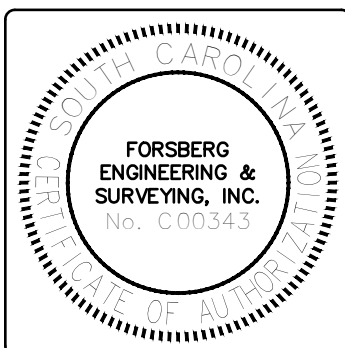
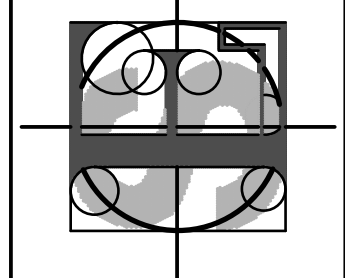
6"X6" TEE WITH 6" GATE VALVE

REVISION TABLE			
NO.	DATE	REVISION	PLAN SHEET
1	8/22/2022	ROOF DRAINAGE CONNECTIONS/CONST. ENTRANCE/HDPE PIPING	C200,C400,C501
2	10/6/2022	WATER/FIRE SERVICE REVISION	C401
3			
4			
5			



**WASJ AFFORDABLE HOUSING, LLC**  
T.M.S. NO. 222-00-00-046

**FORSBERG ENGINEERING AND SURVEYING, INC.**  
1887 SAVANNAH HIGHWAY, SUITE B  
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CIVIL ENGINEERING, SURVEYING AND LANDSCAPE ARCHITECTURE



**UTILITY PLAN**  
**PACK-RAT STORAGE FACILITY**  
**TMS 222-00-00-183/TRACT A-2-B1**  
CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA



**GADSDEN A. LINTON III**  
DATE: **FEBRUARY 6, 2022**  
DRAWN/CHECKED: **CLH/TL**  
LAST REVISED: **OCTOBER 6, 2022**  
APPROVED: **TL**  
SCALE: **1"=20'**  
PROJECT NO.: **5672**  
SHEET NUMBER: **C401**  
OF

SCDHEC STANDARD SWPPP NOTES

- IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
  - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
  - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY INSTALLED, OR INCORRECTLY MAINTAINED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION, FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF-SITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE, AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCRI00000.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTION RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS ARE TO BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
  - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
  - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
  - FUELS, OILS OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
  - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE OF CONSTRUCTION, THE CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

ADDITIONAL EROSION CONTROL NOTES:

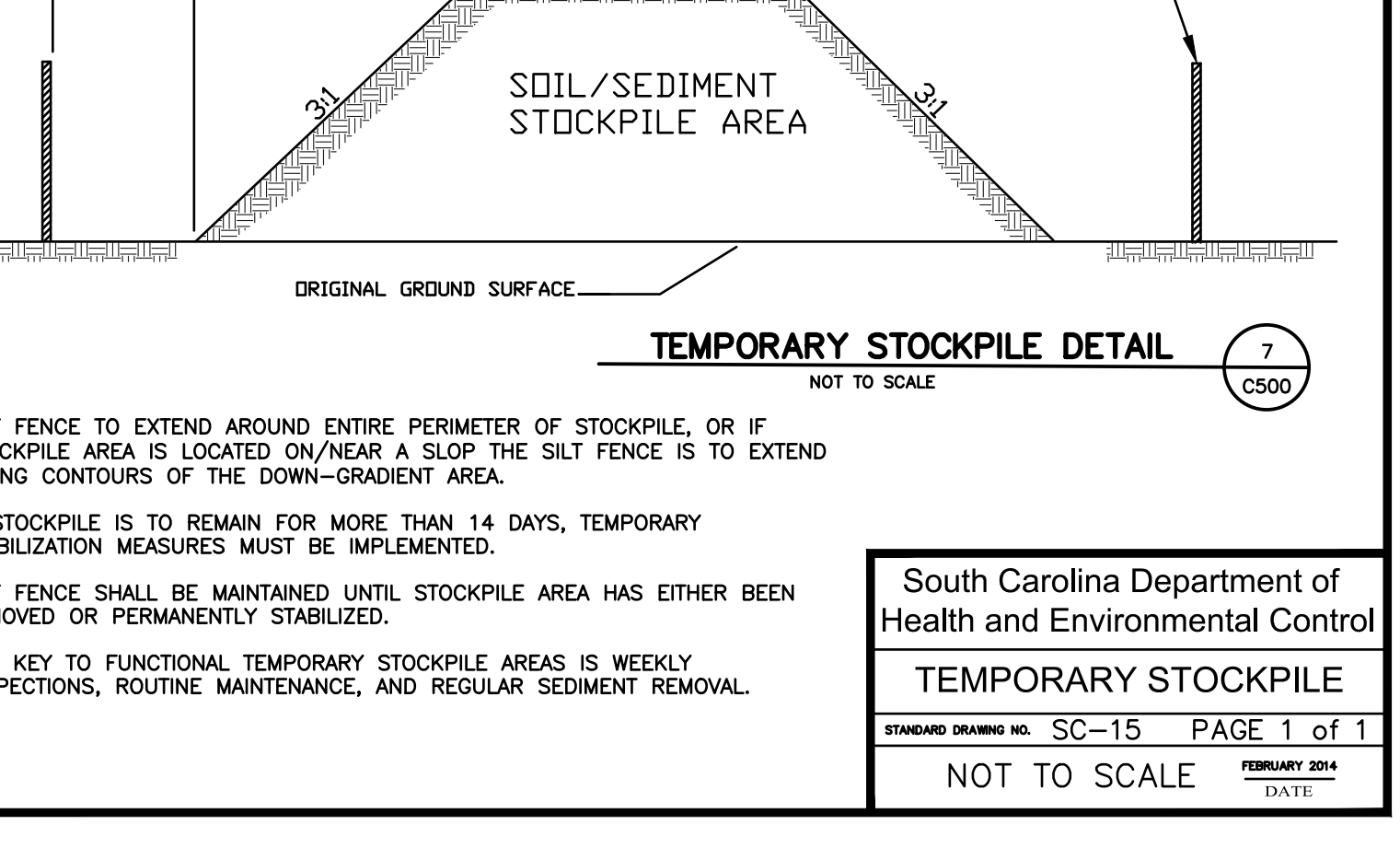
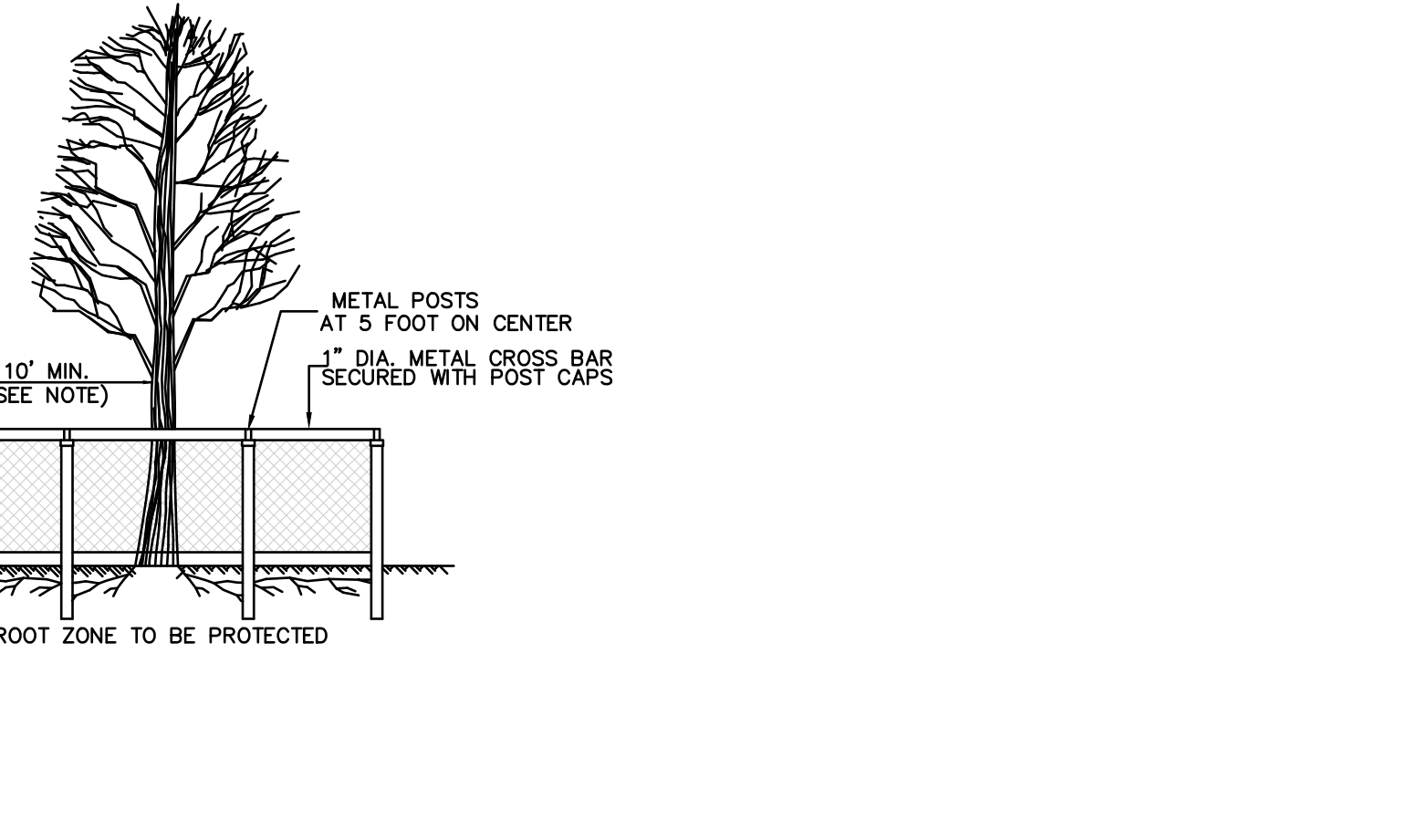
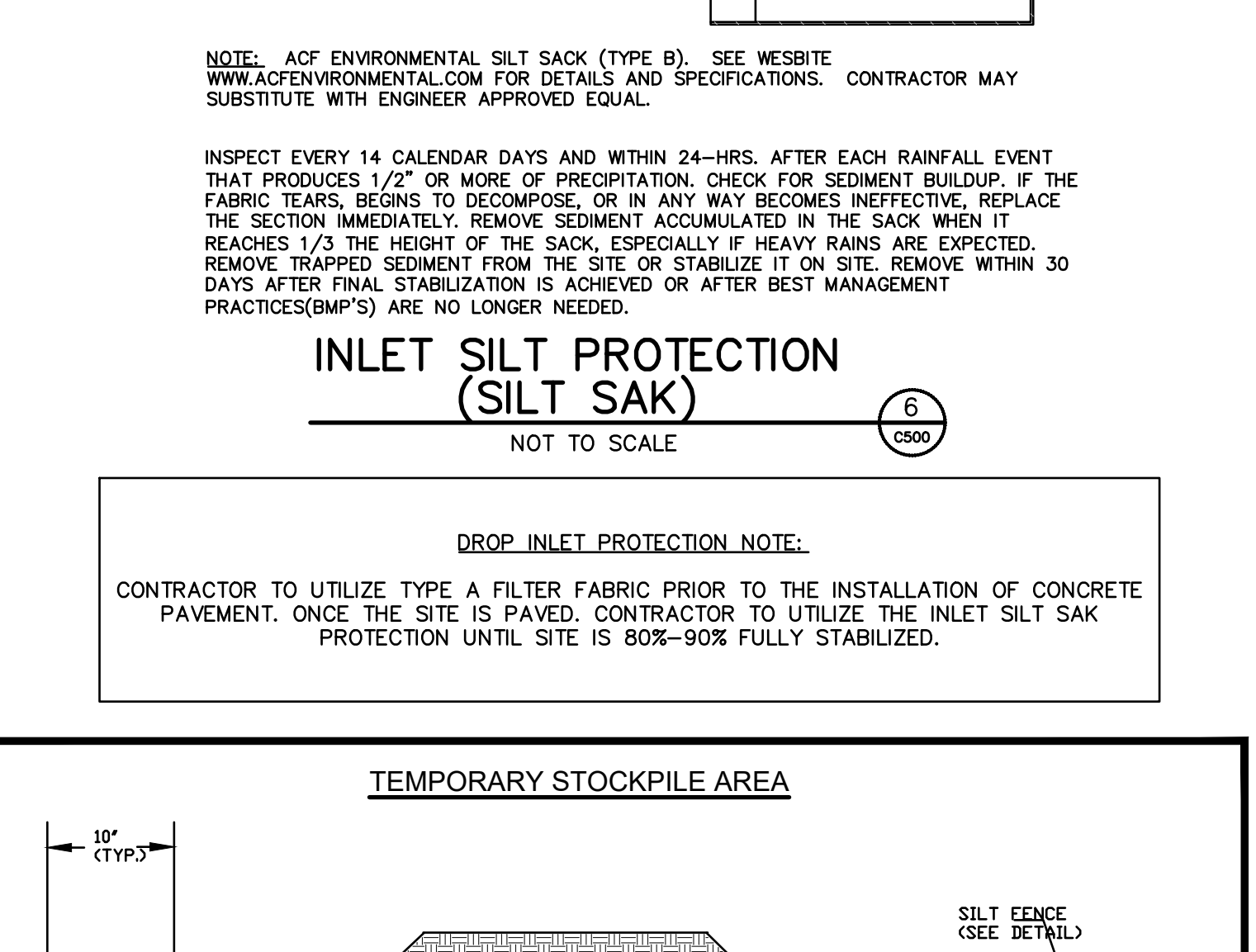
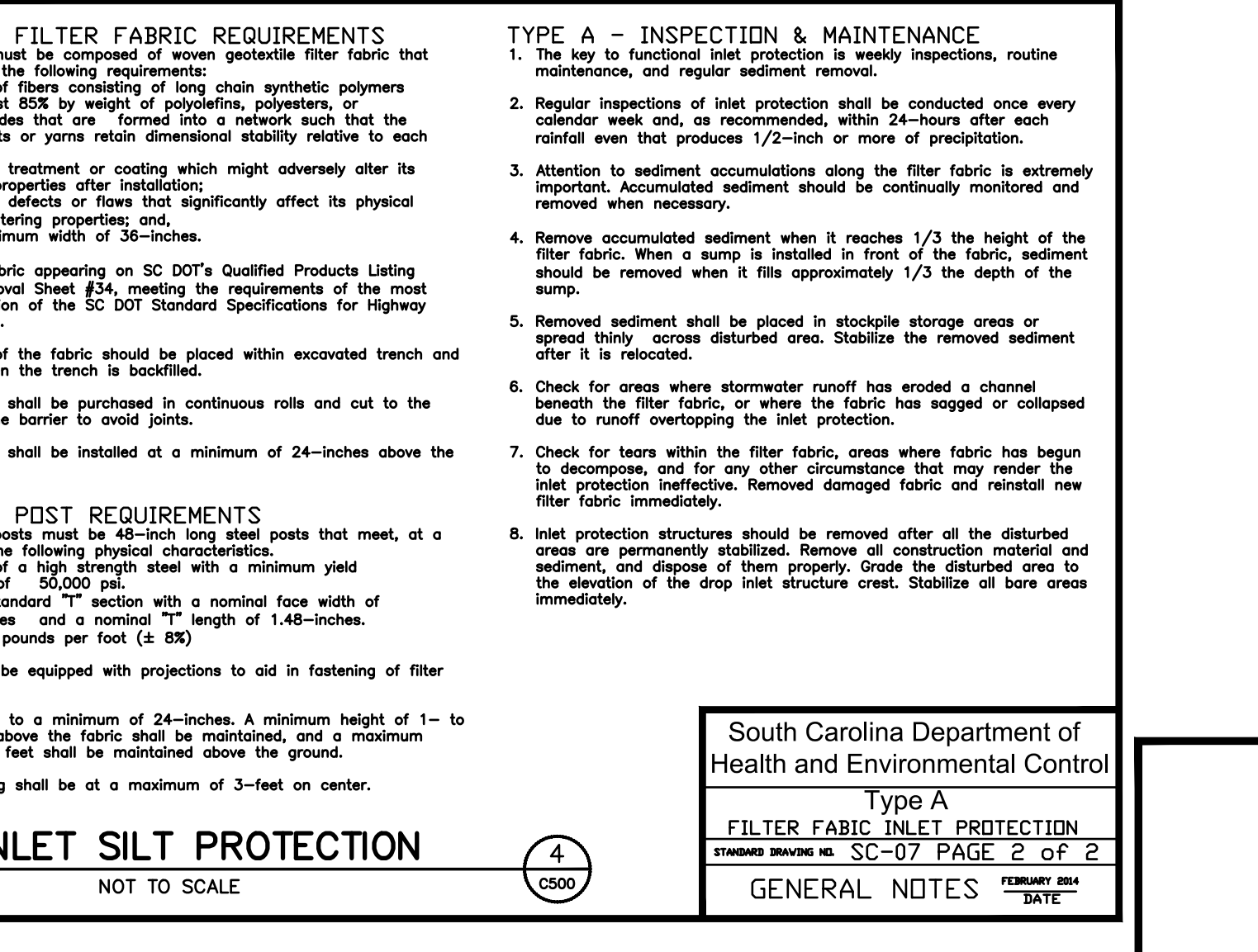
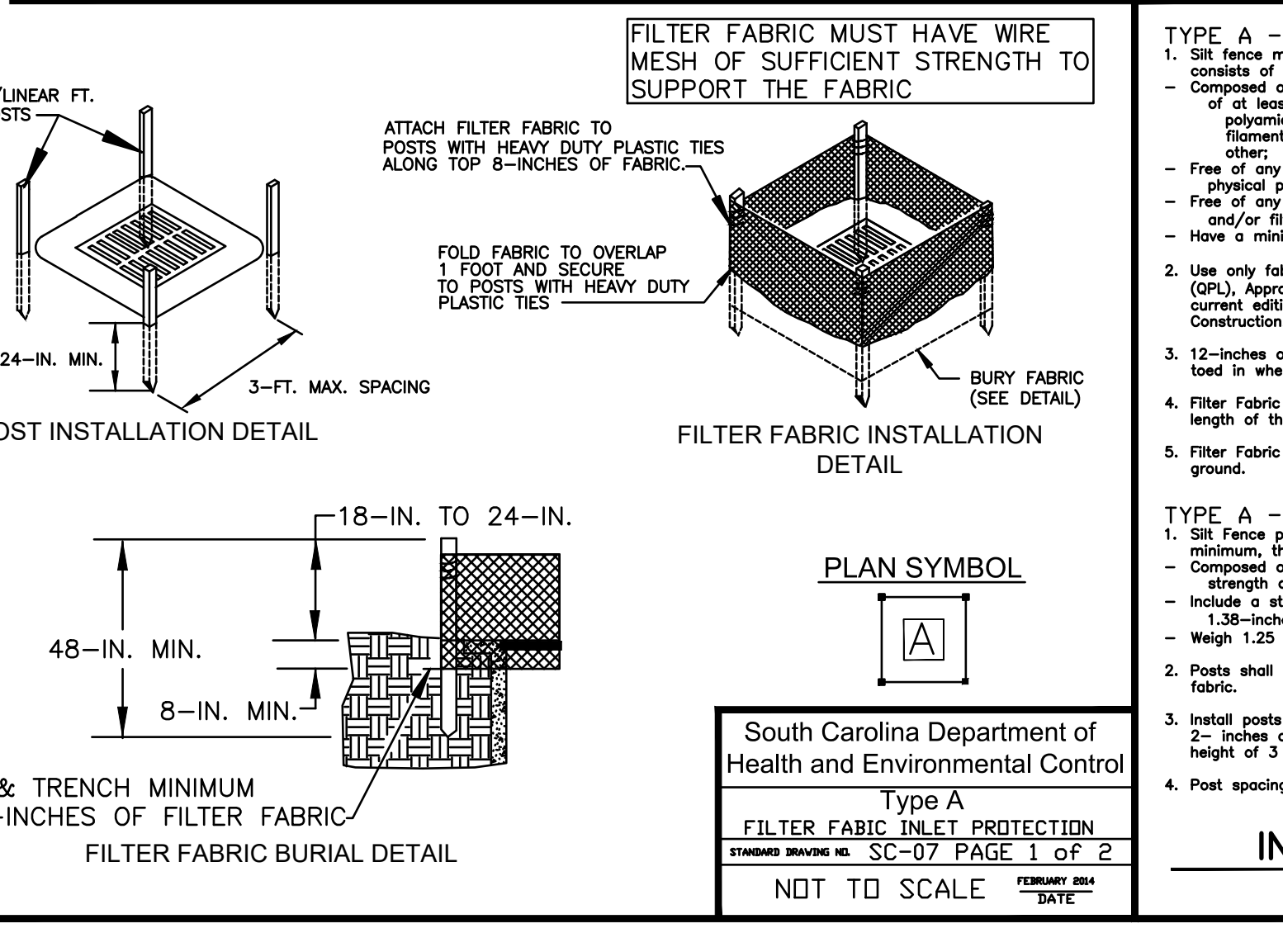
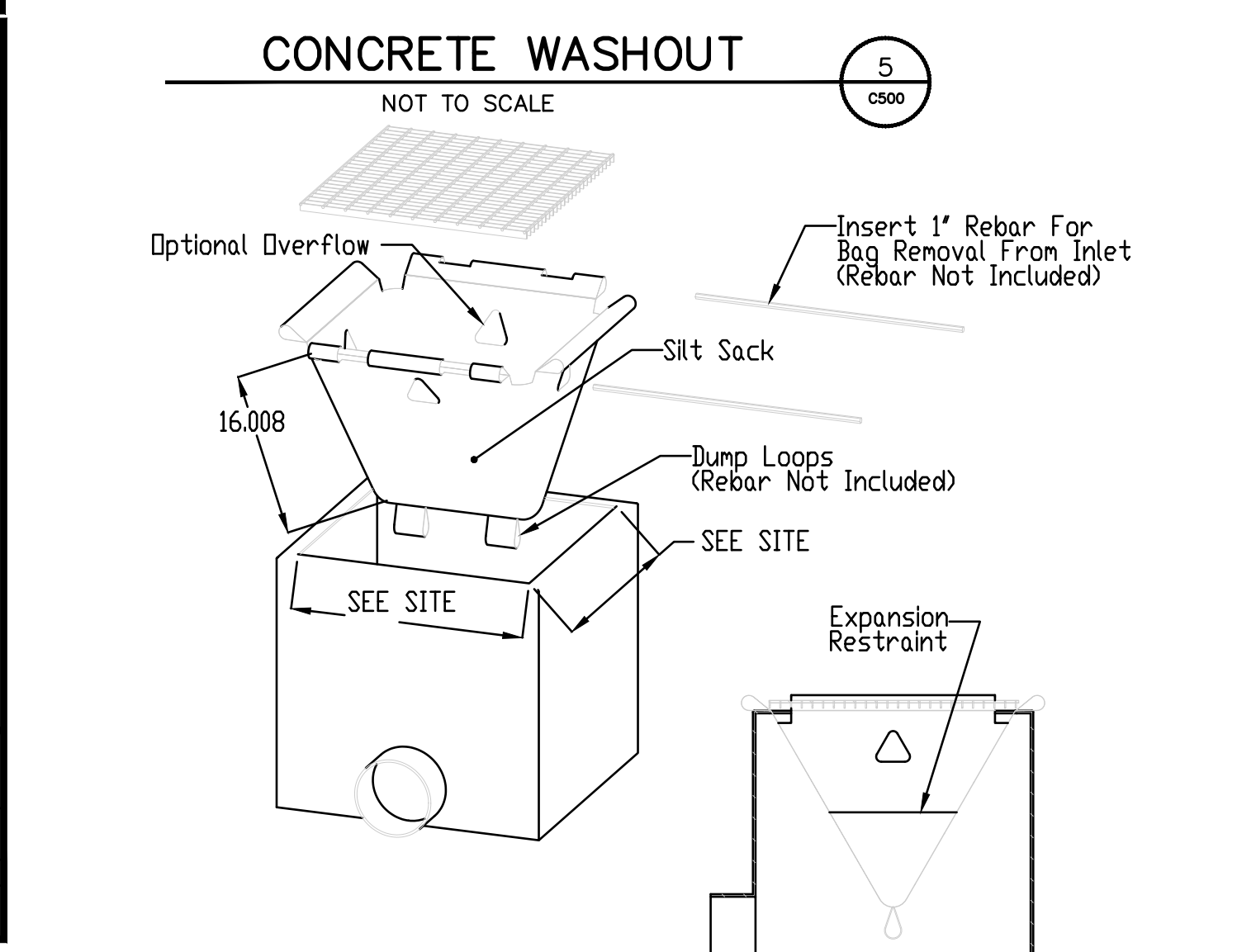
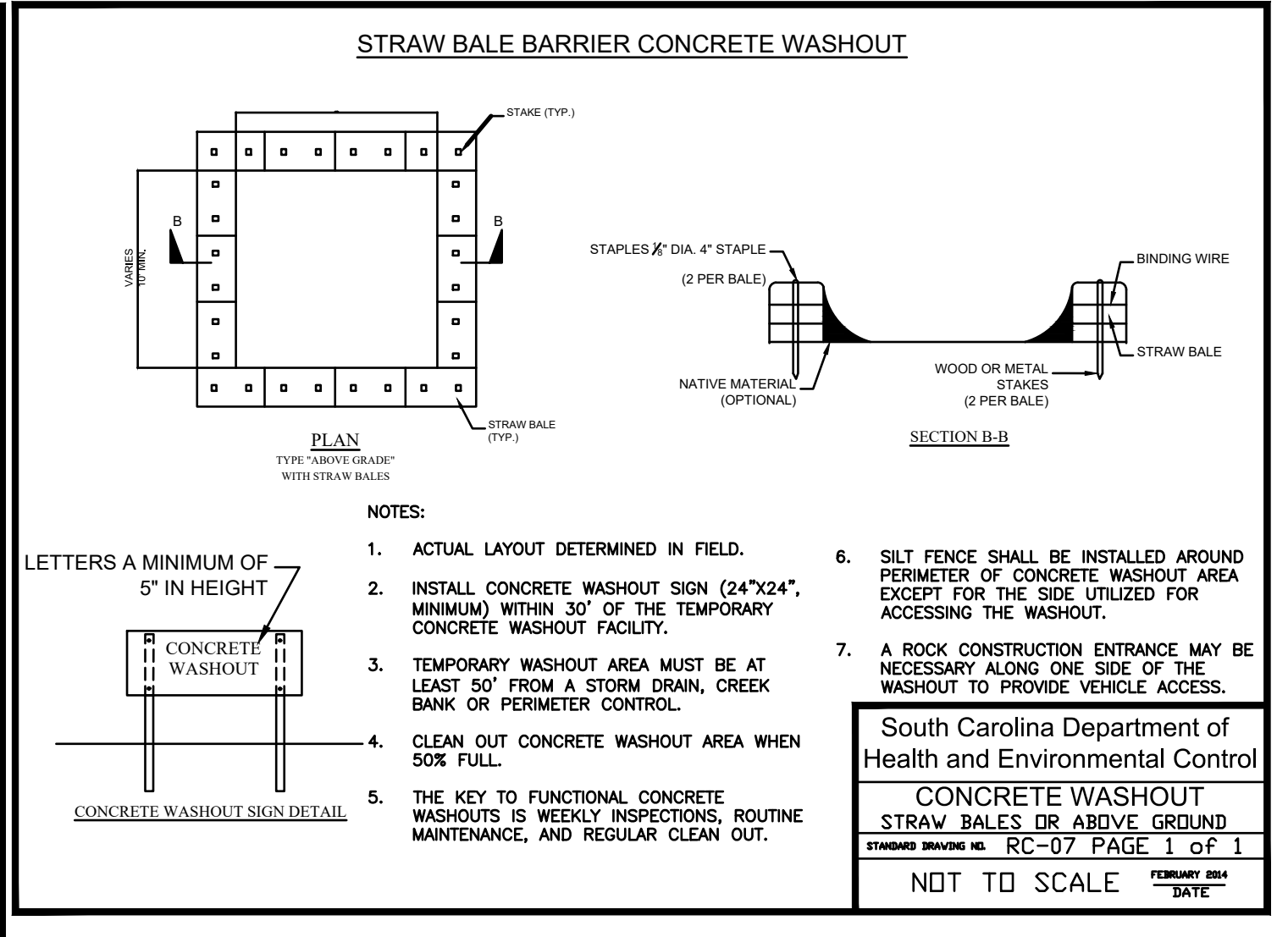
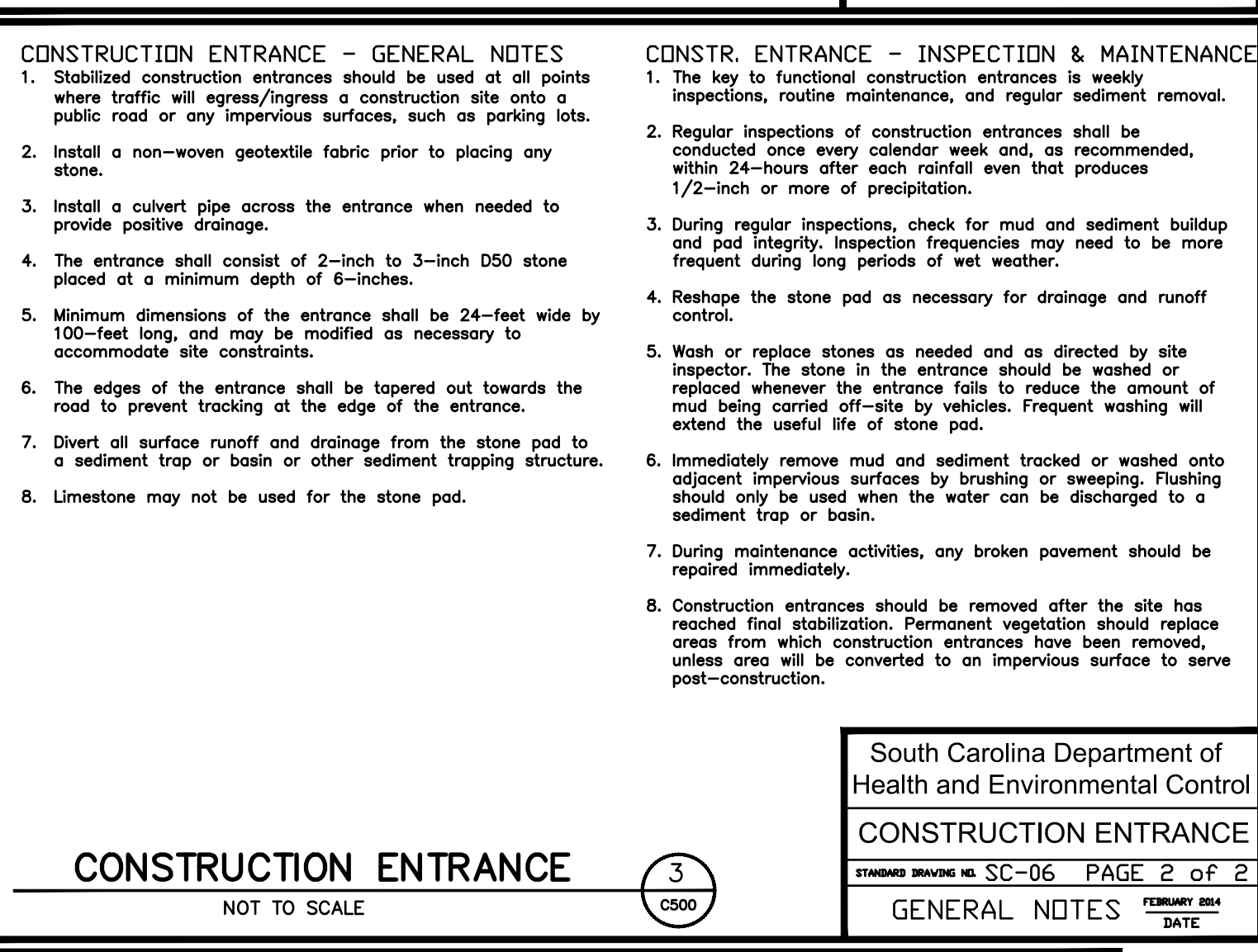
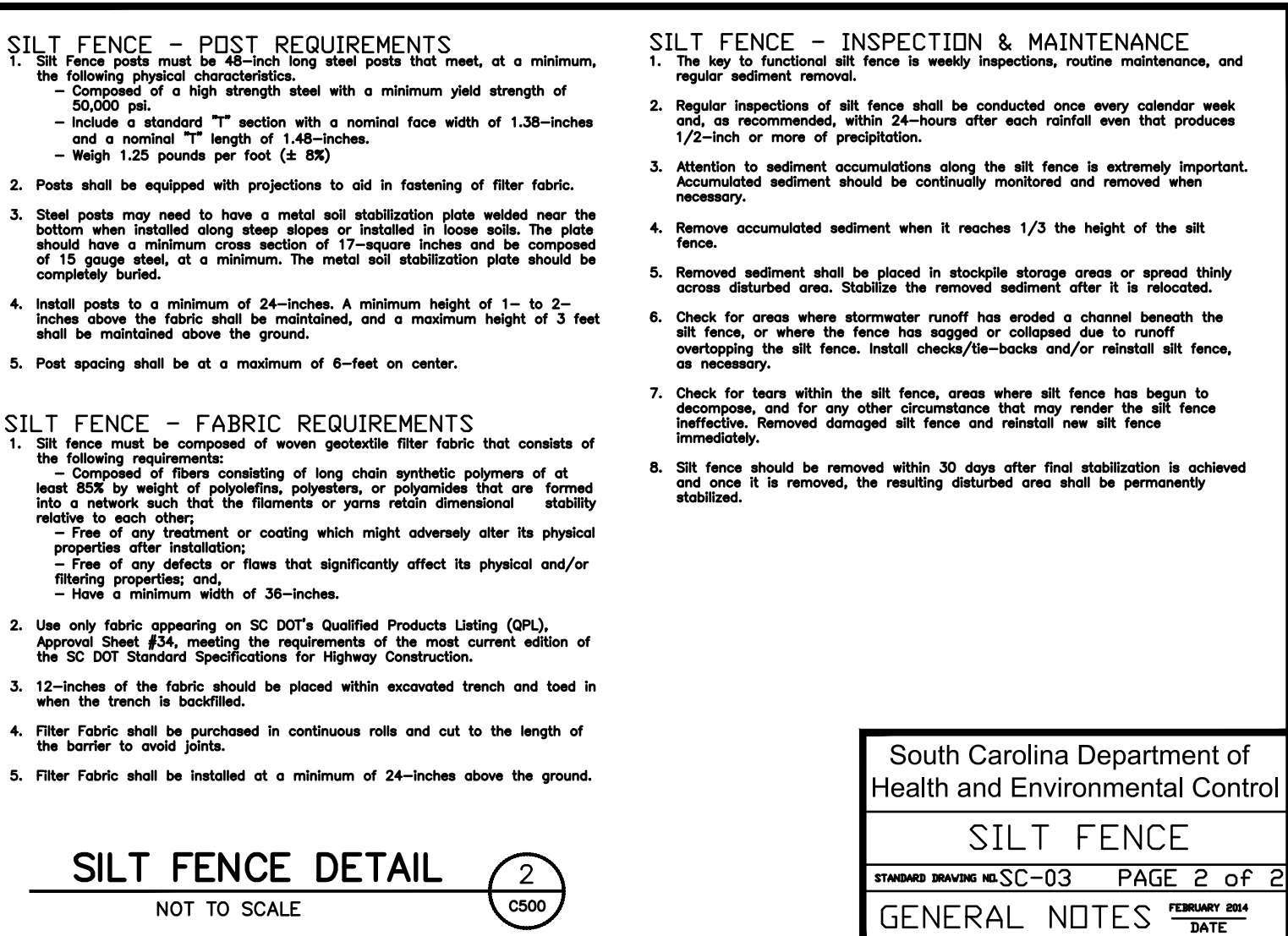
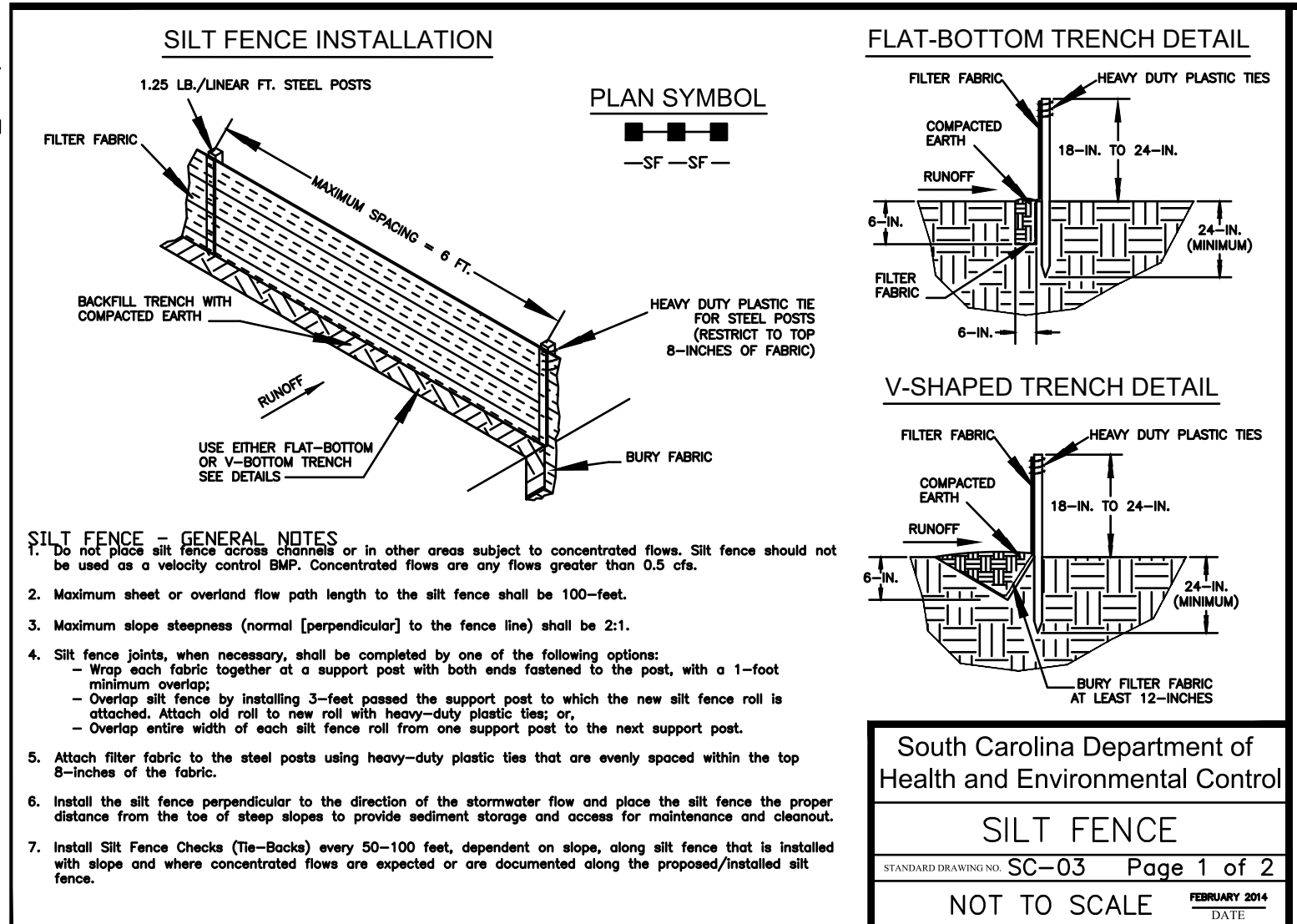
- THE CONTRACTOR SHALL MAINTAIN BARRIERS AND SILT FENCES AROUND ALL DRAINAGE INLETS, OPEN PIPE INLETS, UNFINISHED JUNCTION BOXES, OR ANY OPENINGS THAT ALLOW STORM WATER BORNE SEDIMENTS TO ENTER THE DRAINAGE SYSTEM OR BE DISCHARGED FROM THE SITE. EROSION CONTROL SHALL BE MAINTAINED AND/OR REPLACED AS NEEDED UNTIL ALL PERMANENT SURFACES (I.E. PAVEMENT, GRASS, PLANTING, ETC.) ARE IN PLACE.
- SILT FENCE DAMS ON 100' INTERVALS ALONG ALL TEMPORARY DITCHES AND SWALES.
- A CONCRETE TRUCK WASH DOWN LOCATION WILL BE LOCATED ON THE SITE FOR CONCRETE TRUCKS DELIVERING CONCRETE TO THE SITE TO PERFORM WASH DOWN AFTER DISCHARGING CONCRETE. WASH DOWN SHALL ALLOW EXCESS WATER TO DRAIN OFF THROUGH A FILTER SYSTEM, WHILE RETAINING FINES AND PASTE. SEE ALSO STANDARD SCDHEC SWPPP NOTES NO. 14 & NO. 16. ONCE THE EXCESS WATER HAS DRAINED AWAY, AND THE PASTE CURED TO A DRIED CONDITION, THE SUBSEQUENT HARDENED CONCRETE DEBRIS MATERIAL SHALL BE COLLECTED AND REMOVED FROM THE OWNER'S PROPERTY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED FOR CONSTRUCTION DEBRIS AND WASTE. THE CONCRETE WASTE MATERIAL WILL NOT BE ALLOWED TO ACCUMULATE IN PILES ON-SITE. IF, AT ANY TIME, THE PROGRAM MANAGER DETERMINES THE WASH-DOWN AREA IS NOT BEING OPERATED OR MAINTAINED IN AN APPROPRIATE MANNER, HE MAY DIRECT THE CONTRACTOR TO CEASE WASH-DOWN OPERATIONS ON THE SITE AND TO CLEAN THE AREA.
- MAINTAIN ALL DEVICES FOR SEDIMENT CONTROL, IN PROPER WORKING ORDER FOR THE DURATION OF THE PROJECT. WHEN CONTROL DEVICES BECOME FILLED HALFWAY TO CAPACITY, REMOVE SEDIMENT AND DEPOSIT ON-SITE IN SUCH A MANNER AS TO PRECLUDE FURTHER EROSION OF DEPOSITED SEDIMENT. CLEAN AND RESET DEVICE IN PROPER WORKING ORDER.
- RESTORE PROTECTION TO PROTECTED STOCKPILES AND SLOPES IMMEDIATELY FOLLOWING DISTURBANCE.
- REMOVE EROSION AND SEDIMENTATION CONTROLS ONLY AFTER A FINAL INSPECTION AND AFTER PERMANENT PAVEMENTS AND VEGETATIVE STABILIZATION HAS BEEN ACHIEVED AND APPROVED. CONTRACTOR TO RETURN TO SITE TO REMOVE ALL SILT FENCING AND TREE PROTECTIONS ONCE GRASSING HAS BEEN STABILIZED. DISTURBED AREAS OUTSIDE OF SYNTHETIC TURF LIMITS SHALL BE FINE GRADED, TOP SOIL ADDED IF NECESSARY, AND SEEDING ALONG EMBANKMENTS. [CONTRACTOR'S RESPONSIBILITY]
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING FINAL SURFACE STABILIZATION OF ALL AREAS OF LAND DISTURBANCE DISTURBED BY CONSTRUCTION OPERATIONS. THIS INCLUDES PAVEMENTS, MULCHES, LANDSCAPING, AND GRASSING. ANY UNPAVED AREA DISTURBED NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS FOR THE TYPE OF VEGETATIVE STABILIZATION SHALL BE STABILIZED TO MATCH THE ADJACENT SURFACE OR TO MATCH THE ORIGINAL TYPE OF SURFACE: I.E. GRASS, MULCH, LANDSCAPE BED, ETC. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED.

- NOTES:
- ALL TREE PROTECTION BARRICADES MUST HAVE TWO HORIZONTAL CROSS RAIS.
  - BARRICADES SHALL BE ERCTED AT A MINIMUM DISTANCE FROM THE BASE OF PROTECTED TREES AND GRAND TREES ACCORDING TO THE FOLLOWING STANDARDS:
    - A. FOR PROTECTED TREES TWENTY-THREE INCHES (23") OR LESS D.B.H. PROTECTIVE BARRICADES SHALL BE PLACED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE BASE OF EACH PROTECTED TREE
    - B. FOR PROTECTED TREES GREATER THAN TWENTY-THREE INCHES (23") D.B.H. AND GRAND TREES, PROTECTIVE BARRICADES SHALL PROVIDE A DIAMETER OF PROTECTION AROUND THE TREE EQUAL IN FEET TO THE DIAMETER BREST HEIGHT TO THE TREE (I.E., A 24" DIAMETER TREE WOULD REQUIRE A 24-FOOT DIAMETER PROTECTIVE BARRICADE).

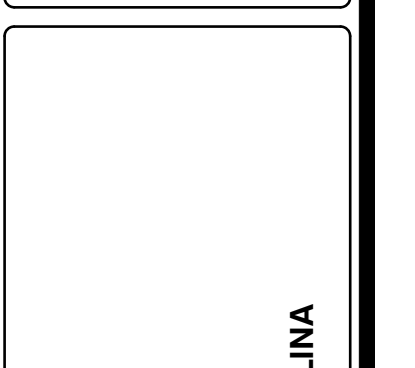
SEE CITY OF GOOSE CREEK ZONING ORDINANCE SEC. 151.080.(9) TREE PROTECTION FOR ADDITIONAL REQUIREMENTS.

\*\*\*NOTE: TREE PROTECTION ON SITE SHALL BE MIN 3' HIGH SUPPORTED BY METAL POLES.

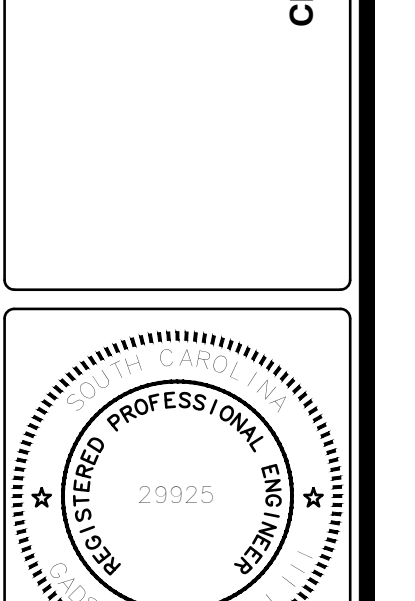
TREE BARRICADE/PROTECTION DETAIL



**FORSBERG ENGINEERING AND SURVEYING, INC.**  
1987 SAVANNAH BLVD., SUITE B  
CHARLESTON, SOUTH CAROLINA 29417  
(843) 571-2622 FAX (843) 571-6780  
CIVIL ENGINEERING, SURVEYING AND LANDSCAPE ARCHITECTURE

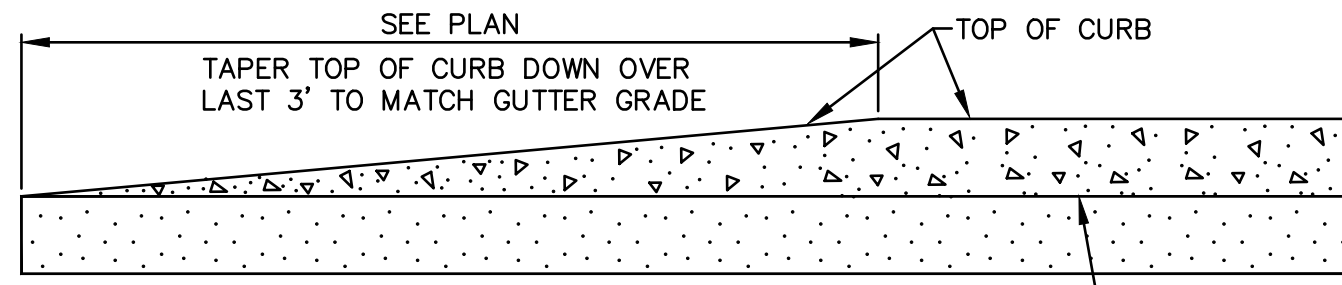


**CONSTRUCTION DETAILS**  
PACK-RAT STORAGE FACILITY  
TMS 222-00-00-183/TRACT A-2-B1  
CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA



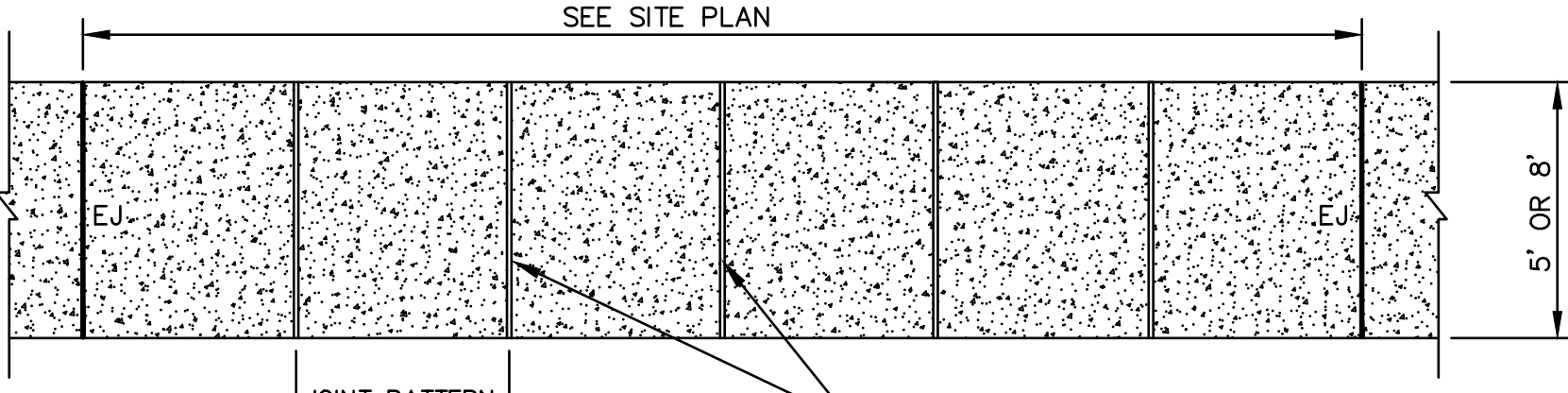
GADSDEN A. LINTON III  
DATE: FEBRUARY 6, 2022  
DRAWN/CHECKED: CLH/TL  
LAST REVISED:  
APPROVED: TL  
SCALE: 1"=20'  
PROJECT NO.: 5672  
SHEET NUMBER: C500  
OF





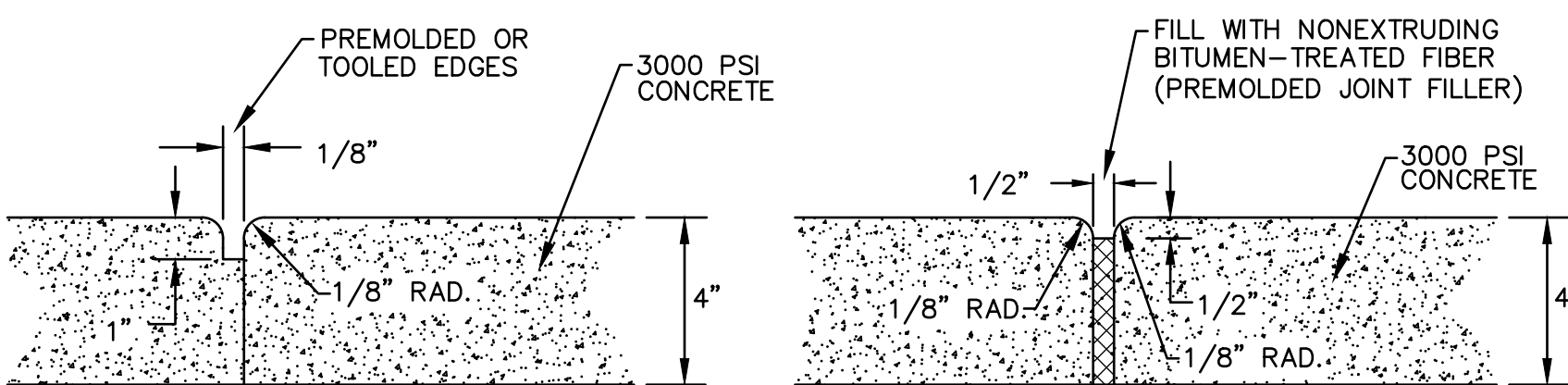
**CURB TAPER DETAIL**  
NOT TO SCALE

C501



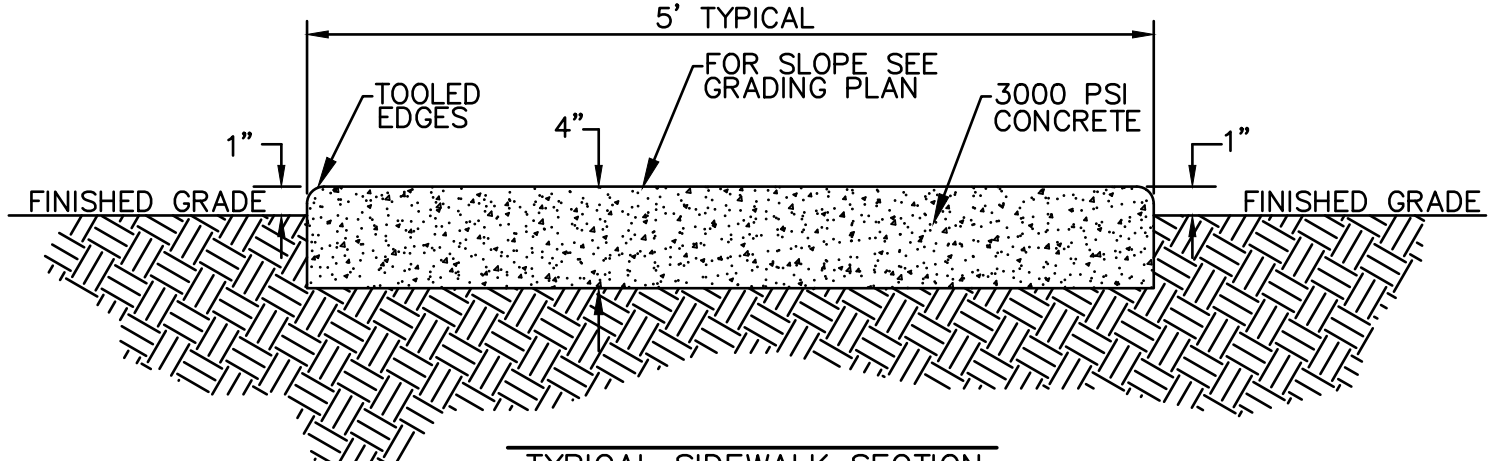
**TYPICAL SIDEWALK PLAN**

NOTE: ALL SIDEWALKS MUST MEET ADA REQUIREMENTS.

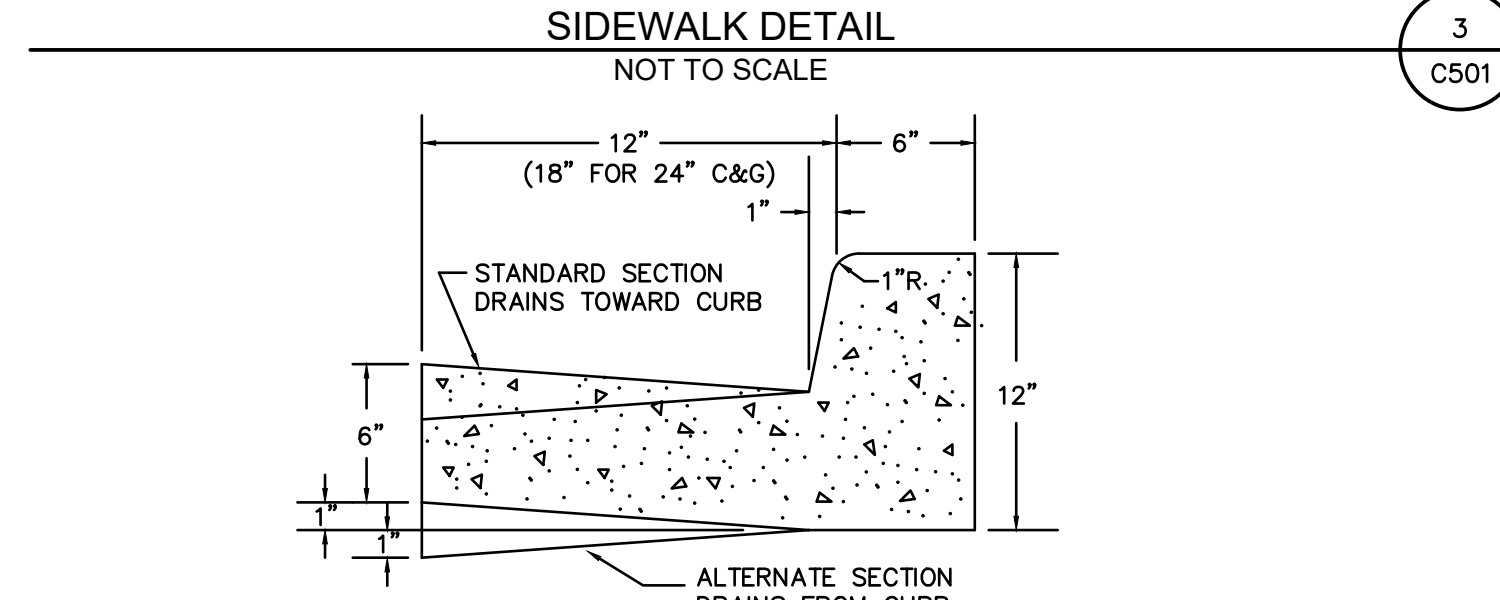


**DUMMY GROOVE CONTRACTION JOINT**

**EXPANSION JOINT**

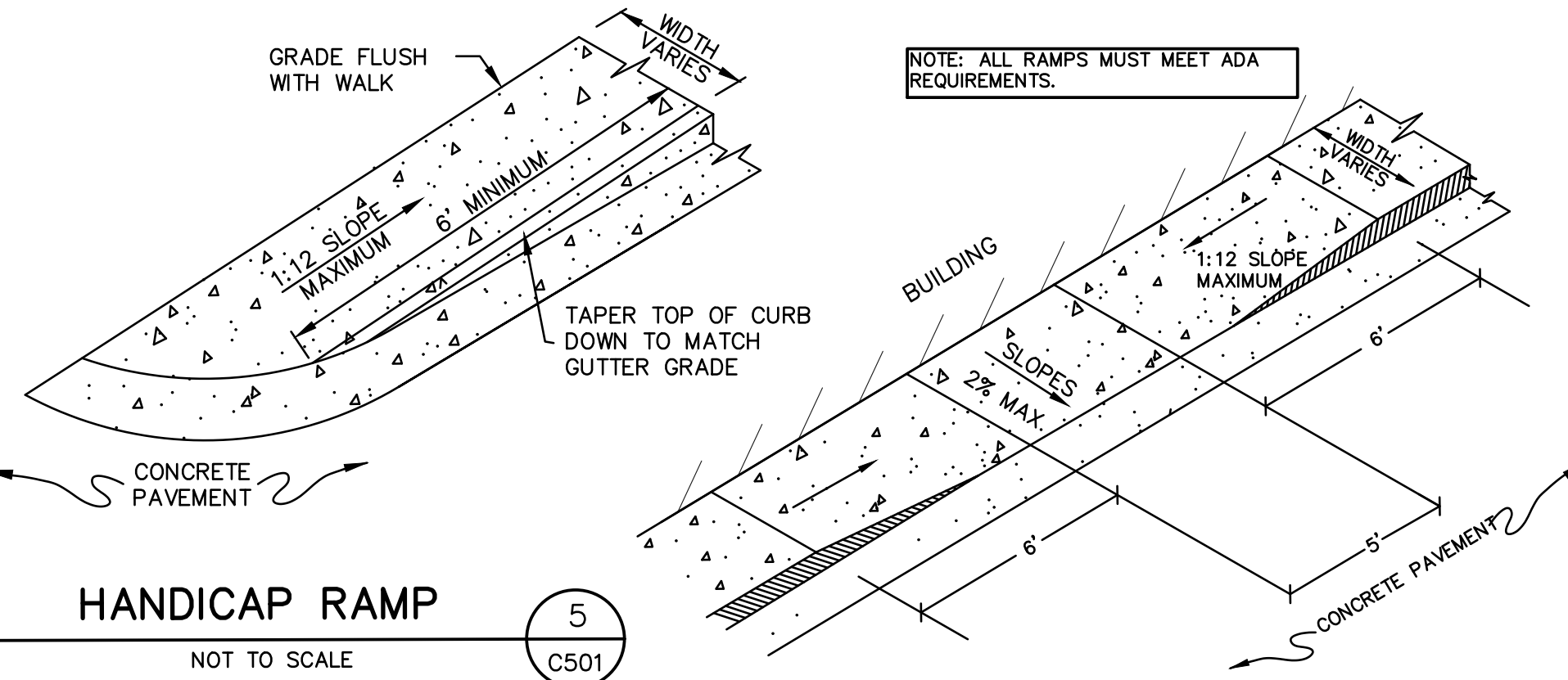


**TYPICAL SIDEWALK SECTION**



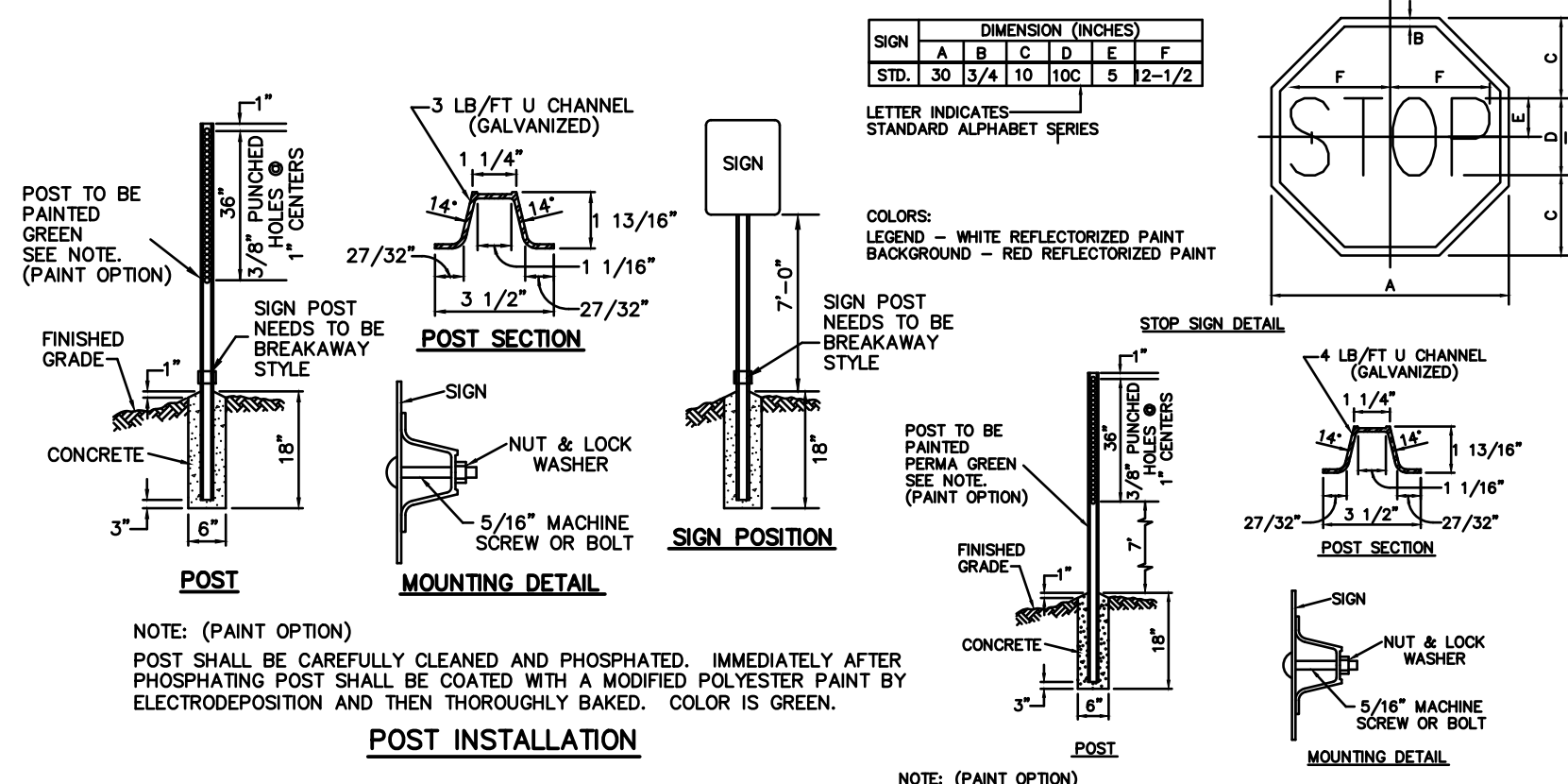
**CURB & GUTTER DETAIL**  
NOT TO SCALE

C501



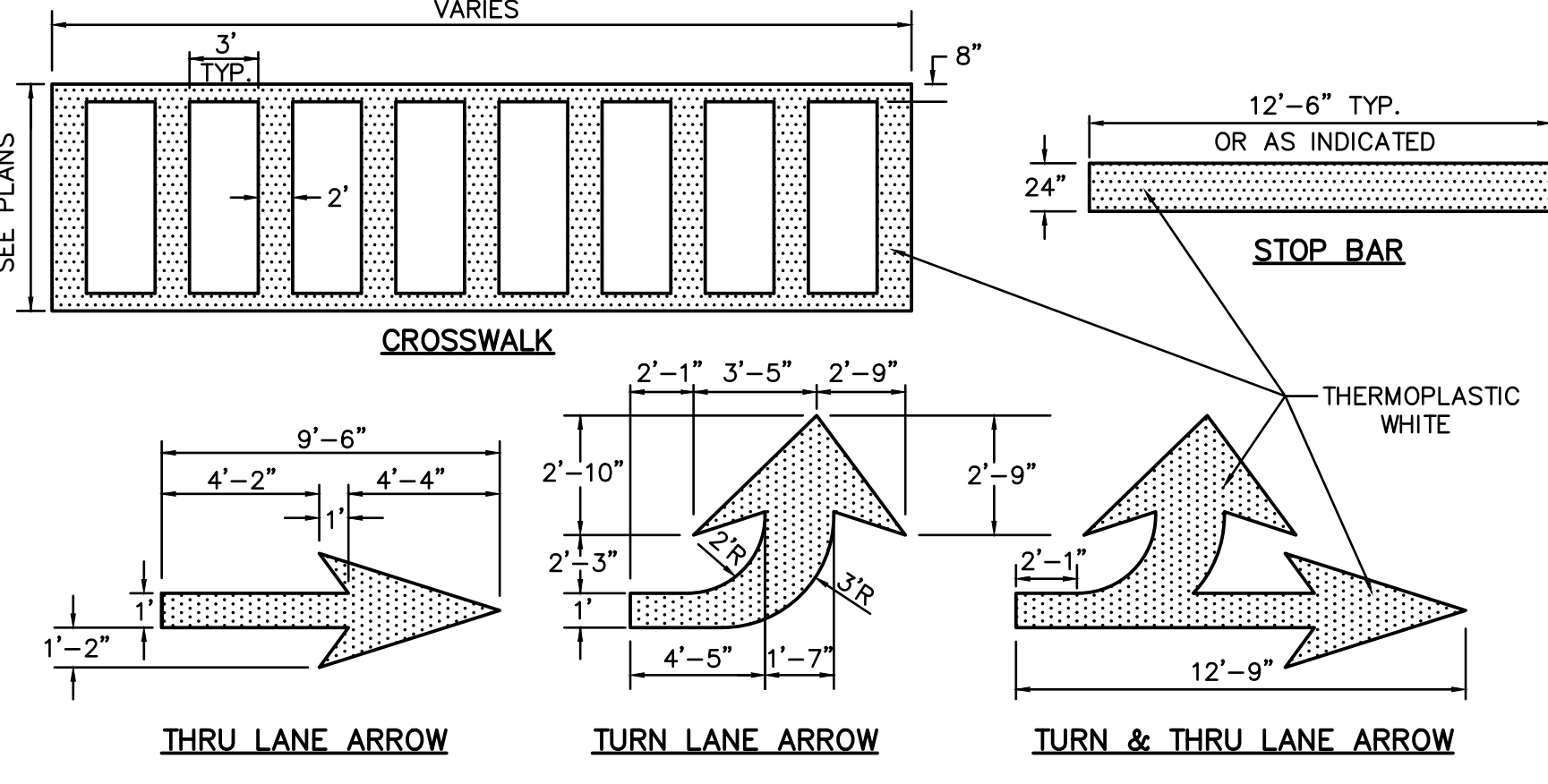
**HANDICAP RAMP**  
NOT TO SCALE

C501



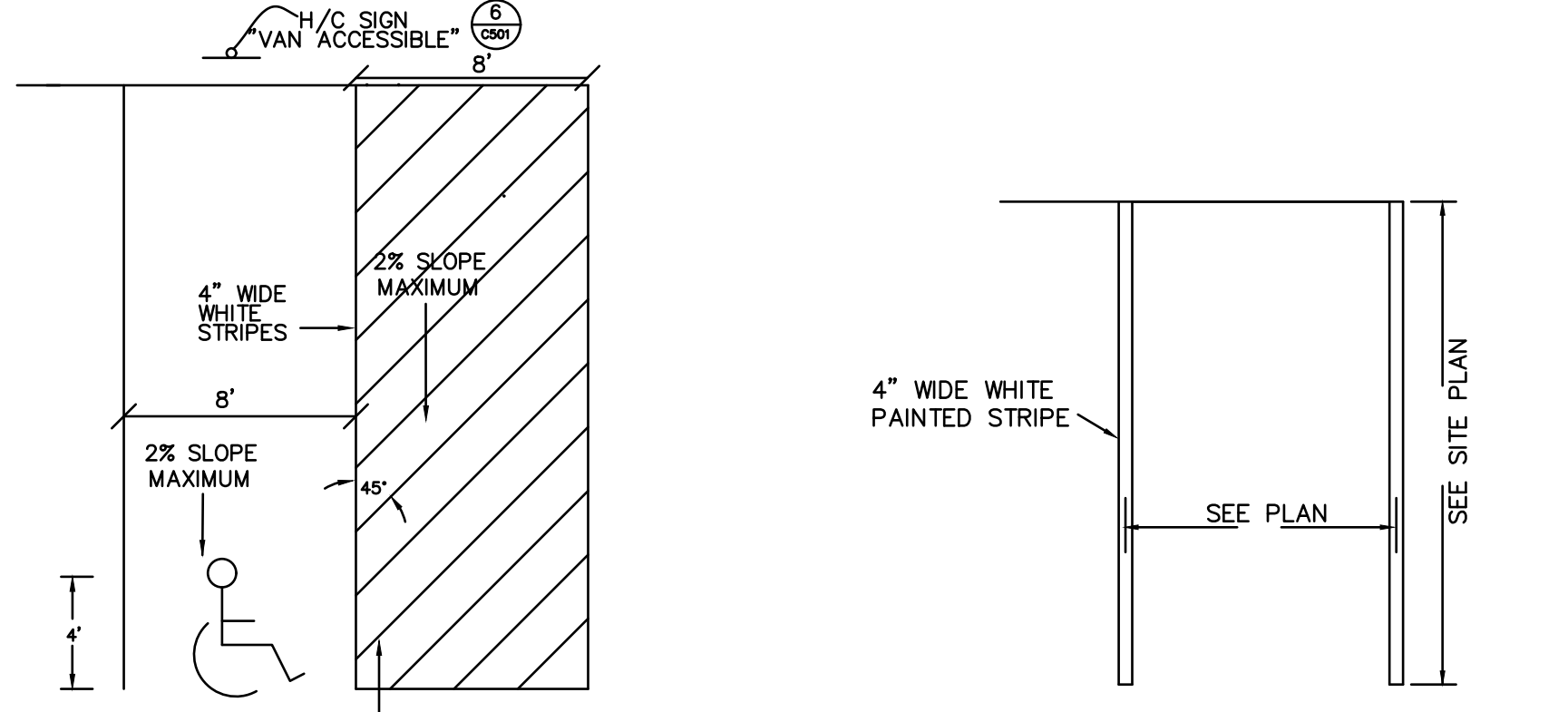
**SIGNAGE DETAIL**  
NOT TO SCALE

C501



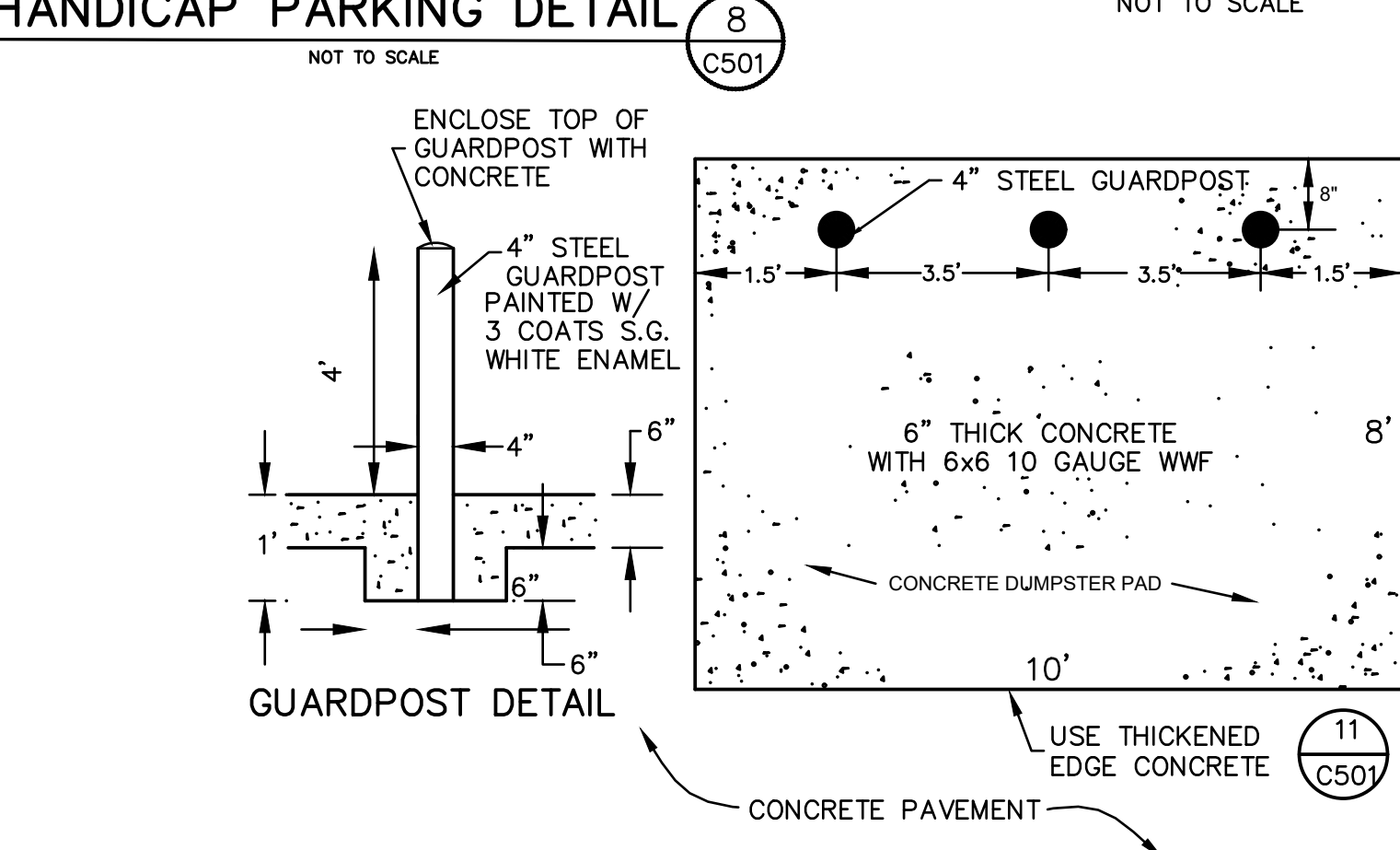
**PAVEMENT MARKING DETAIL**  
NOT TO SCALE

C501



**TYPICAL PARKING SPACE**  
NOT TO SCALE

C501

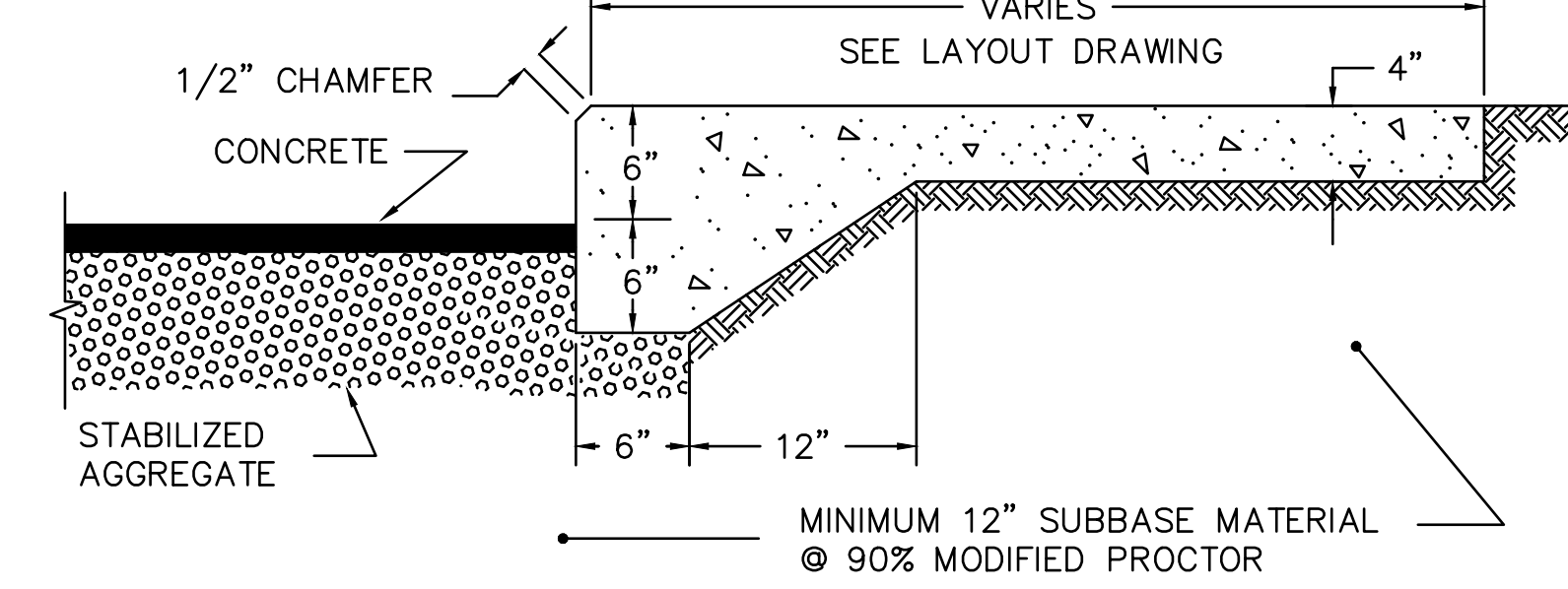


**DUMPSTER PAD DETAIL**  
NOT TO SCALE

C501

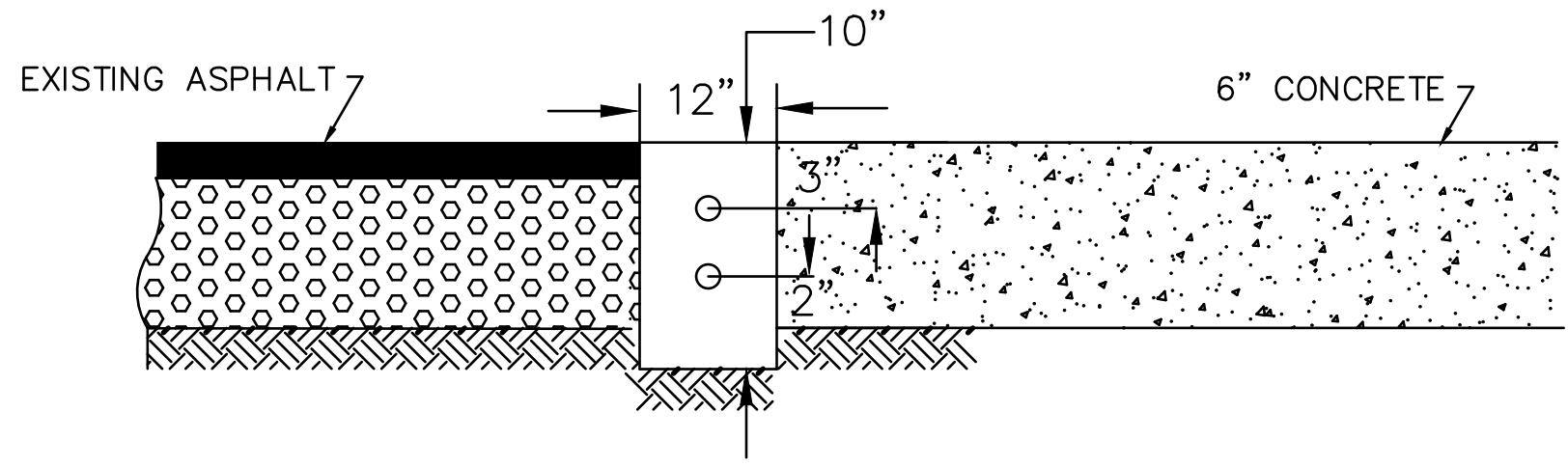
REVISION TABLE			
NO.	DATE	REVISION	PLAN SHEET
1	8/22/2022	ROOF DRAINAGE CONNECTIONS/CONST. ENTRANCE/HDPE PIPING	C200,C400,C501
2			
3			
4			
5			

NOTE: SIDEWALK CONTRACTION JOINTS @ 6'-0" O.C., EXPANSION JOINTS @ 24'-0" O.C., UNLESS SHOWN OTHERWISE ON PLANS



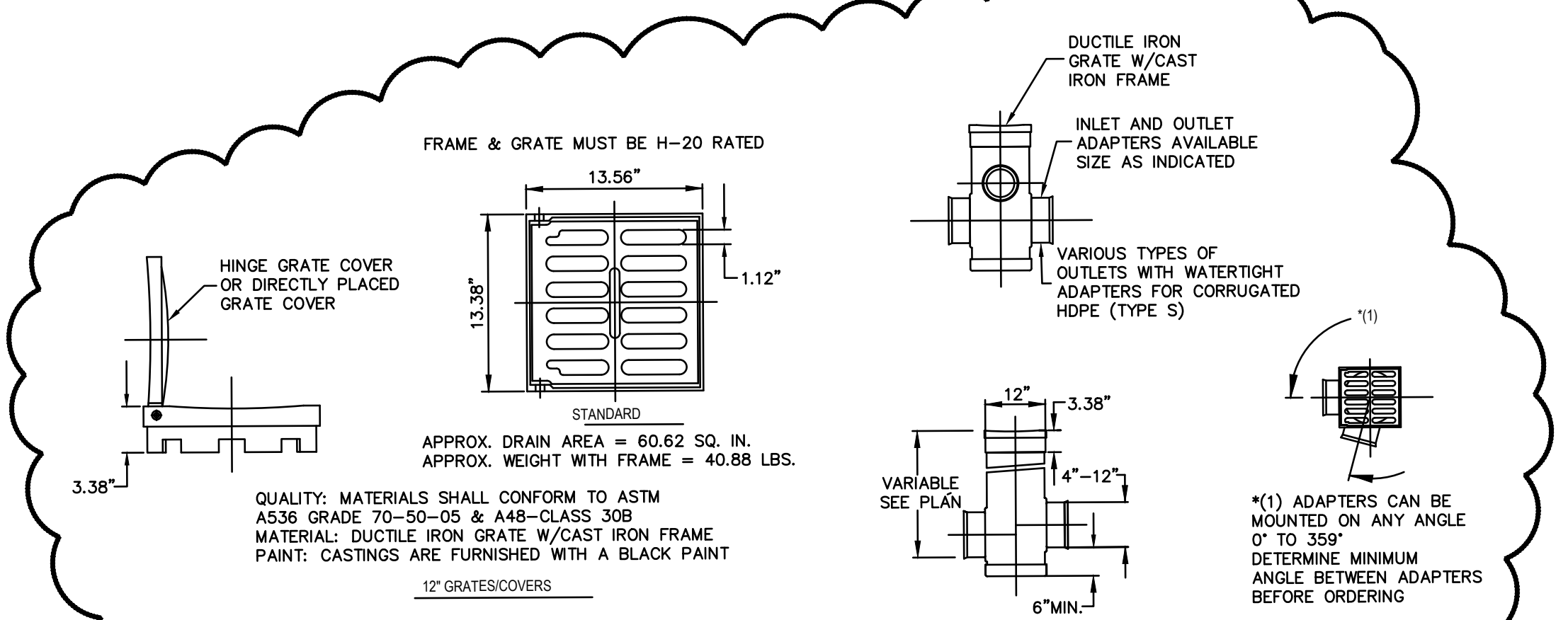
**THICKENED EDGE SIDEWALK SECTION**  
NOT TO SCALE

C501



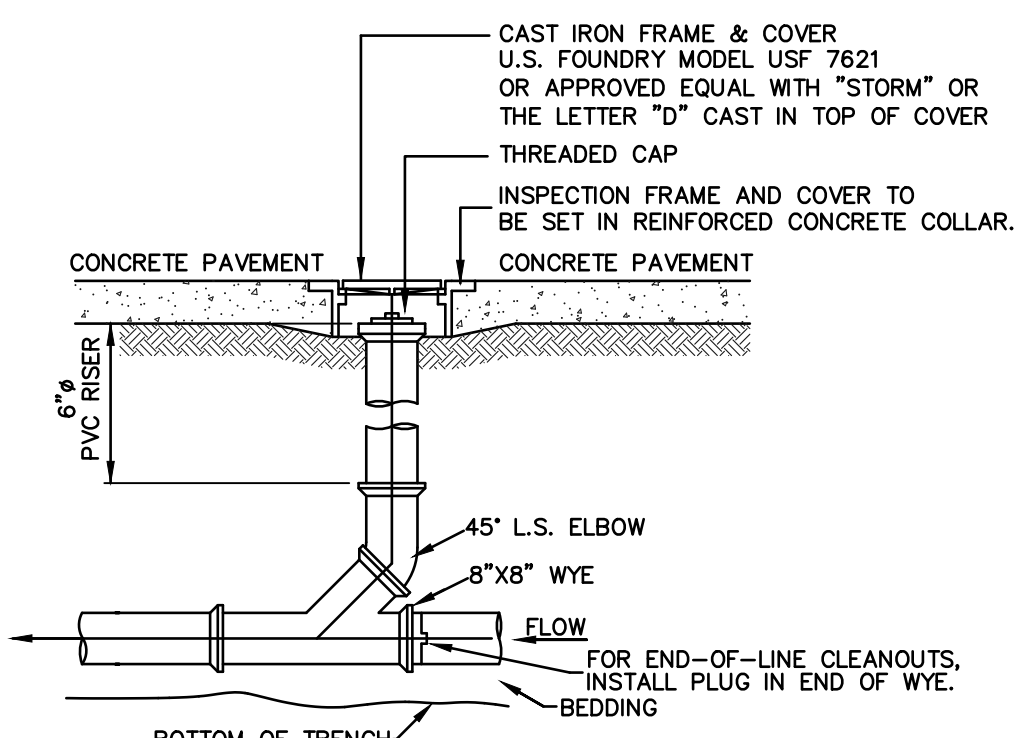
**12\"/>**

C501



**12\"/>**

C501



**STORM DRAIN CLEANOUT DETAIL**  
NOT TO SCALE

C501

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1587 SAVANNAH HIGHWAY, SUITE B  
CHARLESTON, SOUTH CAROLINA 29417  
(843) 571-2622 FAX (843) 571-6780  
CIVIL ENGINEERING, SURVEYING  
AND LANDSCAPE ARCHITECTURE

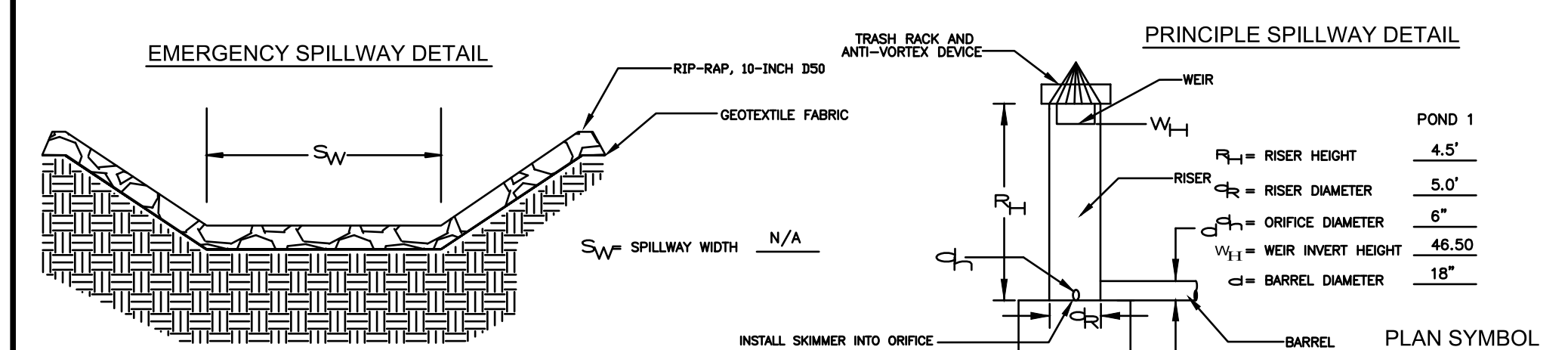
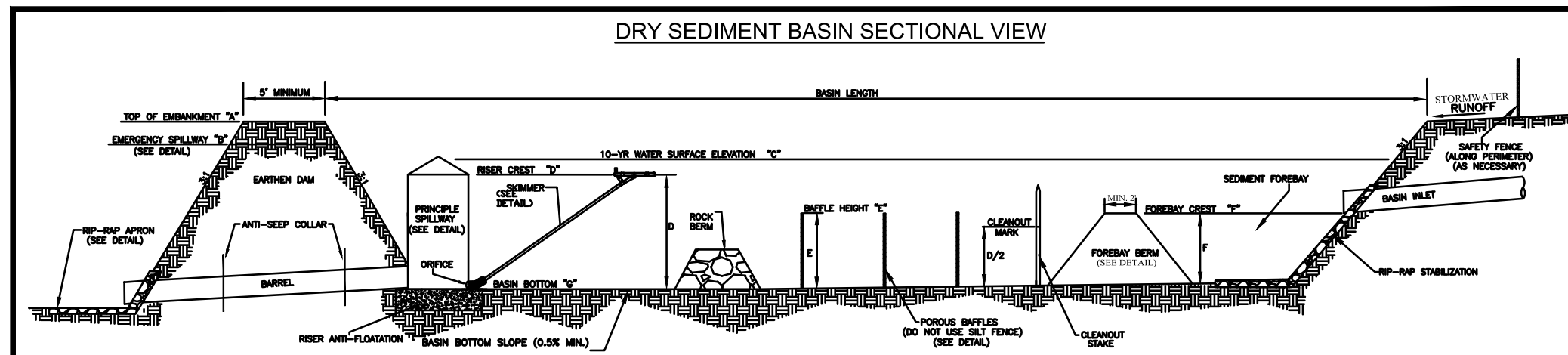
**FORSBERG ENGINEERING & SURVEYING, INC.**  
No. C00343

**CONSTRUCTION DETAILS**  
PACK-RAT STORAGE FACILITY  
TMS 222-00-00-183/TRACT A-2-B1  
CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA

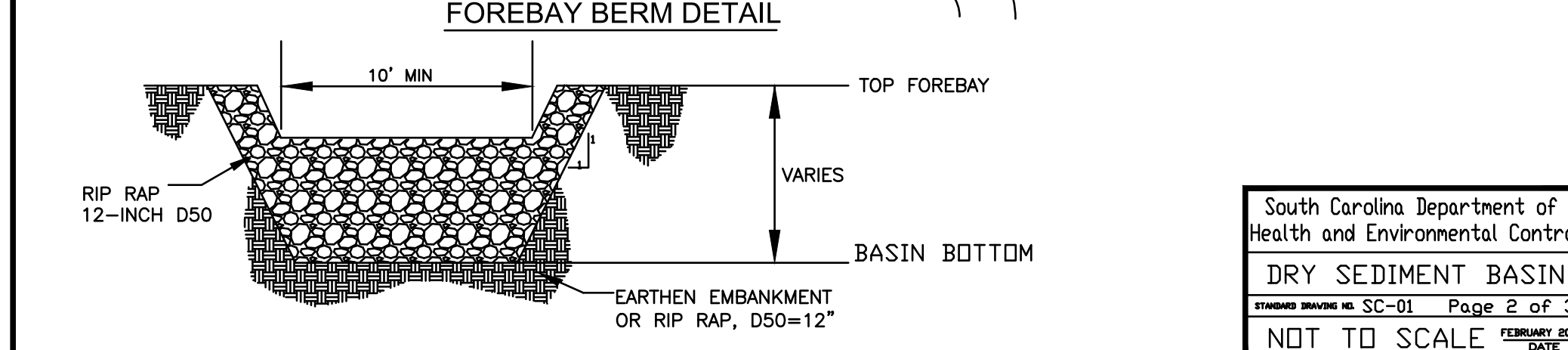
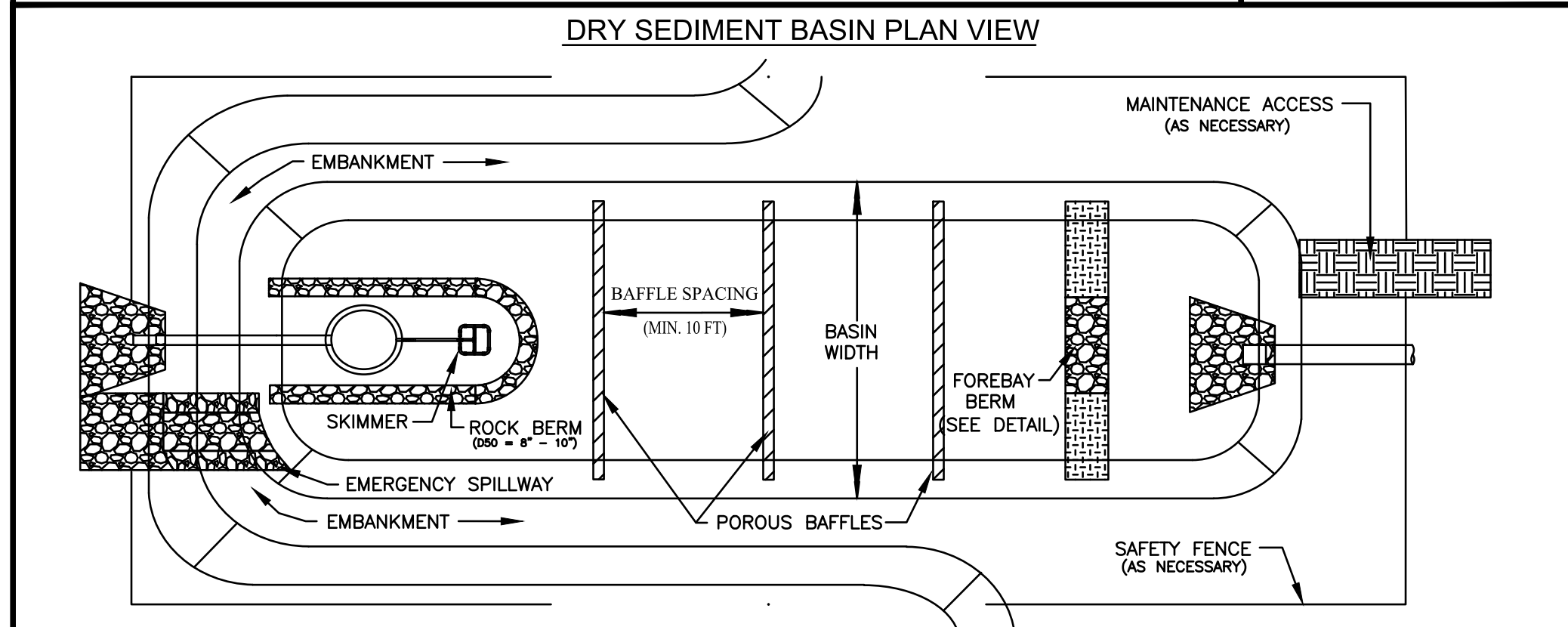
**REGISTERED PROFESSIONAL ENGINEER**  
29925

GADSDEN A. LINTON III  
DATE: FEBRUARY 6, 2022  
DRAWN/CHECKED: CLH/TL  
LAST REVISED: AUGUST 22, 2022  
APPROVED: TL  
SCALE: 1"=20'  
PROJECT NO.: 5672  
SHEET NUMBER

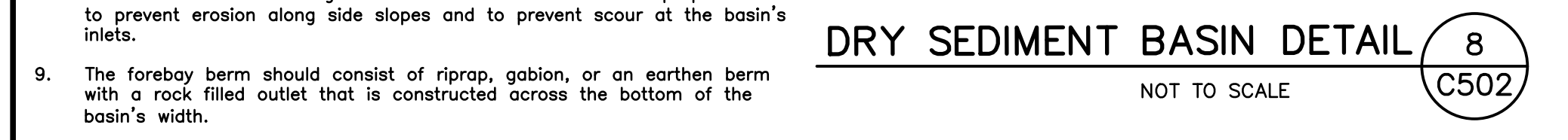
**C501**  
OF



Sediment Basin Number/Name	'A'	'B'	'C'	'D'	'E'	'F'	'G'	Skimmer Size (In.)	Skimmer Orifice (In.)	Skimmer Daily Discharge Capacity (CFD)	Skimmer Average Discharge Rate (CFD)	Dewatering Time (Days)	No. of Skimmers
POND 1	48.0'	xxx	45.56	5.8	36"	xxx	41.67	4"	6"	20,109	0.237	4	1

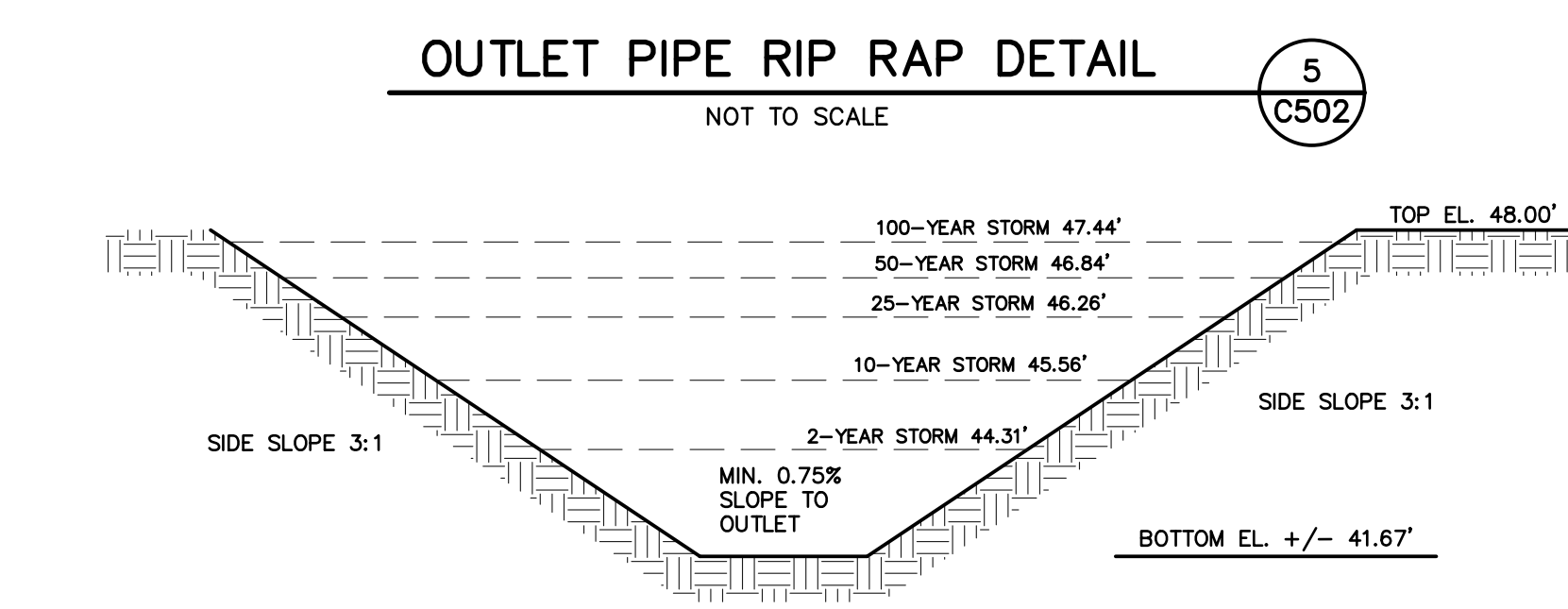
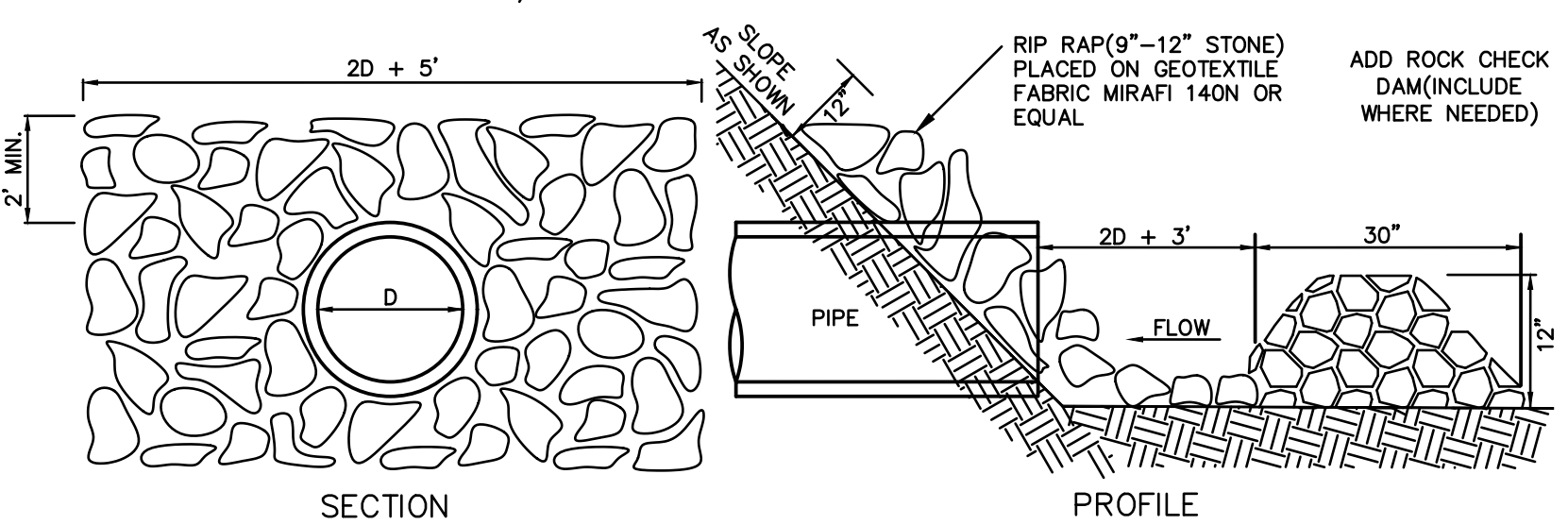


- DRY SEDIMENT BASIN - GENERAL NOTES**
- Sediment basins should not be placed in Waters of the State or USGS blue-line streams (unless approved by Federal Authorities).
  - Sediment basin's side slopes shall be seeded and, when necessary, stabilized with vegetative or synthetic matting to prevent the formation of rills and gullies.
  - Install three (3) rows of porous baffles with a minimum spacing of 10 feet. Baffles should ultimately be placed to maximize the space between each row of baffles and the basin's inlets/outlets. Only two (2) rows of baffles are necessary for basins that are less than 50 feet in length.
  - Porous Baffles should be composed of coir-based materials or TRMs with a light penetration (open spaces) between 10-35%. These materials should not have loose straw. Silt Fence may not be used as Porous Baffles.
  - Each porous baffles shall be installed across the entire width of the basin and along the basin's side slope until the height of the baffle intersects the slope.
  - Install skimmer and coupling (as necessary) to riser structure at orifice along bottom of the principle spillway's riser structure. (Refer to skimmer manufacturer for installation procedures and skimmer specifications.)
  - Skimmer should be equipped with a mechanism, such as a rope, to allow easy access to skimmer to unclogged orifice or perform other necessary maintenance.
  - Stormwater runoff entering the basin must be directed into proper BMPs to prevent erosion along side slopes and to prevent scour at the basin's inlets.
  - The forebay berm should consist of riprap, gabion, or an earthen berm with a rock filled outlet that is constructed across the bottom of the basin's width.
  - An additional cleanout stake for the forebay area is recommended and should be marked for cleanout at 50% of provided sediment storage.
  - The elevation of the emergency spillway should be at least 1 foot below the top of the embankment. The emergency spillway should not be located on fill material, when possible. Riprap and geotextile liner should be placed on all spillways that must be located on fill material.

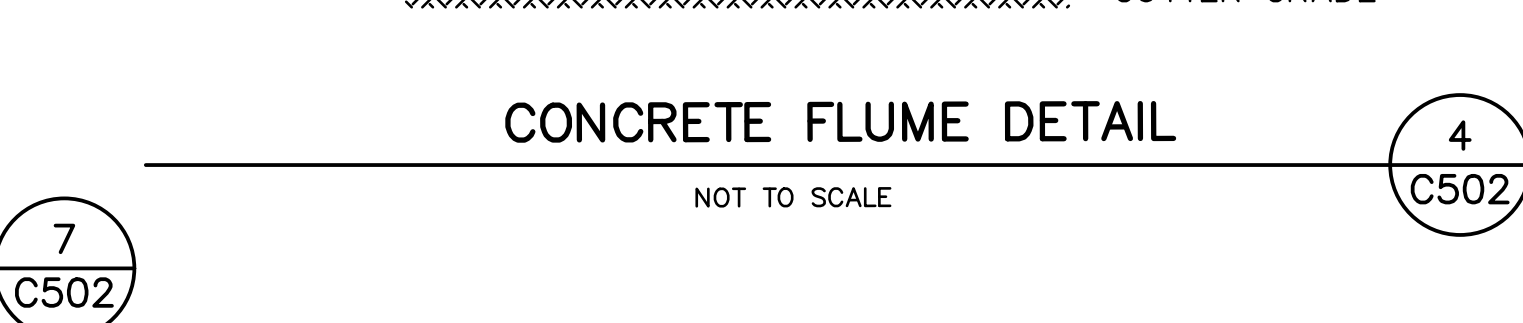
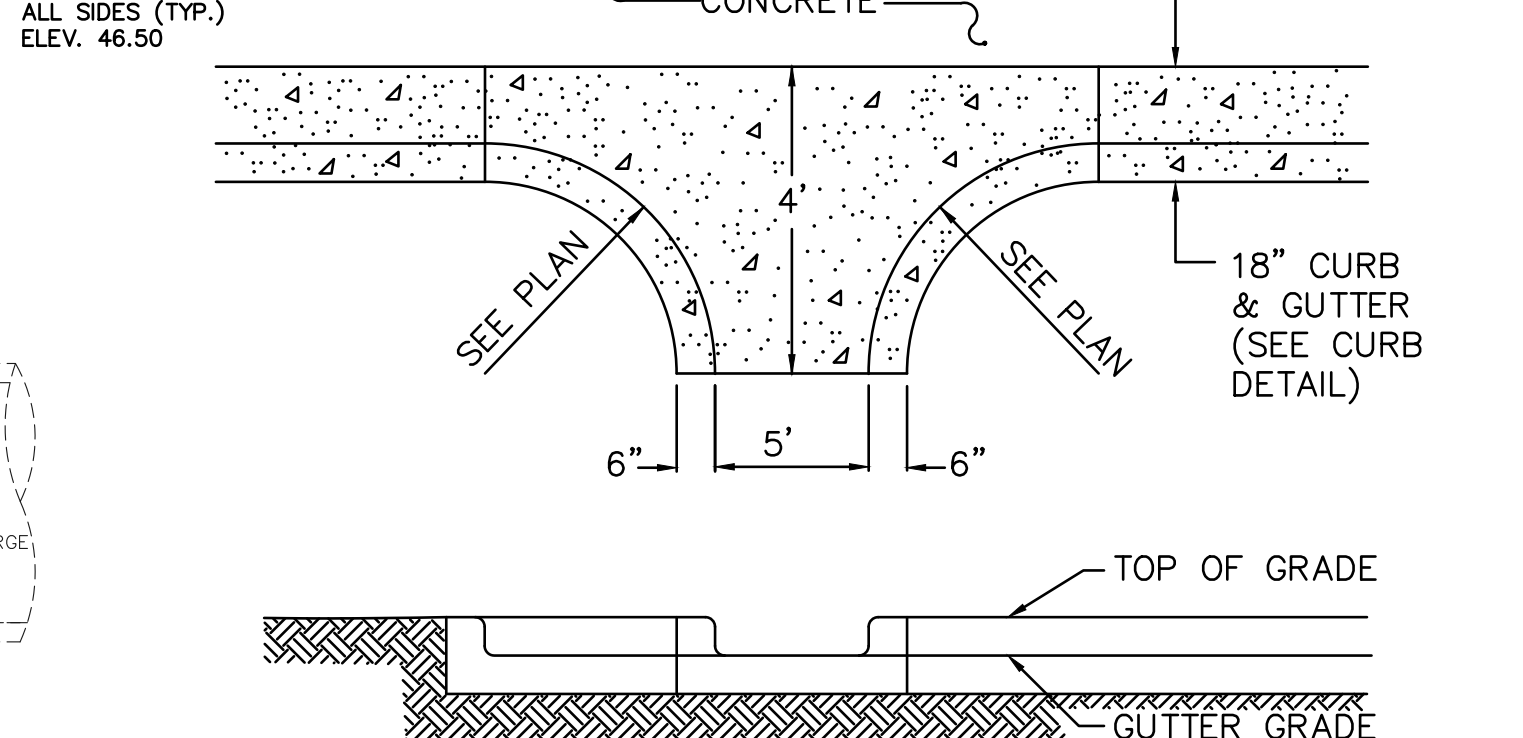
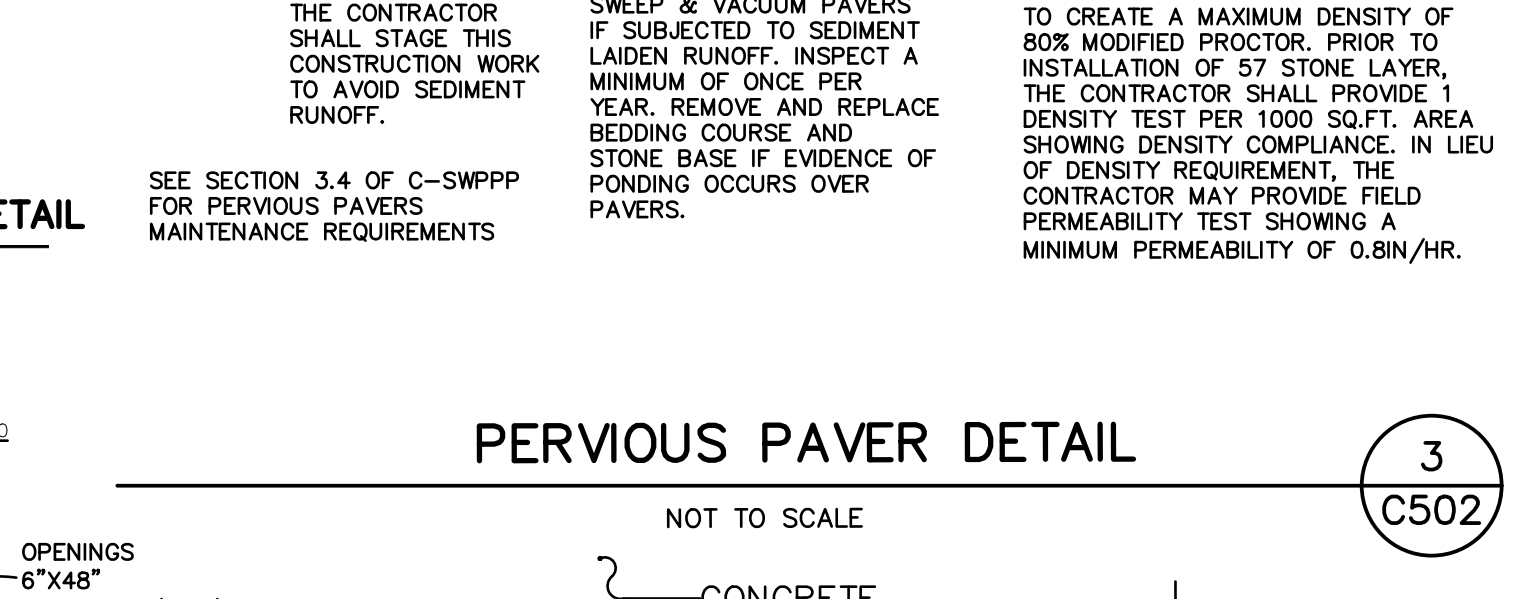
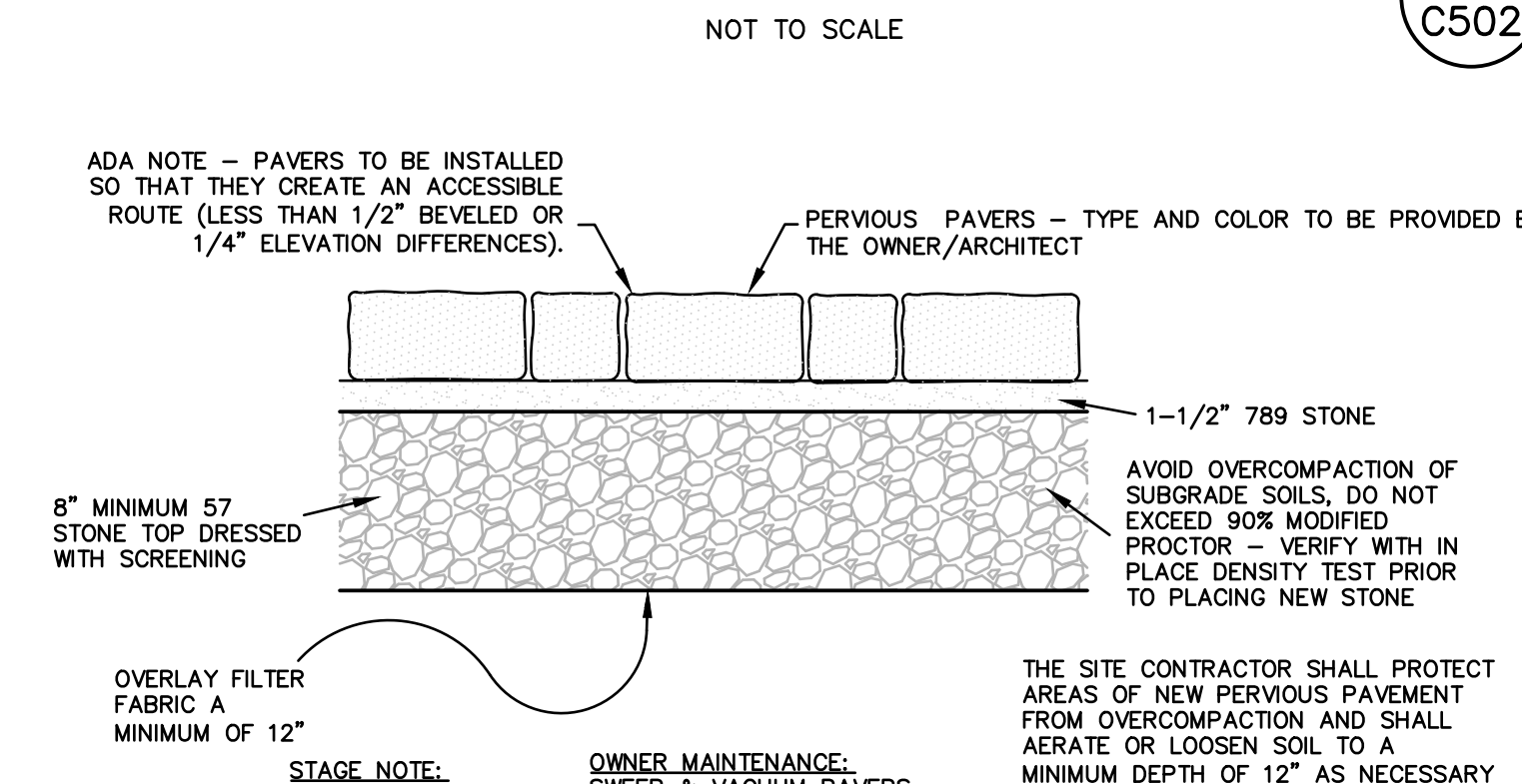
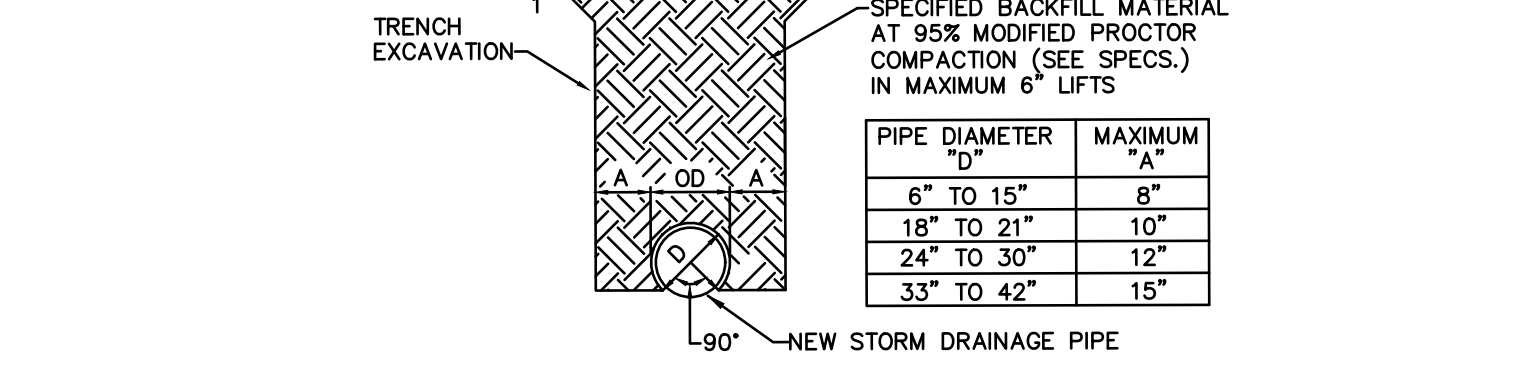
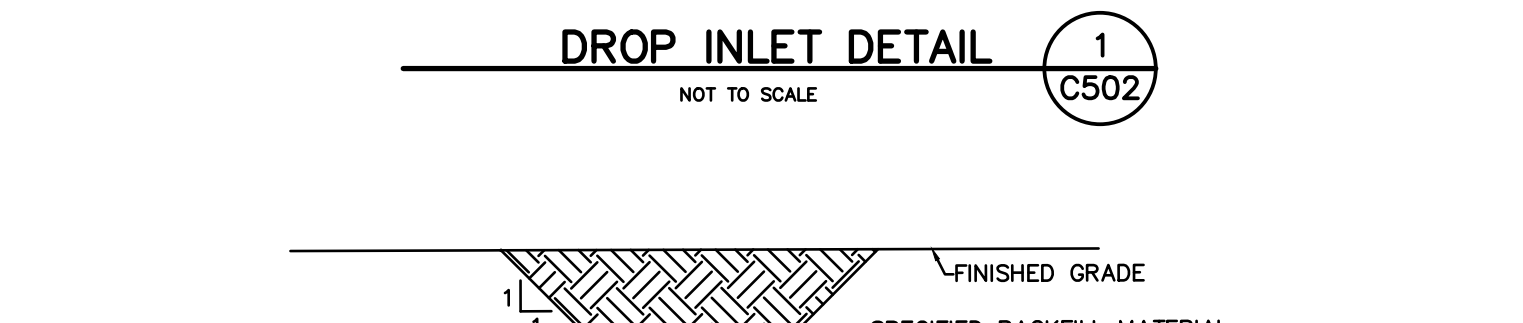
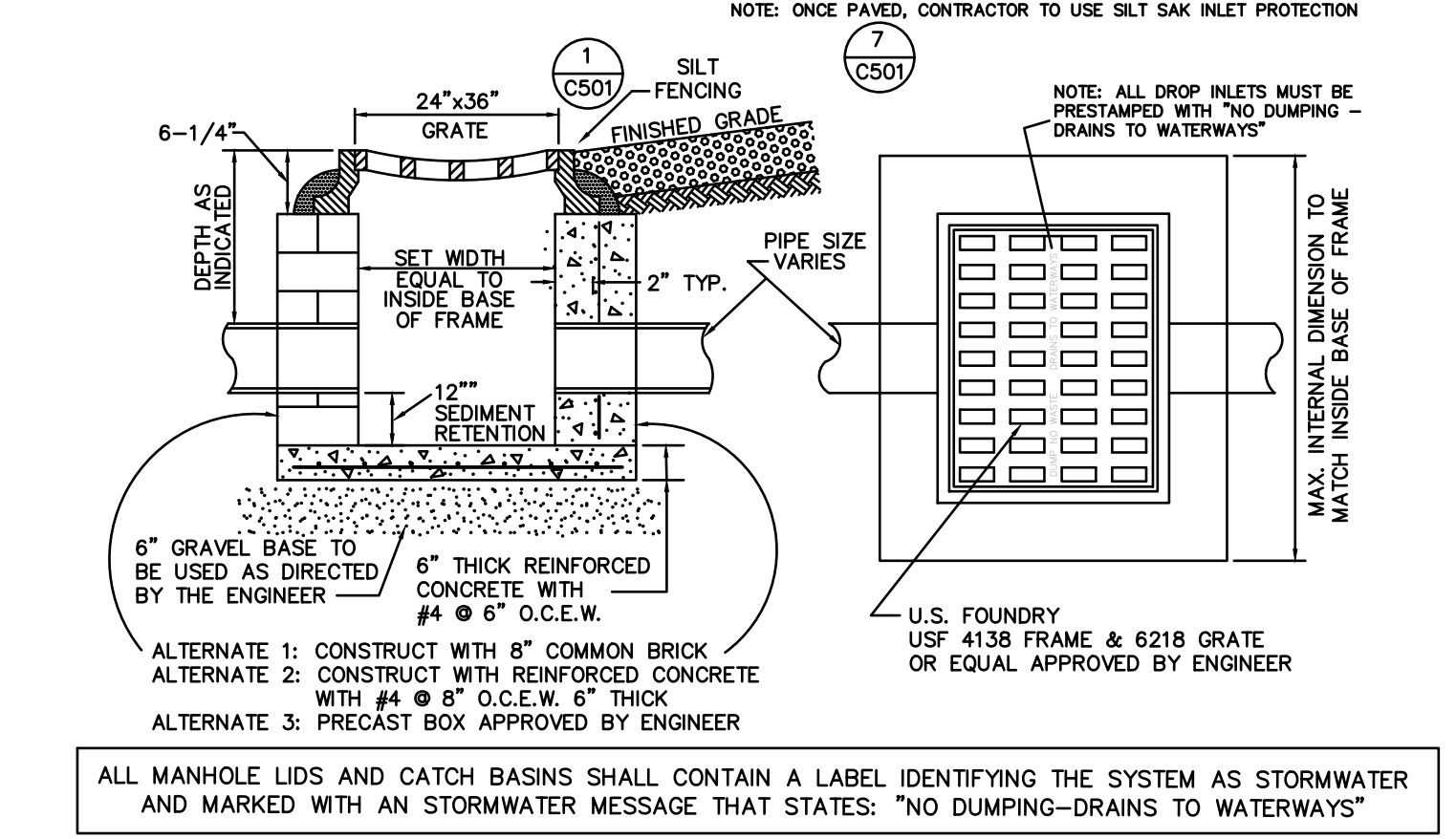
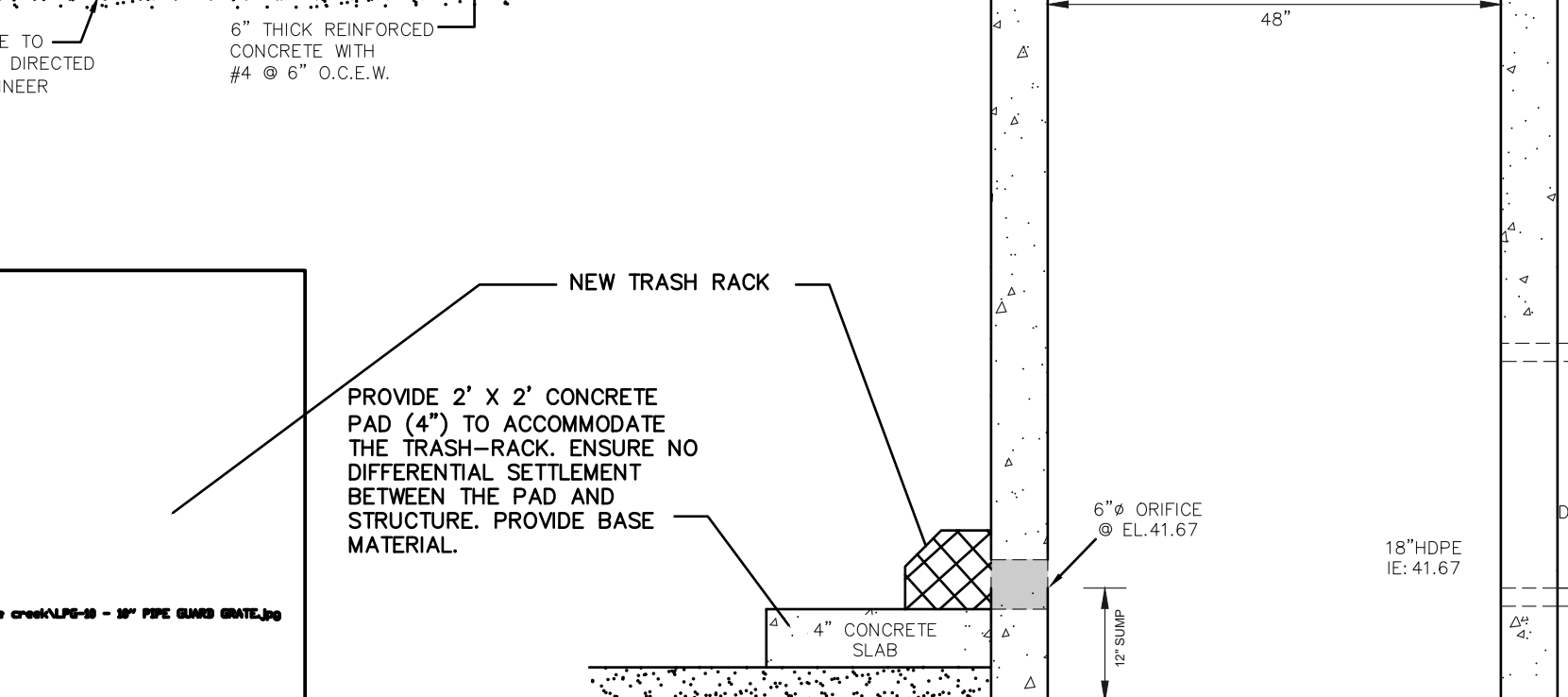
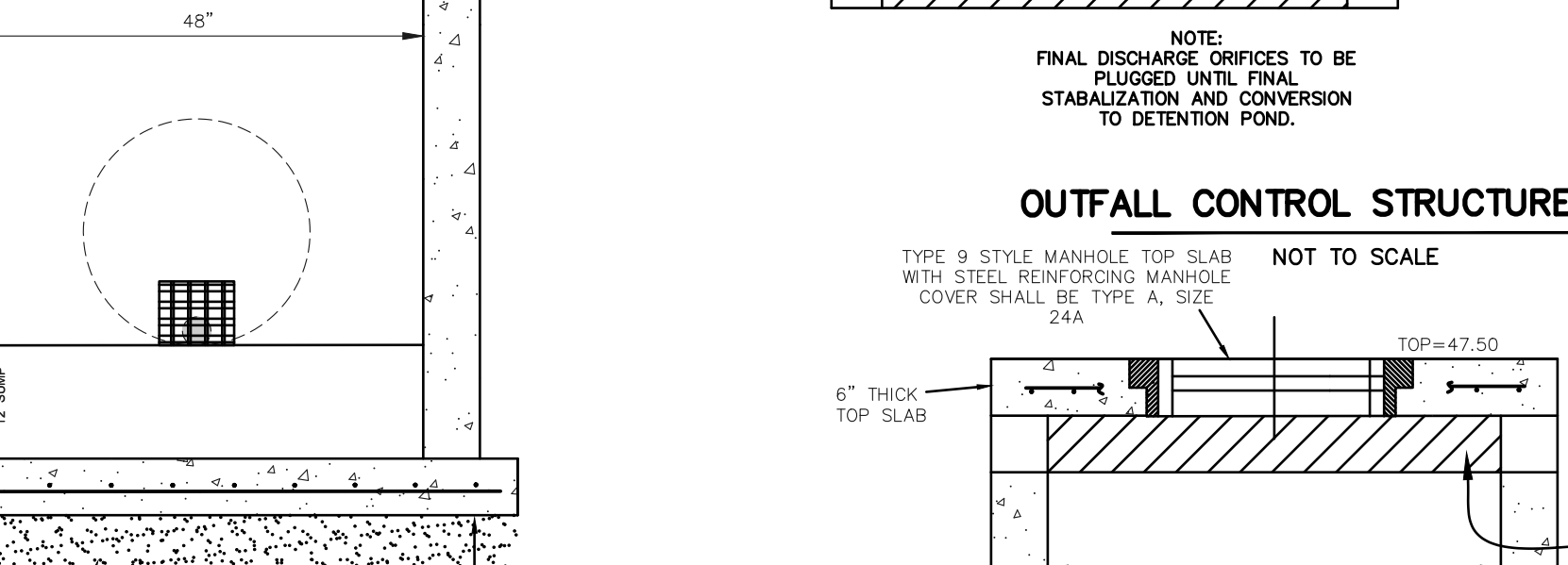
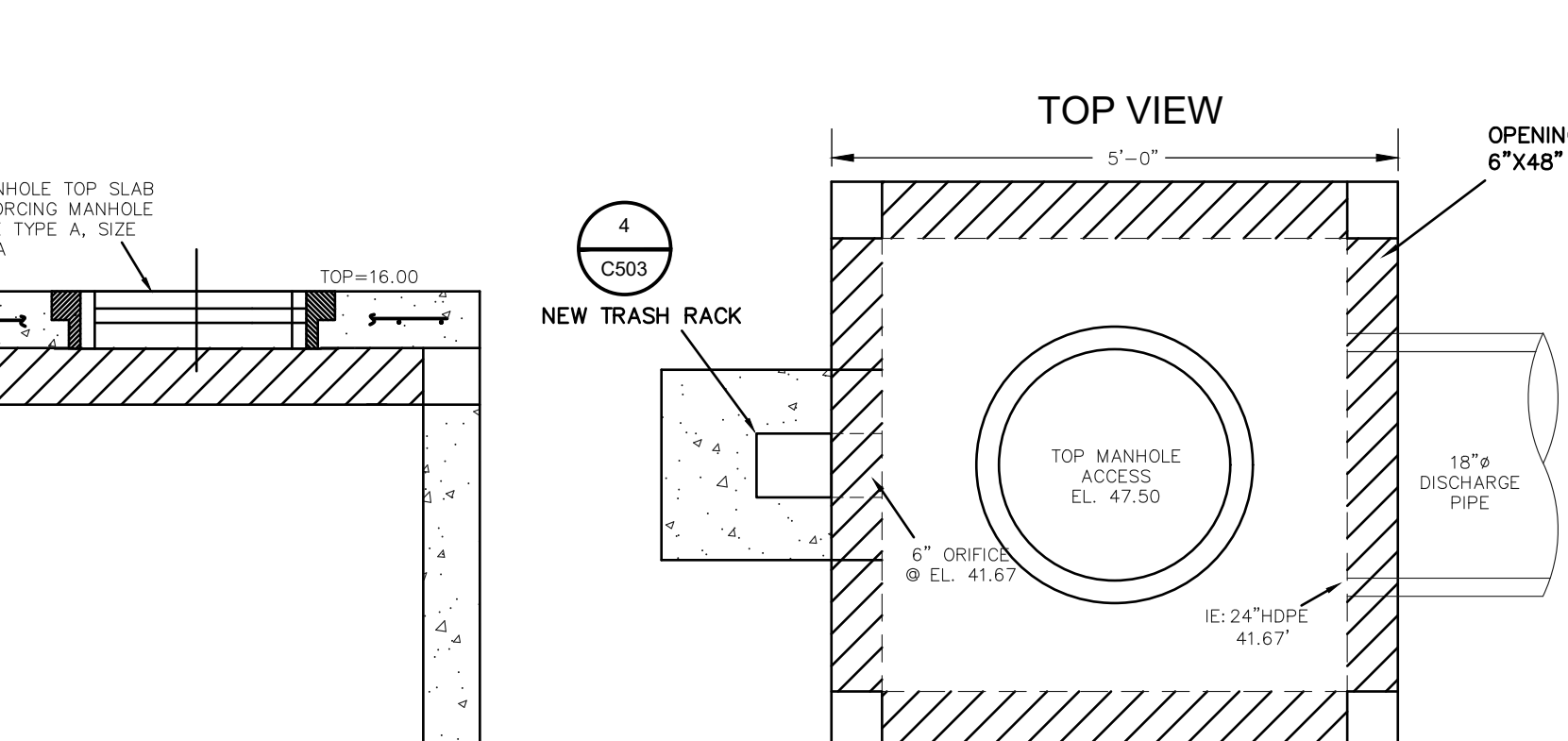
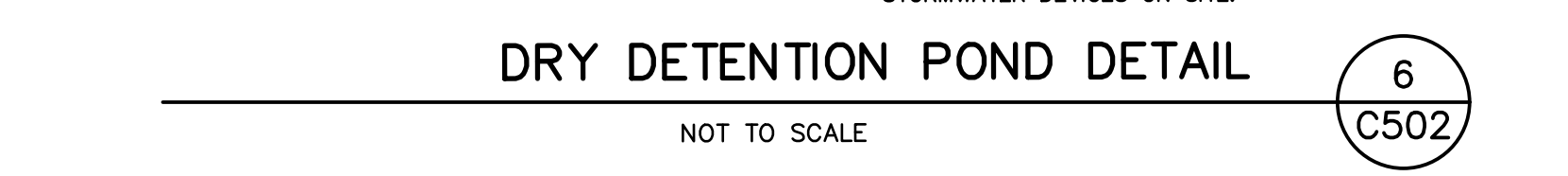


South Carolina Department of Health and Environmental Control  
**DRY SEDIMENT BASIN**  
 STANDARD DRAWING NO. SC-01 Page 3 of 3  
 GENERAL NOTES

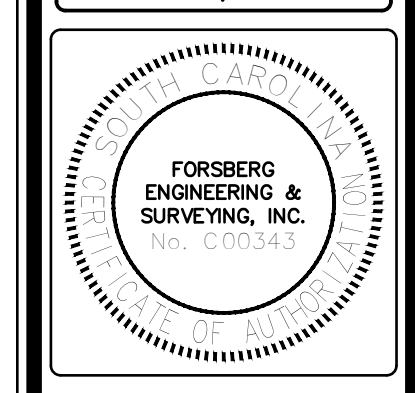
NOTE: INSPECT ROCK DITCH CHECKS EVERY 14 CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2" OR MORE OF PRECIPITATION. INSPECT FOR SEDIMENT AND DEBRIS ACCUMULATION. INSPECT DITCH CHECK EDGES FOR EROSION AND REPAIR PROMPTLY AS REQUIRED. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 1/3 OF THE CHECK HEIGHT.



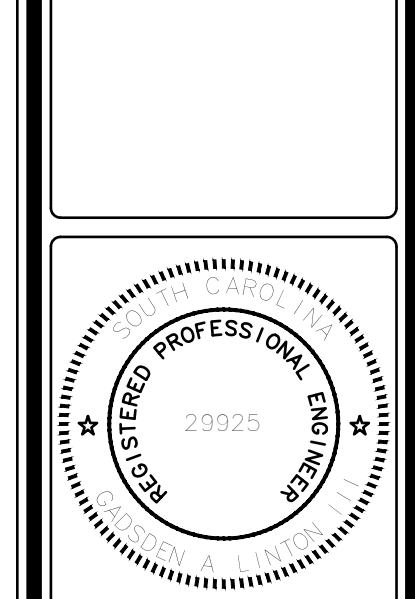
- POND MAINTENANCE REQUIREMENTS**
- WEEKLY (FOLLOWING RAINFALL EVENTS EXCEEDING 1")**
- VISUALLY INSPECT POND OUTFALL FOR ACCUMULATED DEBRIS. REMOVE IF NECESSARY.
  - VISUALLY INSPECT DROP INLETS FOR ACCUMULATED DEBRIS. REMOVE IF NECESSARY.
  - VISUALLY INSPECT SLOPES FOR EROSION. REPAIR AS NECESSARY AND STABILIZE.
- BI-WEEKLY (GROWING SEASON)**
- MOW GRASS
- ANNUALLY**
- VISUALLY INSPECT PIPE SYSTEM. REMOVE ACCUMULATED DEBRIS. 2) CHECK FOR SEDIMENT ACCUMULATION AND REMOVE AS NECESSARY.
  - REGRADE POND BOTTOMS AFTER REMOVAL OF SEDIMENTS.
- \* SDCHEC MUST BE NOTIFIED IN WRITING OF ANY CHANGES IN THE MAINTENANCE RESPONSIBILITY FOR STORMWATER DEVICES ON SITE.



**FORSBERG ENGINEERING AND SURVEYING, INC.**  
 1587 SAVANNAH HIGHWAY SUITE B  
 P.O. BOX 30075 CHARLESTON, SC 29417  
 CHARLESTON, SC 29402 (843) 571-6780  
 (843) 571-2622 FAX (843) 571-6780  
 CIVIL ENGINEERING, SURVEYING  
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**CONSTRUCTION DETAILS**  
**PACK-RAT STORAGE FACILITY**  
 TMS 222-00-00-183/TRACT A-2-B1  
 CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA



GADSDEN A. LINTON III  
 DATE: FEBRUARY 6, 2022  
 DRAWN/CHECKED: CLH/TL  
 LAST REVISED:  
 APPROVED: TL  
 SCALE: 1"=20'  
 PROJECT NO.: 5672  
 SHEET NUMBER: C502  
 OF



TABLE 3.12 TEMPORARY COVER (ANNUALS)

COMMON NAME <sup>3</sup>	BOTANICAL NAME	APPROVED SITE(S)	PLANTING RATE (lbs/acre)	PLANTING DATES*											
				JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SELECT ONE															
CRIMSON CLOVER <sup>1</sup>	TRIFOLIUM INCARNATUM	SHOULDERS, SLOPES, OR MEDIANS	20												
KOREAN LESPEDEZA <sup>1</sup> (UNWHEELED-HULL PRESENT)	LESPEDEZA STIPULACEA	SHOULDERS, SLOPES	60												
KOBE LESPEDEZA <sup>1</sup> (UNWHEELED-HULL PRESENT)	LESPEDEZA STRIATA	SHOULDERS, SLOPES	60												
BROWNTOP MILLET	PANICUM RAMOSUM	SLOPES	50												
GERMAN MILLET (FOXTAIL MILLET)	SETARIA ITALICA	SLOPES	40												
OATS	AVENA SATIVA	SLOPES	150												
HAIRY VETCH <sup>1</sup>	VICIA VILLOSA	SHOULDERS, SLOPES, OR MEDIANS	50												
PEARL MILLET <sup>1</sup>	PENNISETUM GLAUCUM	SHOULDERS, SLOPES, OR MEDIANS	50												
SUDANGRASS	SORGHUM BICOLOR	SHOULDERS, SLOPES, OR MEDIANS	60												
BARLEY	HORDEUM VULGARE	SHOULDERS, SLOPES, OR MEDIANS	190												
WHEAT	TRITICUM SPP.	SHOULDERS, SLOPES, OR MEDIANS	100												
RYE GRAIN <sup>2</sup>	SECALE CEREALE	SHOULDERS, SLOPES, OR MEDIANS	55												

<sup>1</sup> Only use pre-inoculated legumes or an appropriate inoculant with the seed at planting.  
<sup>2</sup> Rye Grain: Do Not use Annual Italian Rye Grass (Lolium Multiflorum).  
<sup>3</sup> If the Common Name of the seed listed in Table 1, Table 2 or Table 3 is not available, use seed with the listed Botanical Name.  
 \*Months Shaded in Gray represent applicable planting dates.  
 For details on mixes consult the Clemson University Home and Garden Information Center at (888) 656-9988 (9 AM to 1 PM), or at <http://www.clemson.edu/extension/hgic/>

TABLE 3.14 PERMANENT VEGETATION SCHEDULE

COMMON NAME <sup>5</sup>	BOTANICAL NAME	APPROVED SITE(S)	PLANTING RATE (lbs/acre)	PLANTING DATES*											
				JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TURF-TYPE GRASSES (SELECT ONE)															
BAHIA GRASS <sup>1</sup>	PASPALUM NOTATUM	SLOPES	30												
COMMON BERMUDAGRASS <sup>2</sup>	CYNODON DACTYLON	SHOULDERS, SLOPES, OR MEDIANS	25												
COMMON BERMUDAGRASS <sup>2</sup> (UNWHEELED-HULL PRESENT)	CYNODON DACTYLON	SHOULDERS, SLOPES, OR MEDIANS	30												
CARPET GRASS	AXONOPUS AFFINIS	SHOULDERS, SLOPES, OR MEDIANS	15												
TALL FESCUE	FESTUCA ARUNINACEA	SHOULDERS, SLOPES, OR MEDIANS	50												
CENTIPEDE GRASS	EREMOCHLOA OPHIUROIDES	SHOULDERS, MEDIANS	10												
GRASSES															
WEeping LOVEGRASS	EROGRASTIS CURVULA	SLOPES	5												
INDIAN GRASS	SORGHASTRUM NUTANS	SLOPES	10												
LITTLE BLUESTEM	ANDROPOGON SCOPARIUS	SLOPES	10												
COASTAL PANICGRASS	PANICUM AMARUM	SLOPES	20												
SWITCHGRASS	PANICUM VIRGATUM	SLOPES	9												
PERENNIAL RYE GRASS <sup>3</sup>	LOLIUM PERRENE	SHOULDERS, SLOPES, OR MEDIANS	15												
VIRGINIA WILD RYE	ELYMUS VIRGINICUS	SHOULDERS, SLOPES, OR MEDIANS	6												
LEGUMES <sup>4</sup>															
WHITE CLOVER	TRIFOLIUM REPENS	SHOULDERS, SLOPES	5												
SERICEA LESPEDEZA (SCARIFIED SEED)	LESPEDEZA CUNETA	SLOPES	50												
SERICEA LESPEDEZA (UNSCARIFIED SEED)	LESPEDEZA CUNETA	SLOPES	80												

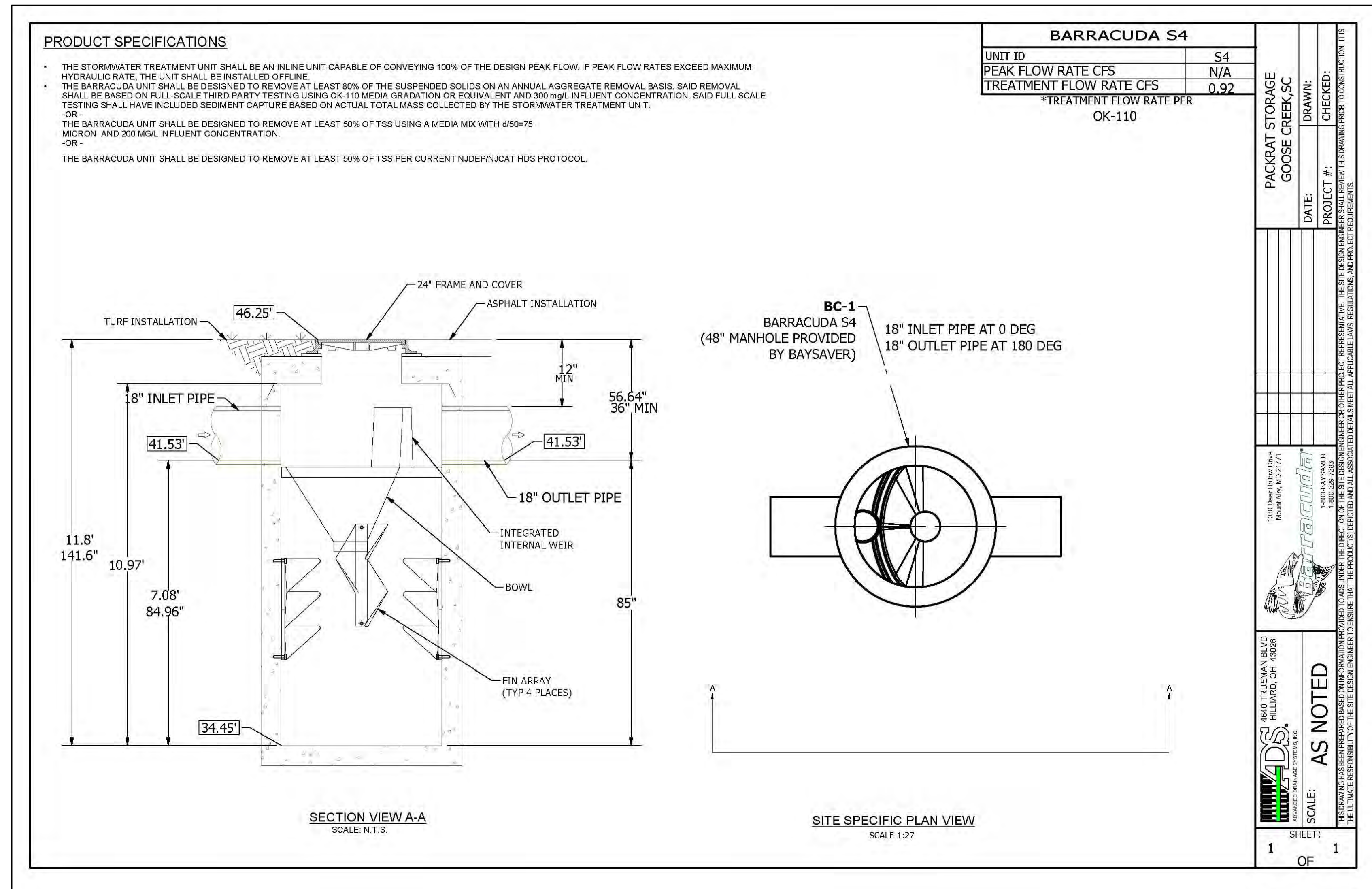
<sup>1</sup> BAHIA GRASS: Bahiagrass may be used as an optional turf-type permanent cover at the discretion of the RCE. \* months shaded in gray represent applicable planting dates.  
<sup>2</sup> COMMON BERMUDAGRASS: Do Not use giant bermudagrass (NK-37).  
<sup>3</sup> PERENNIAL RYE GRASS: Do Not use annual Italian Rye Grass (Lolium Multiflorum).  
<sup>4</sup> Only use pre-inoculated legumes or use an appropriate inoculant with the seed at planting.  
<sup>5</sup> If the common name of the seed listed in Table 1, Table 2 or Table 3 is not available, use seed with the listed Botanical Name.  
 For details on mixes consult the Clemson University Home and Garden Information Center at (888) 656-9988 (9 AM to 1 PM), or at <http://www.clemson.edu/extension/hgic/>

TABLE 3.15 PERMANENT COVER NURSE CROPS (ANNUALS)

COMMON NAME <sup>2</sup>	BOTANICAL NAME	APPROVED SITE(S)	PLANTING RATE (lbs/acre)	PLANTING DATES*											
				JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SELECT ONE															
CRIMSON CLOVER <sup>1</sup>	TRIFOLIUM INCARNATUM	SHOULDERS, SLOPES	20												
KOREAN LESPEDEZA <sup>1</sup>	LESPEDEZA STIPULACEA	SHOULDERS, SLOPES	30												
KOREAN LESPEDEZA <sup>1</sup> (UNWHEELED-HULL PRESENT)	LESPEDEZA STIPULACEA	SHOULDERS, SLOPES	30												
KOBE LESPEDEZA <sup>1</sup>	LESPEDEZA STRIATA	SHOULDERS, SLOPES	30												
KOBE LESPEDEZA <sup>1</sup> (UNWHEELED-HULL PRESENT)	LESPEDEZA STRIATA	SHOULDERS, SLOPES	30												
BROWNTOP MILLET	PANICUM RAMOSUM	SLOPES	10												
GERMAN MILLET (FOXTAIL MILLET)	SETARIA ITALICA	SLOPES	25												
JAPANESE MILLET	ECHINOCHLOA CRUSGALLI	SLOPES	10												
OATS	AVENA SATIVA	SLOPES	10												
HAIRY VETCH <sup>1</sup>	VICIA VILLOSA	SHOULDERS, SLOPES, OR MEDIANS	1												

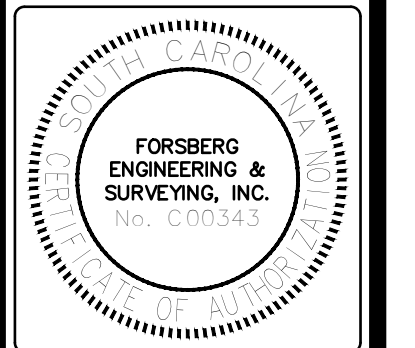
<sup>1</sup> Only use pre-inoculated legumes or an appropriate inoculant with the seed at planting.  
<sup>2</sup> If the Common Name of the seed listed in Table 1, Table 2 or Table 3 is not available, use seed with the listed Botanical Name.  
 \*Months Shaded in Gray represent applicable planting dates.  
 For details on mixes consult the Clemson University Home and Garden Information Center at (888) 656-9988 (9 AM to 1 PM), or at <http://www.clemson.edu/extension/hgic/>

SEEDING AND GRASSING SCHEDULE



MANUFACTURED TREATMENT DEVICE

**FORSBERG ENGINEERING AND SURVEYING, INC.**  
 1587 SAVANNAH HIGHWAY SUITE B  
 P.O. BOX 30075  
 CHARLESTON, SOUTH CAROLINA 29417  
 (843) 571-2622 FAX (843) 571-6780  
 CIVIL ENGINEERING, SURVEYING AND LANDSCAPE ARCHITECTURE



**CONSTRUCTION DETAILS**  
**PACK-RAT STORAGE FACILITY**  
 TMS 222-00-00-183/TRACT A-2-B1  
 CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA

REGISTERED PROFESSIONAL ENGINEER  
 29925  
 GADSDEN A. LINTON III

DATE: FEBRUARY 6, 2022  
 DRAWN/CHECKED: CLH/TL  
 LAST REVISED:  
 APPROVED: TL  
 SCALE: 1"=20'  
 PROJECT NO.: 5672  
 SHEET NUMBER: C504  
 OF

	REQUIRED	PROPOSED	EXISTING
15' BUFFER			
4 CANOPY TREES	21	19	2
8 UNDERSTORY TREES	42	28	14
30 SHRUBS	158	158	0

	REQUIRED	PROPOSED	EXISTING
15' BUFFER			
4 CANOPY TREES	10	10	0
8 UNDERSTORY TREES	20	10	10
30 SHRUBS	75	75	0

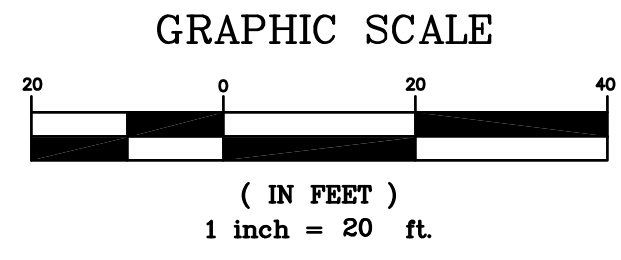
NOTE:  
MULCH NEWLY PLANTED AREAS  
NOT HYDRO-SEEDED

NEW PACK-RAT STORAGE FACILITY  
39,000 SQ.FT  
FEE=50.00 (NOV20)

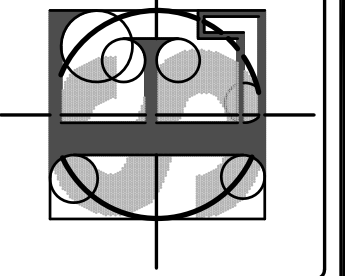
**FURMAN**  
LandDesign, LLC  
Landscape Architecture  
Jody Furman 843-343-1320  
www.furmanlanddesign.com

STATE OF SOUTH CAROLINA  
REGISTERED LANDSCAPE ARCHITECT  
No. 816  
JODY EARLE FURMAN

SOUTH CAROLINA  
CERTIFICATE OF AUTHORIZATION  
FURMAN  
LandDesign, LLC  
No. 281



**FORSBERG ENGINEERING  
AND SURVEYING, INC.**  
1587 SAVANNAH HIGHWAY, SUITE B  
CHARLESTON, SOUTH CAROLINA 29417  
(843) 571-2622 FAX (843) 571-6780  
CIVIL ENGINEERING, SURVEYING  
AND LANDSCAPE ARCHITECTURE

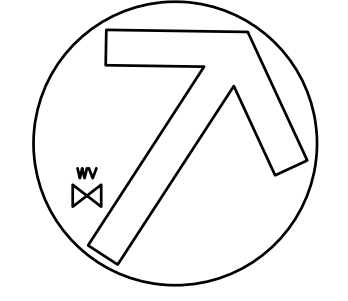
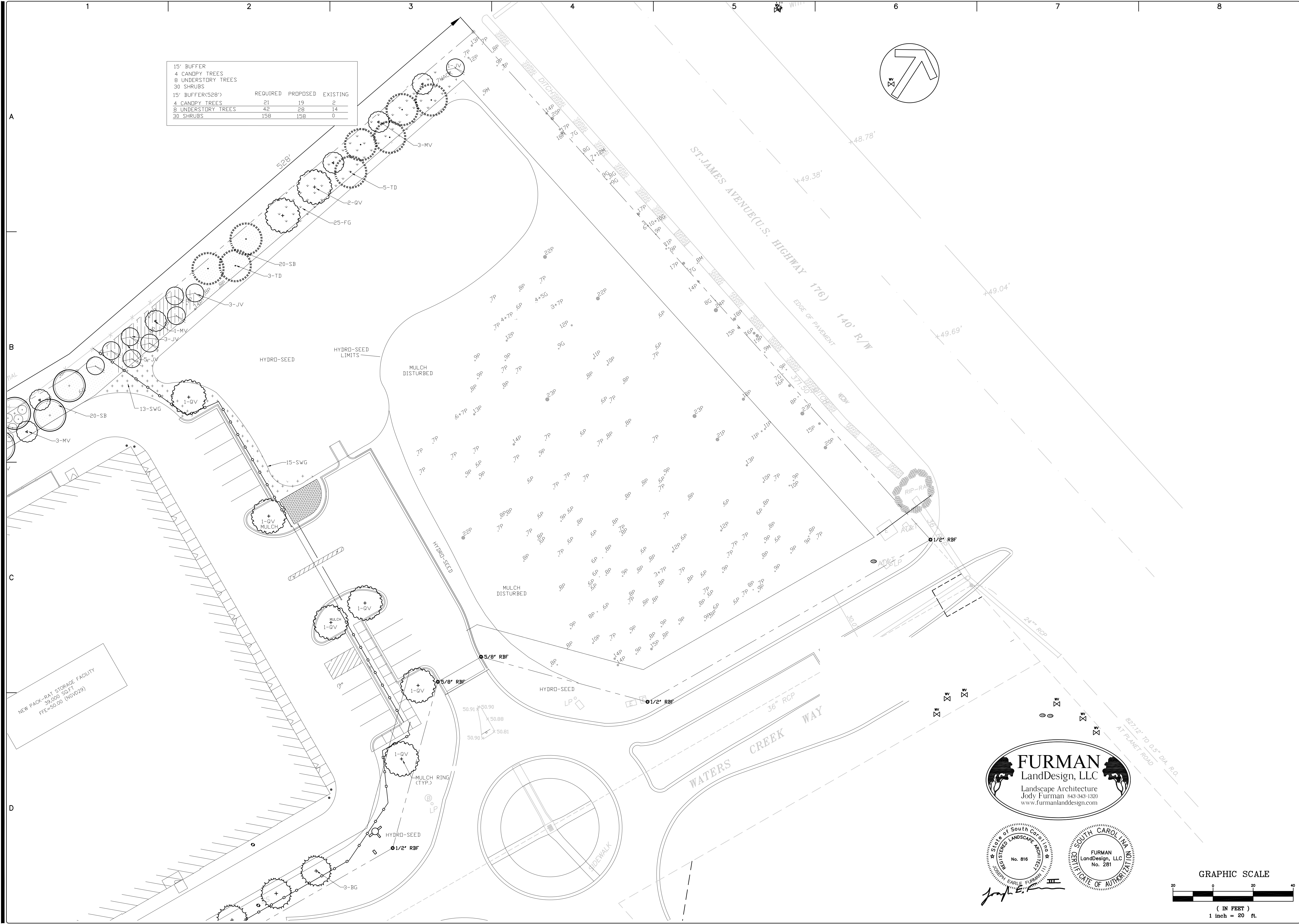


**LANDSCAPE PLAN**  
PACK-RAT STORAGE FACILITY  
TMS 222-00-00-183/TRACT A-2-B1  
CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA

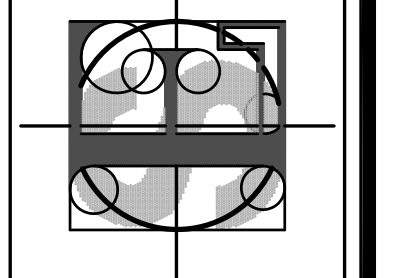
DATE	2/3/21
DRAWN/CHECKED	
LAST REVISED	8/24/21
APPROVED	
SCALE	1"=20'
PROJECT NO.	5516
SHEET NUMBER	L101

OF

15' BUFFER			
4 CANOPY TREES			
8 UNDERSTORY TREES			
30 SHRUBS			
15' BUFFER(S28')	REQUIRED	PROPOSED	EXISTING
4 CANOPY TREES	21	19	2
8 UNDERSTORY TREES	42	28	14
30 SHRUBS	158	158	0



**FORSBERG ENGINEERING AND SURVEYING, INC.**  
 1587 SAVANNAH HIGHWAY, SUITE B  
 CHARLESTON, SOUTH CAROLINA 29417  
 (843) 571-2622 FAX (843) 571-6780  
 CIVIL ENGINEERING, SURVEYING  
 AND LANDSCAPE ARCHITECTURE



**LANDSCAPE PLAN**  
**PACK-RAT STORAGE FACILITY**  
**TMS 222-00-00-183/TRACT A-2-B1**  
 CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA

**FURMAN**  
 LandDesign, LLC  
 Landscape Architecture  
 Jody Furman 843-343-1320  
 www.furmanlanddesign.com

DATE  
2/3/21

DRAWN/CHECKED

LAST REVISED  
8/24/21

APPROVED

SCALE  
1"=20'

PROJECT NO.  
5516

SHEET NUMBER  
L102

GRAPHIC SCALE  
 ( IN FEET )  
 1 inch = 20 ft.

**IRRIGATION NOTES**

1. THE CONTRACTOR IS ADVISED TO VISIT THE SITE AND VERIFY FIELD CONDITIONS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES.
3. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.
4. ALL PLANTED AREAS SHALL BE IRRIGATED BY AN TEMPORARY LANDSCAPE IRRIGATION SYSTEM. SYSTEM SHALL BE DESIGNED BY IRRIGATION CONTRACTOR.
5. EXISTING IRRIGATION AS-BUILTS SHALL BE PROVIDED UPON REQUEST FROM OWNER. LANDSCAPE CONTRACTOR SHALL COORDINATE PIPING AND CONNECTION TO A NEW APPROVED WATER METER.
6. PIPE SLEEVES SHALL BE INSTALLED BY IRRIGATION CONTRACTOR AS NECESSARY. COORDINATE WITH GENERAL CONTRACTOR.
7. IRRIGATION TIME CLOCK AND POWER SUPPLY LOCATION SHALL BE COORDINATED WITH OWNER.
8. EXISTING ECOLOGY AND AESTHETICS WILL OFTEN CAUSE ADJUSTMENT OF THESE PLANS TO FIT SITE. STAKE OUT BY CONTRACTOR AND FIELD ADJUSTMENT BY LANDSCAPE ARCHITECT ARE ABSOLUTELY NECESSARY.
9. IRRIGATION SYSTEM SHALL BE GUARANTEED BY CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNER.
10. THE LOCATION OF ALL ABOVE GROUND AND BELOW GROUND UTILITIES IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. DAMAGE TO UTILITIES AND PERSONAL INJURY AS A RESULT OF THE FAILURE TO DETERMINE AND/OR RESPECT UTILITY LOCATIONS IS THE SOLE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. UTILITY LOCATIONS ARE NOT SHOWN ON THESE PLANS.

**IRRIGATION**

CONTRACTOR IS RESPONSIBLE FOR WATERING PLANTS TILL FINAL ACCEPTANCE AND APPROVAL.

**PLANT GUARANTEE**

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR NEW PLANT MATERIAL'S HEALTH UNTIL FINAL ACCEPTANCE BY OWNER. OWNER RESERVES THE RIGHT TO REJECT ANY DEAD OR DECLINING PLANT MATERIAL AT FINAL INSPECTION.

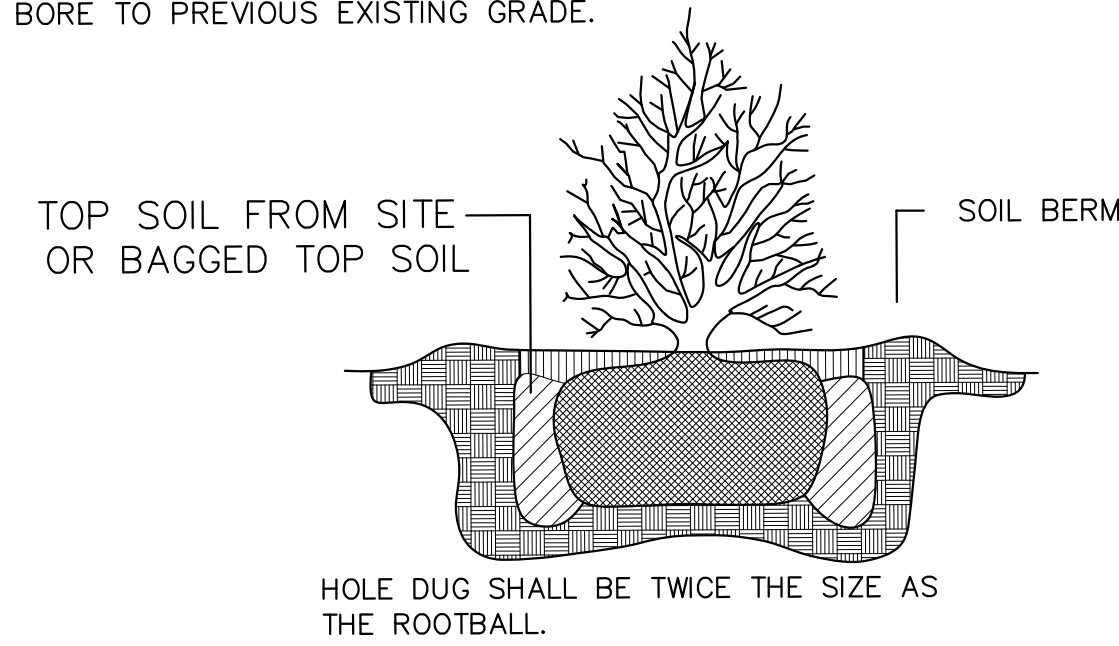
**CLEARING OF DEBRIS**

LANDSCAPE CONTRACTOR SHALL CLEAR ALL PROPOSED PLANTED AREAS OF ALL ROCKS AND DEBRIS BEFORE PLANTING.

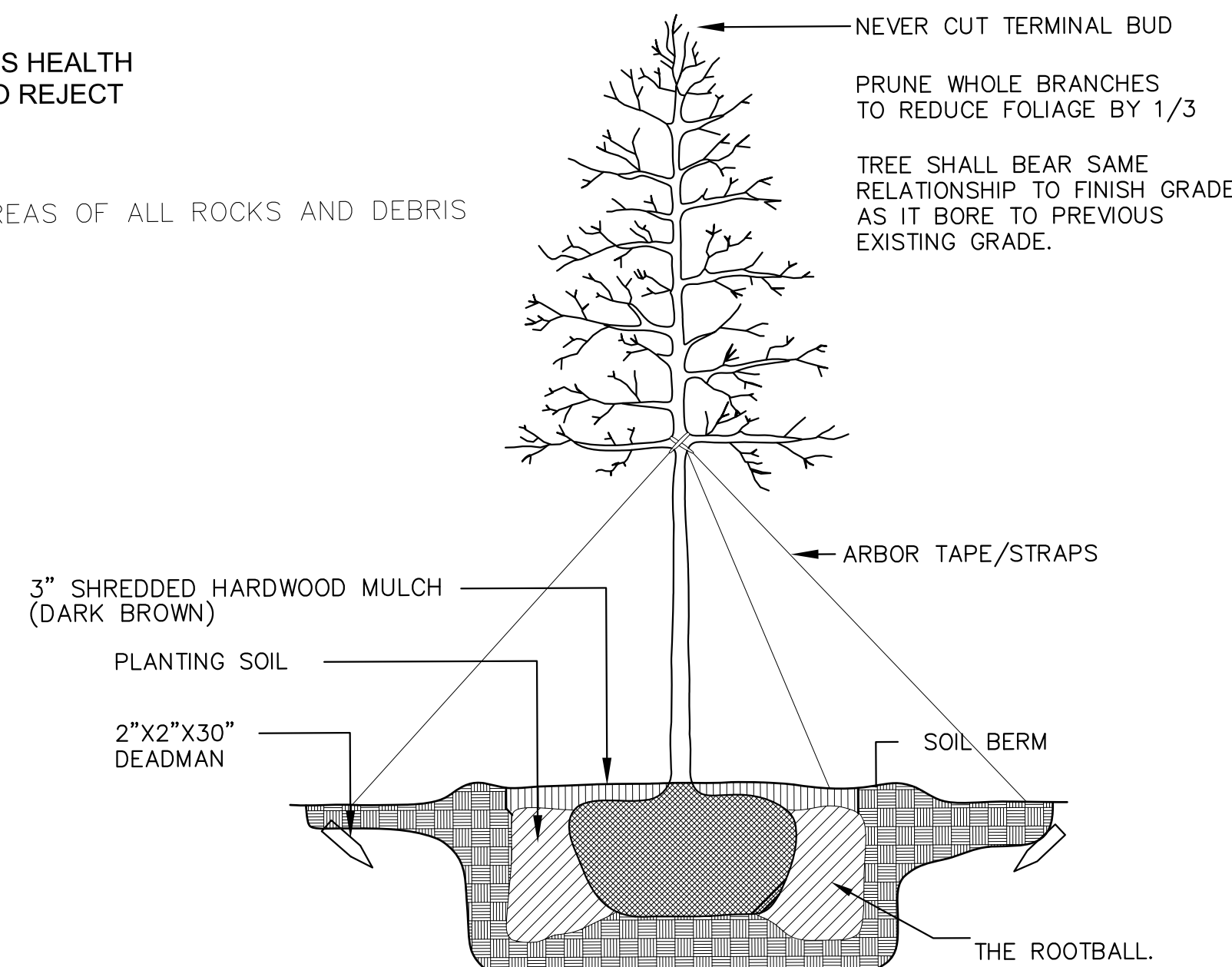
**UNDERGROUND UTILITIES**

SEE CONSTRUCTION PLANS

PLANT SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



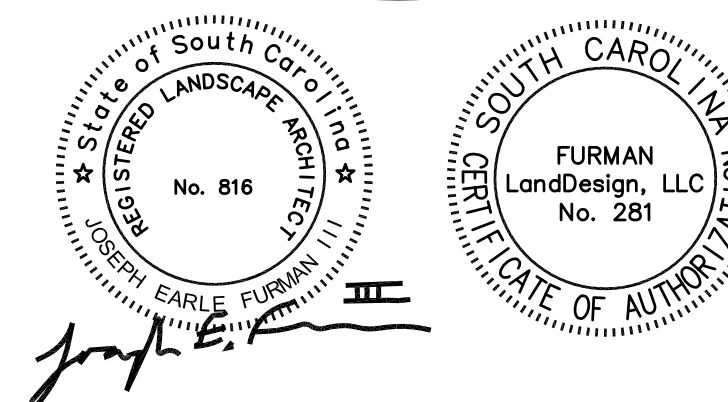
**DETAIL - SHRUB PLANTING**  
NO SCALE



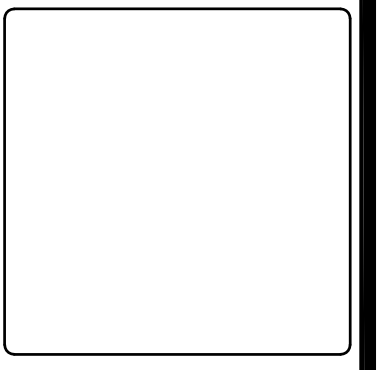
**DETAIL - TREE PLANTING**  
NO SCALE

NOTE: CONTRACTOR TO VERIFY COUNTS FROM ACTUAL PLAN.

PLANT SCHEDULE			
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT/SIZE
T R E E S			
ID	TAXIDIUM DISTICHUM	BALD CYPRESS	2.5" CAL.
QS	QUERCUS SCHUMARD	SCHUMARD OAK	2.5" CAL.
QV	QUERCUS VIRGINIANA	LIVE OAK	2.5" CAL.
BG	NYSSA SYLVATICA	BLACK GUM	2.5" CAL.
U N D E R S T O R Y T R E E S			
JV	JUNIPERUS VIRGINIANA	RED CEDAR	6'HT
MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	6'HT
S H R U B S			
IV	ILEX VOMITORIA	YAUPON HOLLY	7 GAL
SB	SPARTINA BAKERI	SPARTINA GRASS	3 GAL
SWG	SWEETGRASS	SWEET MUHLY GRASS	3 GAL
SM	SABAL MINOR	DWARF PALMETTO	3 GAL
MC	MERICA CERIFERA	WAX MYRTLE	3 GAL
CA	CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY	3 GAL
FG	FAKAHATCHIE GRASS	FAKAHATCHIE GRASS	3 GAL
CH	CHAEMEROPS HUMILUS	MED. FAN PALM	15 GAL
JF	LIGUSTRUM JACK FROST	JACK FROST LIGUSTRUM	7 GAL
PC/BS	PURPLE CONE FLOWER/BLACK-EYED SUSANS	PERENNIALS	1 GAL
TA	TRACHELOSPERMUM ASIATICUM	ASIAN JASMINE	6" POTS
LAWN	CENTPEDE OR BERMUDA SOD		
MULCH	3" DARK BROWN HARDWOOD MULCH		



**FORSBERG ENGINEERING AND SURVEYING, INC.**  
1387 SAVANNAH HIGHWAY, SUITE B  
CHARLESTON, SOUTH CAROLINA 29417  
(843) 571-2622 FAX (843) 571-6780  
CIVIL ENGINEERING, SURVEYING AND LANDSCAPE ARCHITECTURE



**PLANTING SCHEDULE**  
PACK-RAT STORAGE FACILITY  
TMS 222-00-00-183/TRACT A-2-B1  
CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA

DATE

DRAWN/CHECKED

LAST REVISED  
8/24/21

APPROVED

SCALE  
1"=20'

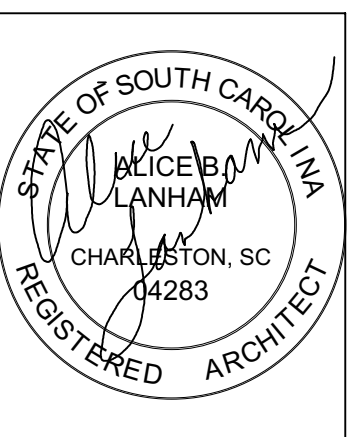
PROJECT NO.

SHEET NUMBER

**L103**  
OF

Alice B. Lanham Architect  
2978 Cane Slash Road  
Johns Island, S.C. 29455  
843-795-8735

**ABL**



NO.	DESCRIPTION	BY	DATE
01	ELEVATION REVISION REVIEW	AK	10-26-2021
02	DESIGN REVIEW REVISION	AK	12-01-2021
03	FINAL APPROVAL REVIEW SET	AK	04-11-2022
04	REVISION SET	AK	08-24-2022
05	DESIGN REVIEW SET	AK	02-19-2024

OWNER:  
**WELCH DEVELOPMENT, LLC**  
1260 BEES FERRY RD  
CHARLESTON, SC 29414

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
451 COMET CREEK LANE  
SUMMERVILLE, SC 29486

TITLE PAGE / NOTES

TITLE:  
Copyright 2023  
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DATE: **02-19-2024**  
PROJECT NUMBER: **21-06**  
**T1.1**



	SQ. FT.
1ST FLOOR	38,475
2ND FLOOR	37,675
3RD FLOOR	38,200
<b>TOTAL</b>	<b>114,350</b>

SHEET INDEX	
T1.1	TITLE PAGE / NOTES
S1.2	LOCATION
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	FOUNDATION PLAN
A1.5	ROOF PLAN
A2.1	FRONT & LEFT ELEVATION
A2.2	REAR & RIGHT ELEVATION
A2.3	ELEVATION DETAILS - EAST ELEV

## PACK RAT STORAGE FACILITY

451 COMET CREEK LANE  
SUMMERVILLE, SC 29486  
BERKELEY COUNTY, SC

**MUNICIPALITY:**

**CITY OF GOOSE CREEK**  
519 N. GOOSE CREEK BLVD  
GOOSE CREEK, SC 29445  
843-797-6220

**CIVIL ENGINEERING:**

**FORSBERG ENGINEERING & SURVEYING, INC**  
ATTN: GADSDEN A. LINTON III  
PO BOX 30575 CHARLESTON, SC 29407  
843-571-2622

**SITE NOTES:**

- 1) THE TMS OF THE PARCEL IS 222-00-00-183
- 2) THE PROPERTY IS ZONED GC (GENERAL COMMERCIAL)  
SETBACKS:  
15' SIDE  
15' REAR  
20' ARTERIAL BUFFER
- 3) PROPOSED BUILDING FOOTPRINT: 39,000 sf
- 4) BUILDING HEIGHT - 37'-1"

**STEEL BUILDING DESIGN, FABRICATION,  
CONSTRUCTION**

**WELCH DEVELOPMENT, LLC**  
1260 BEES FERRY RD  
CHARLESTON, SC 29414  
843-697-1613

**ARCHITECT:**

**ALICE B LANHAM**  
2978 CANE SLASH RD  
JOHNS ISLAND, SC 29455  
843-795-8735





BECKSTONE  
 APARTMENTS



THE WATERS AT  
 ST JAMES  
 APARTMENTS



PACK RAT SELF STORAGE -  
 PROPOSED LEFT FRONT



PACK RAT SELF STORAGE -  
 PROPOSED RIGHT REAR



MEDICAL  
 BUILDING

Alice B. Lanham Architect  
 2978 Cane Slash Road  
 Johns Island, S.C. 29455  
 843-795-8735

**ABL**



NO.	DESCRIPTION	BY	DATE
01	ELEVATION REVISION REVIEW	AK	10-26-2021
02	DESIGN REVIEW REVISION	AK	12-10-2021
03	WINDLOADS REVIEW SET	AK	04-11-2022
05	REVIEW SET	AK	08-24-2022
06	DESIGN REVIEW SET	AK	02-19-2024

OWNER:  
**WELCH DEVELOPMENT, LLC**  
 1260 BEES FERRY RD  
 CHARLESTON, SC 29414

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
 451 COMET CREEK LANE  
 SUMMERVILLE, SC 29486

TITLE:  
**LOCATION**

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 projects is prohibited.

DATE:  
**02-19-2024**

PROJECT NUMBER:  
 21-06

**S1.2**

NO.	DESCRIPTION	BY	DATE
01	ELEVATION REVIEW	AK	10-26-2021
02	DESIGN REVIEW	AK	12-03-2021
03	WINDOW/DOOR REVIEW SET	AK	04-11-2022
04	REVISION SET	AK	08-24-2022
05	REVISION SET	AK	08-24-2022
06	DESIGN REVIEW SET	AK	02-19-2024

OWNER:  
**WELCH DEVELOPMENT, LLC**  
 1260 BEES FERRY RD  
 CHARLESTON, SC 29414

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
 451 COMET CREEK LANE  
 SUMMERVILLE, SC 29486

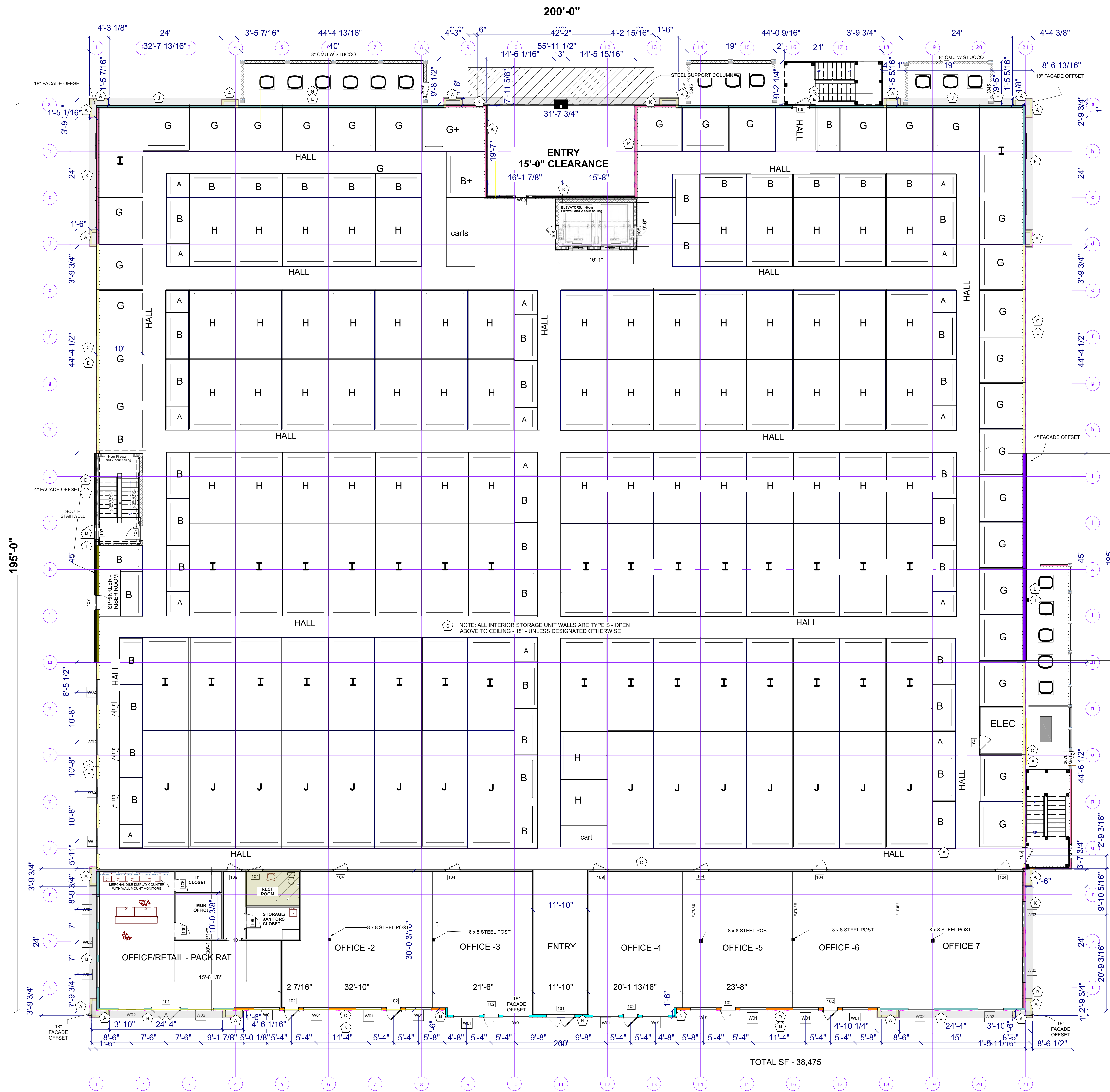
TITLE:  
**FIRST FLOOR PLAN**

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DATE:  
**02-19-2024**

PROJECT NUMBER:  
**21-06**

**A1.1**

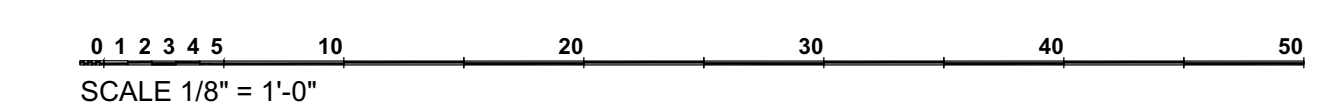


TOTAL SF - 38,475

5645 OFFICE SPACE ON 1ST FLOOR

**FIRST FLOOR PLAN**  
 Scale 1/8" = 1'  
 Scale 1/16" = 1'

Scale 1/8" = 1' (36 X 48)  
 Scale 1/16" = 1' (18 X 24)



NO.	DESCRIPTION	BY	DATE
01	ELEVATION/REVISION REVIEW	JAK	10-28-2021
02	DESIGN REVIEW/REVISION	JAK	12-03-2021
03	PERMITS/REVISION REVIEW	JAK	04-11-2022
04	WINDOW/DOOR REVIEW SET	JAK	08-24-2022
05	REVIEW SET	JAK	08-24-2022
06	DESIGN REVIEW SET	JAK	02-19-2024

OWNER:  
**WELCH DEVELOPMENT, LLC**  
 1260 BEES FERRY RD  
 CHARLESTON, SC 29414

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
 451 COMET CREEK LANE  
 SUMMERVILLE, SC 29486

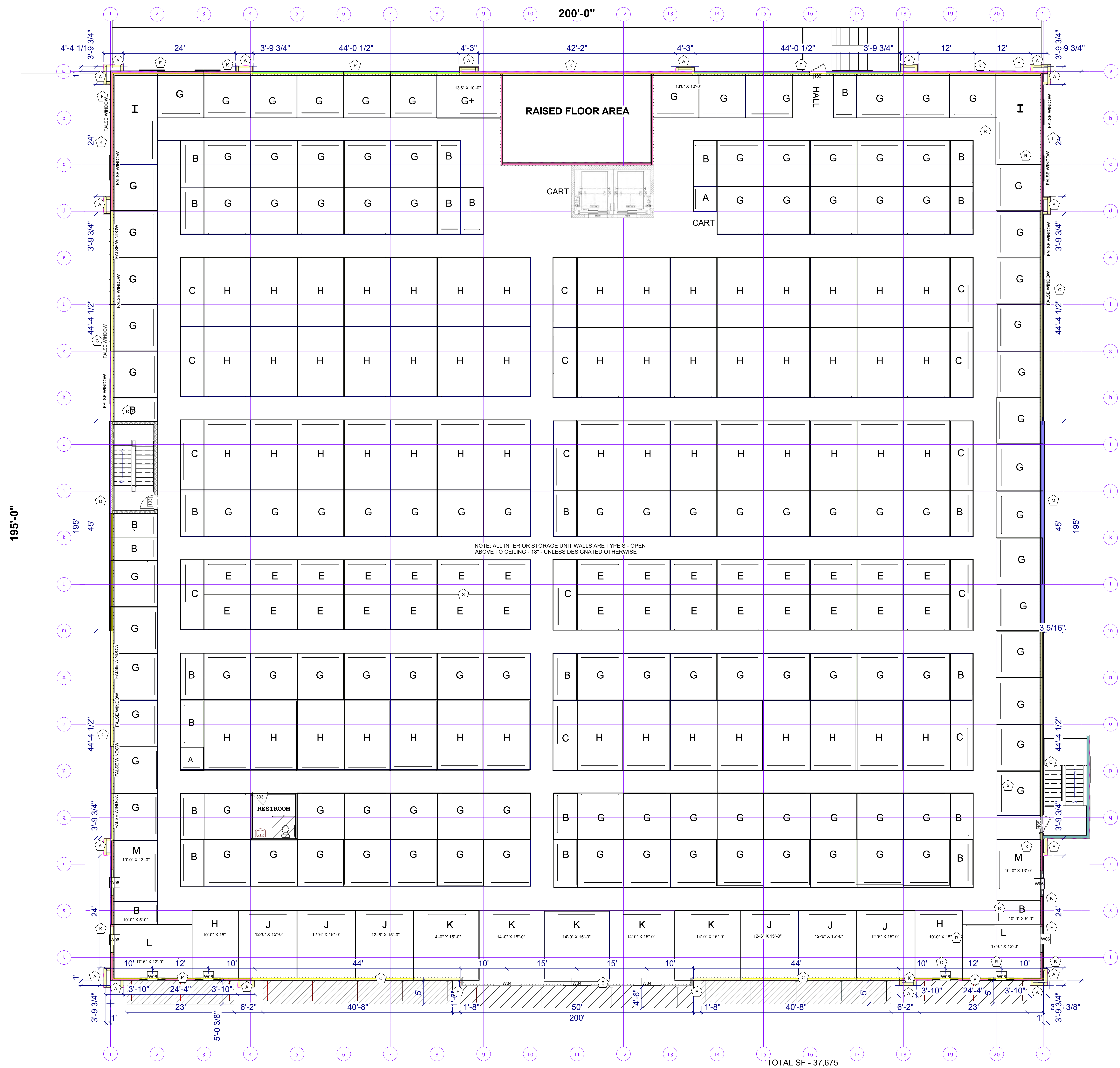
TITLE:  
**SECOND FLOOR PLAN**

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DATE:  
**02-19-2024**

PROJECT NUMBER:  
**21-06**

**A1.2**



NOTE: ALL INTERIOR STORAGE UNIT WALLS ARE TYPE S - OPEN ABOVE TO CEILING - 18" - UNLESS DESIGNATED OTHERWISE

TOTAL SF - 37,675

**SECOND FLOOR PLAN**  
 Scale 1/8" = 1'

Scale 1/8" = 1' (36 X 48)  
 Scale 1/16" = 1' (18 X 24)



NO.	DESCRIPTION	BY	DATE
01	ELEVATION REVIEW	JAK	10-26-2021
02	DESIGN REVIEW	JAK	12-03-2021
03	PERMITS REVIEW	JAK	04-11-2022
04	WINDOW/DOOR REVIEW SET	JAK	08-24-2022
05	REVIEW SET	JAK	08-24-2022
06	DESIGN REVIEW SET	JAK	02-19-2024

OWNER:  
**WELCH DEVELOPMENT, LLC**  
 1260 BEES FERRY RD  
 CHARLESTON, SC 29414

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
 451 COMET CREEK LANE  
 SUMMERVILLE, SC 29486

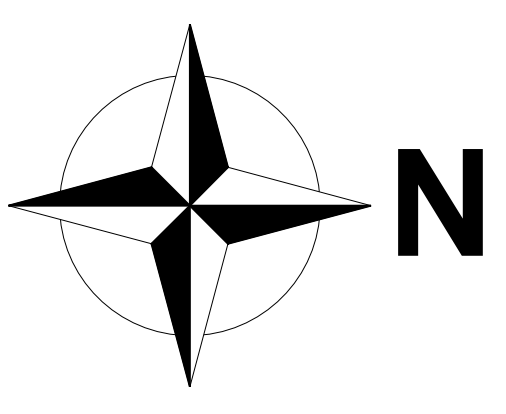
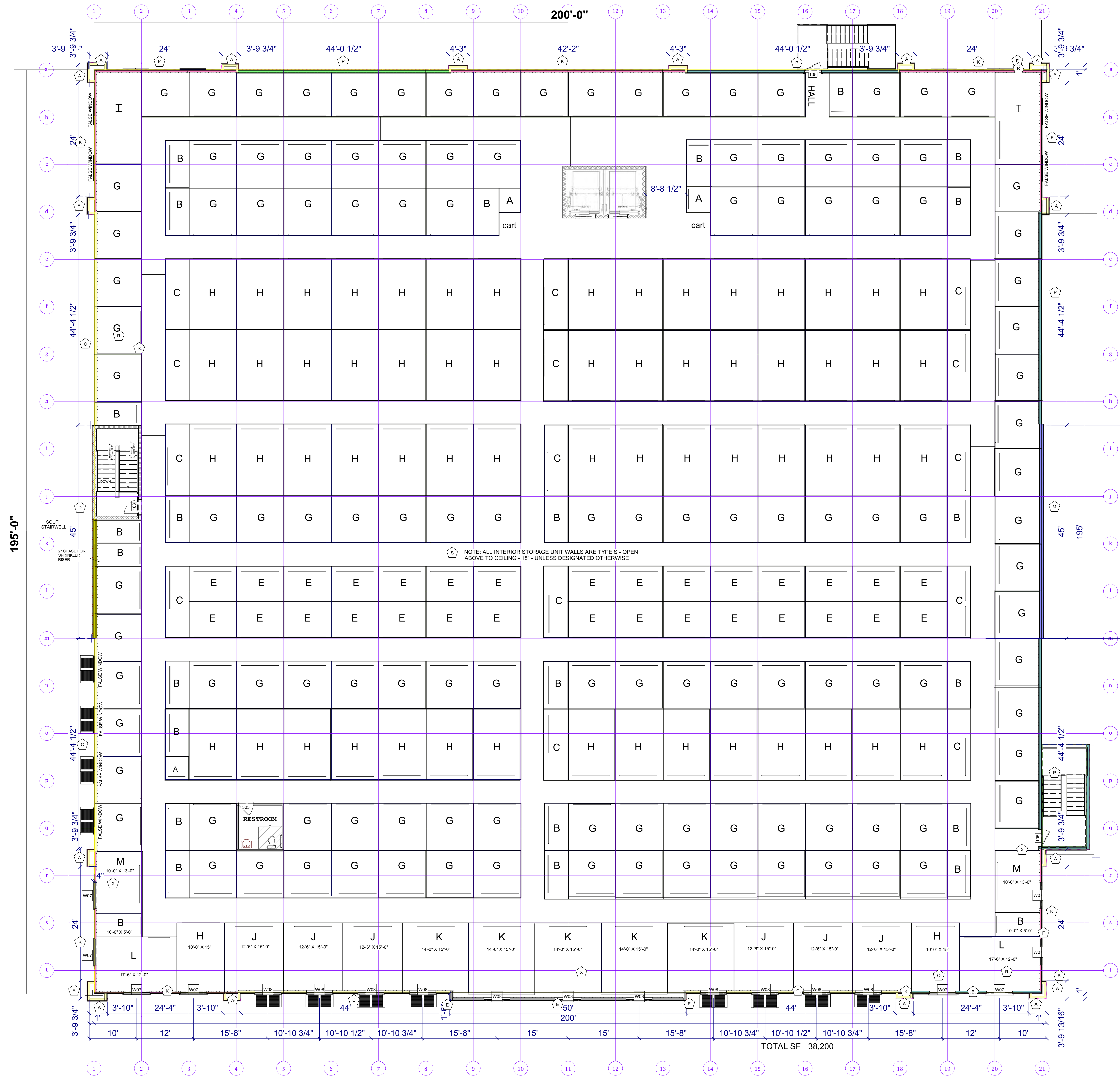
TITLE:  
**THIRD FLOOR PLAN**

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DATE:  
**02-19-2024**

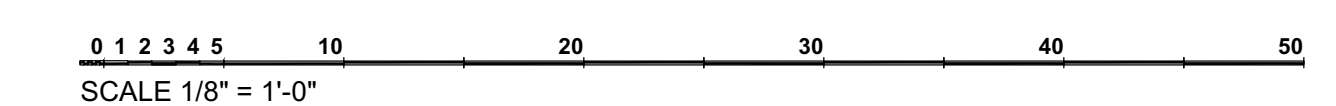
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**21-06**

**A1.3**



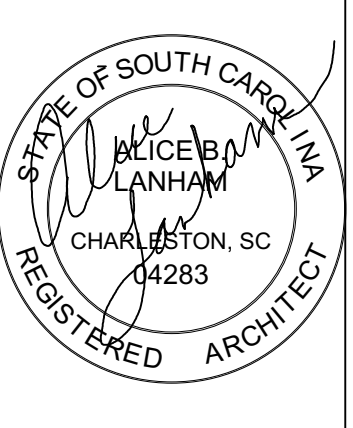
**THIRD FLOOR PLAN**  
 Scale 1/8" = 1'

Scale 1/8" = 1' (36 X 48)  
 Scale 1/16" = 1' (18 X 24)



Alice B. Lanham Architect  
 2978 Cane Slash Road  
 Johns Island, S.C. 29455  
 843-795-8735

**ABL**



NO.	DESCRIPTION	BY	DATE
01	ELEVATION REVISION REVIEW	AK	10-28-2021
02	DESIGN REVIEW REVISION	AK	12-10-2021
03	WINDOW ORDER REVIEW SET	AK	04-11-2022
05	REVIEW SET	AK	08-24-2022
06	DESIGN REVIEW SET	AK	02-19-2024

OWNER:  
**WELCH DEVELOPMENT, LLC**  
 1260 BEES FERRY RD  
 CHARLESTON, SC 29414

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
 451 COMET CREEK LANE  
 SUMMERVILLE, SC 29486

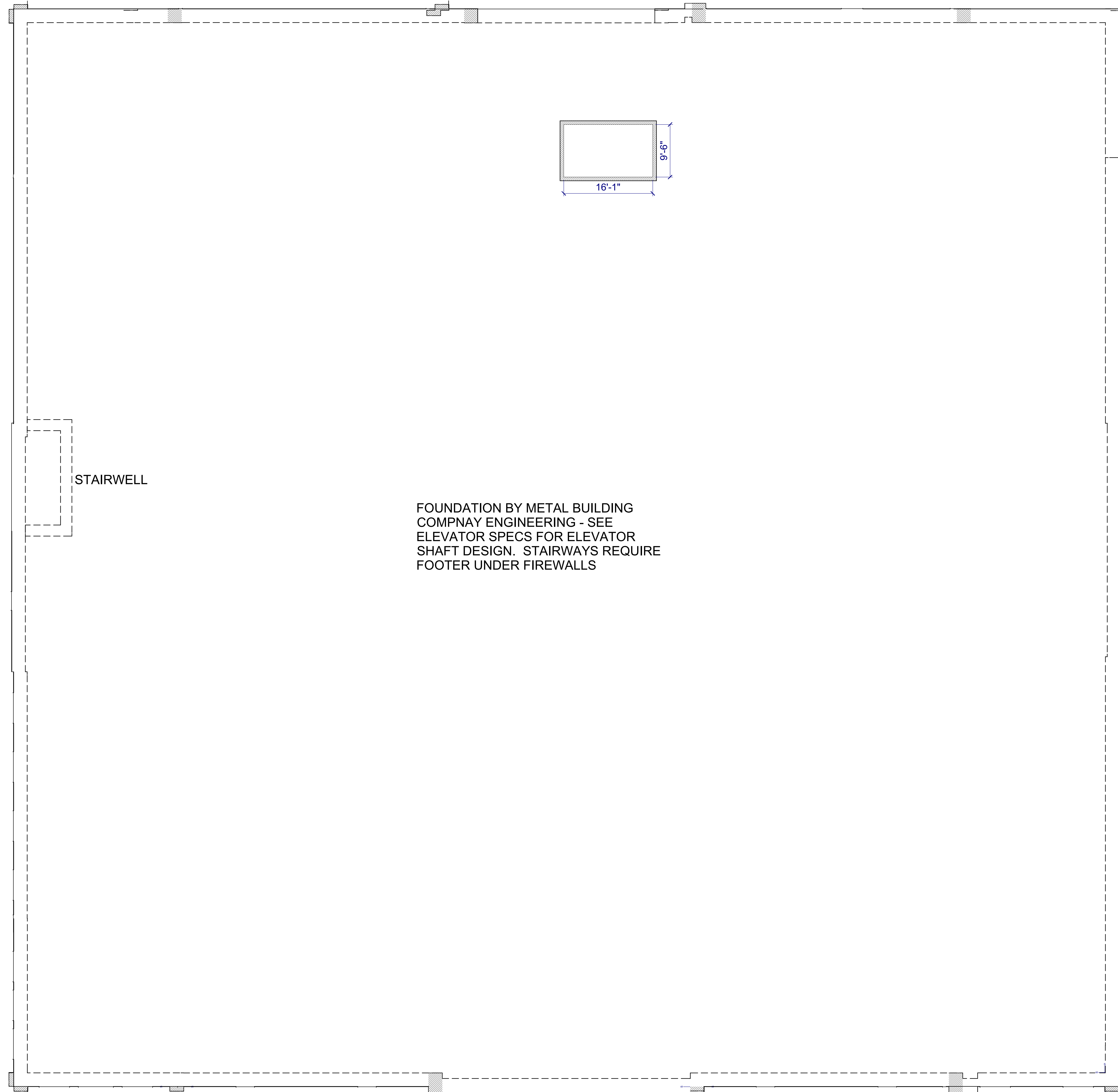
TITLE:  
**FOUNDATION PLAN**

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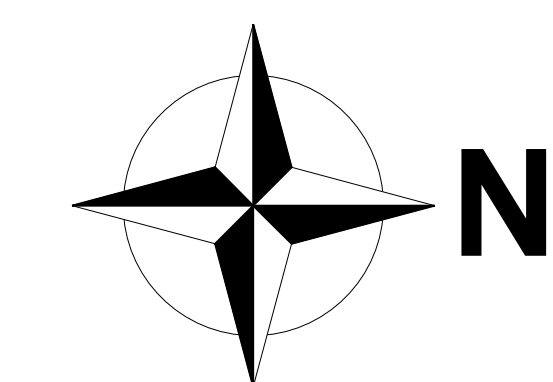
DATE:  
**02-19-2024**

PROJECT NUMBER:  
**21-06**

**A1.4**

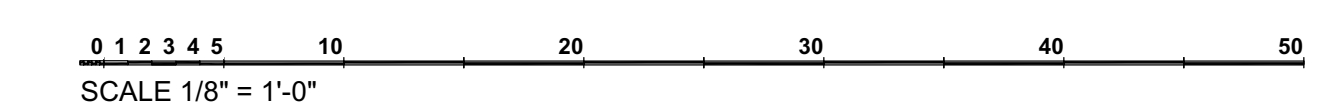


FOUNDATION PROVIDED BY  
 METAL BUILDING COMPANY  
 STRUCTURAL ENGINEER



**FOUNDATION PLAN**  
 Scale 1/8" = 1'  
 Scale 1/16" = 1'

Scale 1/8" = 1' (36 X 48)  
 Scale 1/16" = 1' (18 x 24)



FOUNDATION BY METAL BUILDING  
 COMPANY ENGINEERING - SEE  
 ELEVATOR SPECS FOR ELEVATOR  
 SHAFT DESIGN. STAIRWAYS REQUIRE  
 FOOTER UNDER FIREWALLS

STAIRWELL

NO.	DESCRIPTION	BY	DATE
01	ELEVATION REVISION REVIEW	JAK	10-28-2021
02	DESIGN REVIEW REVISION	JAK	12-08-2021
03	WINDOW ORDER REVIEW SET	JAK	04-11-2022
05	REVIEW SET	AK	08-24-2022
06	DESIGN REVIEW SET	AK	02-19-2024

OWNER:  
**WELCH DEVELOPMENT, LLC**  
 1260 BEES FERRY RD  
 CHARLESTON, SC 29414

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
 451 COMET CREEK LANE  
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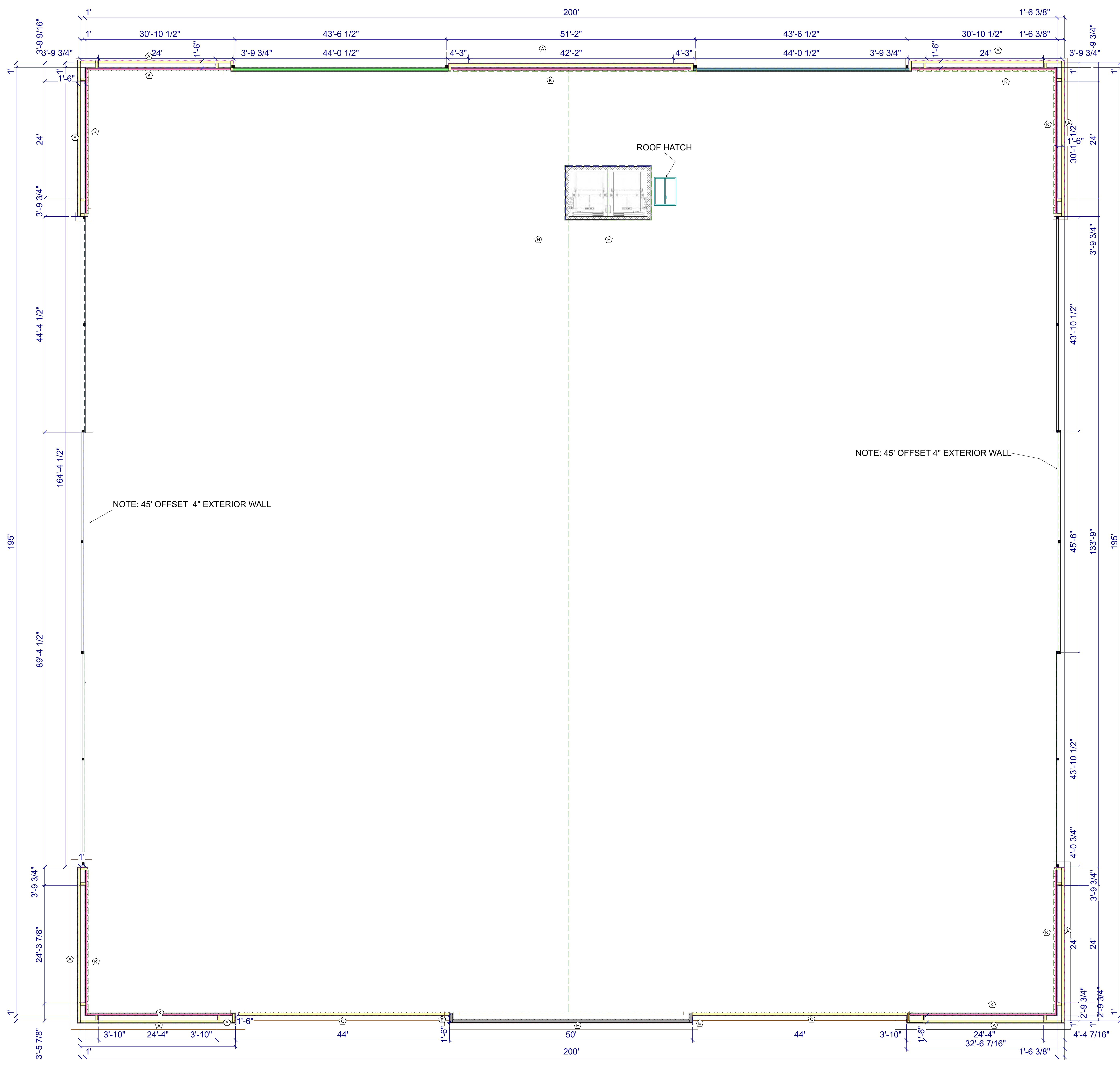
TITLE:  
**ROOF PLAN**

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DATE:  
**02-19-2024**

PROJECT NUMBER:  
**21-06**

**A1.5**



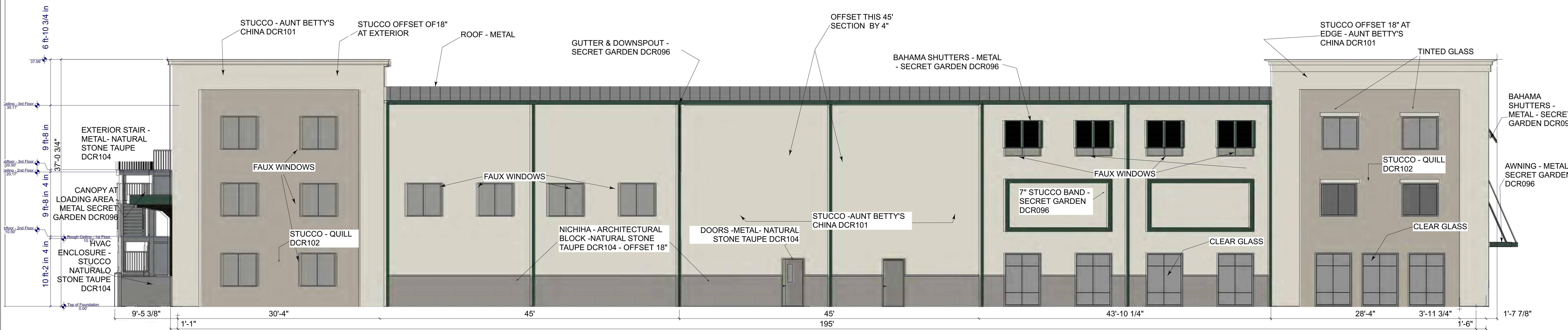
**ROOF PLAN**  
 Scale 1/8" = 1'

Scale 1/8" = 1' (36 X 48)  
 Scale 1/16" = 1' (18 X 24)

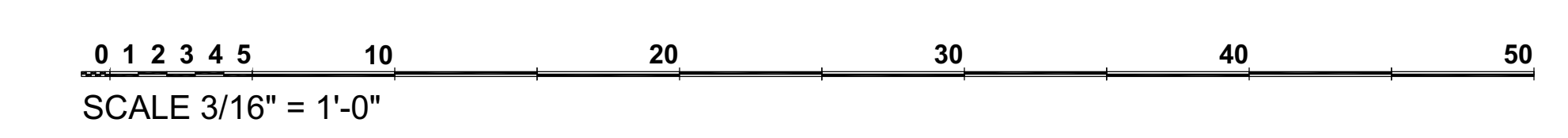




**EAST ELEVATION**  
Scale 3/16" = 1'

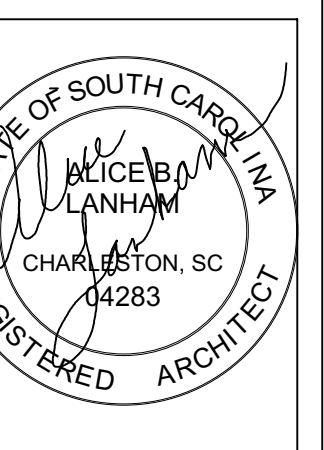


**SOUTH ELEVATION**  
Scale 3/16" = 1'



Alice B. Lanham Architect  
2978 Cane Slash Road  
Johns Island, S.C. 29455  
843-795-8735

**ABL**



NO.	DESCRIPTION	BY	DATE
01	ELEVATION REVISION REVIEW	JAK	10-26-2021
02	DESIGN REVIEW REVISION	JAK	12-01-2021
03	WINDOW DOOR REVISION SET	JAK	04-11-2022
04	REVISION SET	JAK	08-24-2022
05	DESIGN REVIEW SET	JAK	02-19-2024

OWNER:  
**WELCH DEVELOPMENT, LLC**  
1260 BEES FERRY RD  
CHARLESTON, SC 29414

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
451 COMET CREEK LANE  
SUMMERVILLE, SC 29486

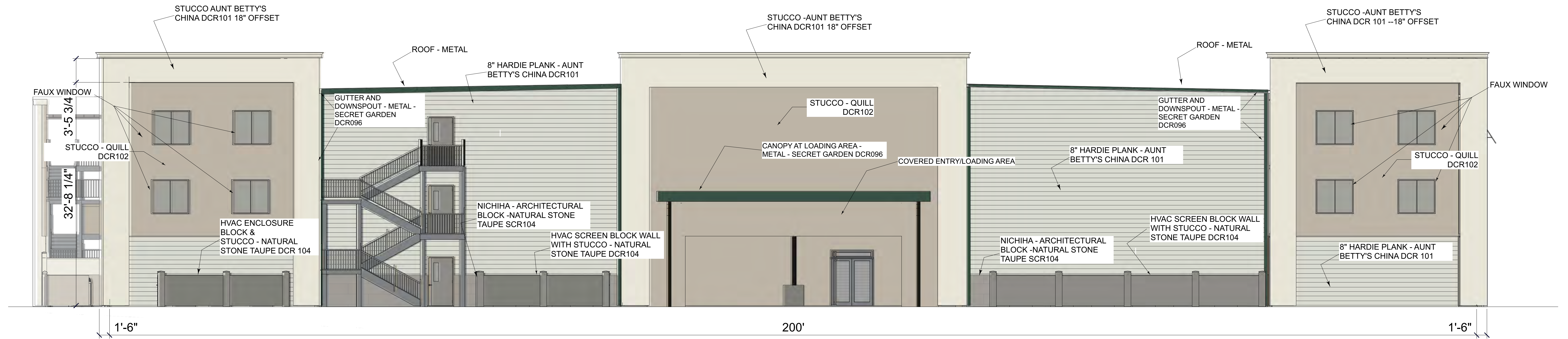
TITLE:  
**FRONT & LEFT ELEVATION**

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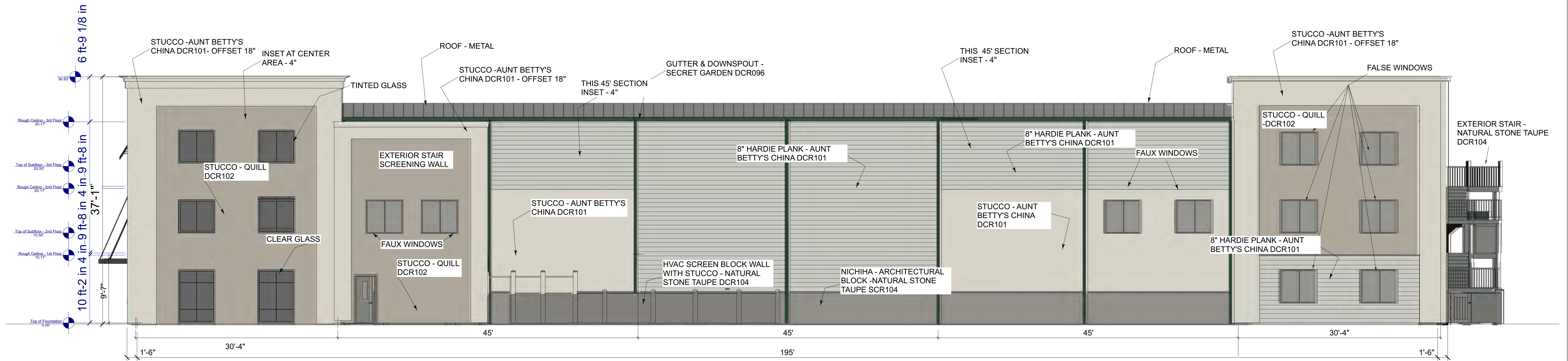
DATE:  
**02-19-2024**

PROJECT NUMBER:  
**21-06**

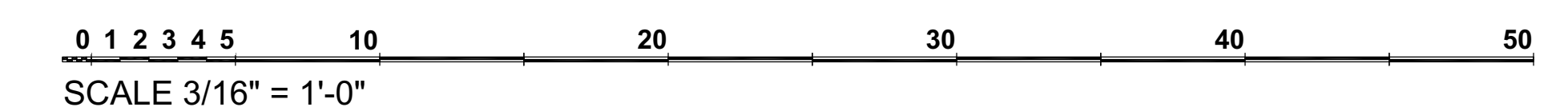
**A2.1**



**WEST ELEVATION**  
Scale 3/16" = 1'

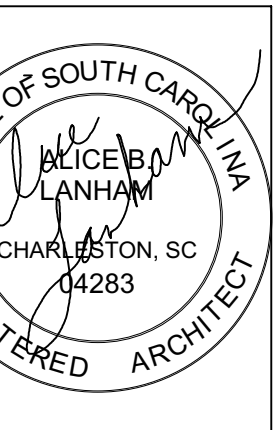


**NORTH ELEVATION**  
Scale 3/16" = 1'



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Johns Island, S.C. 29455  
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**ABL**



NO.	DESCRIPTION	BY	DATE
01	ELEVATION REVIEW	AK	10-26-2021
02	REVISION REVIEW	AK	12-03-2021
03	WINDOW ORDER REVIEW SET	AK	04-11-2022
04	REVIEW SET	AK	08-24-2022
05	DESIGN REVIEW SET	AK	02-19-2024

OWNER:  
**WELCH DEVELOPMENT, LLC**  
1260 BEES FERRY RD  
CHARLESTON, SC 29414

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
451 COMET CREEK LANE  
SUMMERVILLE, SC 29486

TITLE:  
**REAR & RIGHT ELEVATION**

DATE:  
**02-19-2024**

PROJECT NUMBER:  
**21-06**

**A2.2**

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PACK RAT SELF STORAGE  
COLOR PALETTE—FROM COLORS OF  
HISTORIC CHARLESTON



AUNT BETTY'S CHINA DCR101 NRH:  
Stucco—Hardiplank



QUILL DCR102:  
Stucco



NATURAL STONE TAUPE DCR104:  
Stucco—Nichiha Architectural Block—  
Exterior Doors & Stairs



SECRET GARDEN DCR096:  
Stucco—Metal Shutters—Metal Awn-  
ings



HITCHING POST BLACK DCR108:  
Fencing—Store Front Windows &  
Doors