



**CREEK  
COMPASS**  
City of Goose Creek

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# **ARCHITECTURAL REVIEW BOARD**

November 21, 2022

Regular Meeting 6:00PM

**City Hall Council Chambers**

519 N. Goose Creek Blvd

Goose Creek, SC 29445



**TO:** MEMBERS OF THE ARCHITECTURAL REVIEW BOARD

**FROM:** LILI ORTIZ-LUDLUM, ADMINISTRATIVE ASSISTANT

**DATE:** NOVEMBER 17, 2022

**SUBJECT:** NOTIFICATION OF ARCHITECTURAL REVIEW BOARD

This is to remind everyone that the next meeting of the ARB is scheduled for Monday, November 21, 2022, at 6:00 p.m. This meeting will take place at City Hall in Council Chambers.

Should you have any questions or comments prior to the meeting, please do not hesitate to contact the Planning Department at 843-797-6220 or via e-mail at [planning-zoning@cityofgoosecreek.com](mailto:planning-zoning@cityofgoosecreek.com).



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# MINUTES

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**MINUTES  
CITY OF GOOSE CREEK  
ARCHITECTURAL REVIEW BOARD MEETING  
MONDAY, OCTOBER 17, 2022, 6:00 P.M.  
MARGUERITE H. BROWN MUNICIPAL CENTER  
519 N. GOOSE CREEK BOULEVARD**

**I. CALL TO ORDER AND ROLL CALL**

Chairperson Wise called the meeting to order at 6:00 p.m., and Mrs. Moneer initiated roll call.

**Present:** Doug Dickerson; Armando Solarana; Robert Smith; Mary Kay Soto; Terri Victor; Jen Wise

**Absent:** Jordan Pace

**Staff Present:** Planning and Zoning Director Kendra Wise; Assistant to City Administrator Alexis Kiser

**II. APPROVAL OF MINUTES - SEPTEMBER 19, 2022**

**Motion:** A motion was made to approve the minutes as submitted. **Moved by** Board Member Smith, **Seconded by** Board Member Victor.

**Discussion:** None.

**Vote:** All voted in favor (6-0). Motion carried.

**III. NEW BUSINESS**

**A. 2022-064PT: BOJANGLES: 431 ST. JAMES BLVD-EXTERIOR PAINT**

The applicant presented the application. He stated they are de-branding the Bojangles. The applicant stated the job had started, but they were issued a stop work order as they did not get prior approval for the color change.

**Motion:** A motion was made to approve the application contingent that the applicant corrects the blue overspray on the building. **Moved by** Board Member Smith, **Seconded by** Board Member Soto.

**Discussion:** None.

**Vote:** All voted in favor (6-0). Motion carried.



**B. 2022-065NBLD: BRICKHOPE SELF STORAGE: HENRY E. BROWN JR. BLVD-NEW BUILD**

The applicant presented the application. He stated this site was previously approved by the ARB a year and a half ago for a smaller building. He stated not much has changed from that approval application other than the building. He stated it is an eight-acre site at the end of Henry J. Brown Jr. Boulevard, and it is part of the Brickhope Planned Development (PD) in the commercial district. He stated a 200-foot electrical easement which dictated the placement of the building makes this site challenging. He presented the building plan, materials, and landscape plan. The applicant answered questions from the board. The board shared concerns pertaining to the elevation facing the powerlines as it has the potential to be a sight line in the future. The board shared concerns as the ordinance says that you must have a common point of entry for storage facilities and that is not present on the plans and suggested working with staff. Staff asked the board for feedback pertaining to a fountain, flagpole or rod iron fence feature. The board stated they were interested in a fountain or flagpole.

**Motion:** A motion was made to have the applicant work with City staff to address the side elevation facing the power lines and the back of the building to address the roll up doors. **Moved by** Board Member Smith, **Seconded by** Board Member Solarana.

**Discussion:** None.

**Vote:** All voted in favor (6-0). Motion carried.

**C. 2022-066NBLD: STEINBERG OFFICE BUILDING: 211 S. GOOSE CREEK BLVD – NEW BUILD**

The applicant presented the application. He stated this site has been previously approved by the ARB. He stated the architectural elements have remained the same and the only change he is proposing is the building location as the applicant has recently acquired 0.12 acres of a SCDOT right-of-way. The proposal is to move the building 10 feet closer to the road to have a better street presence. The applicant answered questions from the board.

**Motion:** A motion was made to approve the application as submitted. **Moved by** Board Member Victor, **Seconded by** Board Member Smith.

**Discussion:** None.

**Vote:** All voted in favor (6-0). Motion carried.

**IV. OTHER BUSINESS**

**A. DESIGN GUIDELINES TRAINING – TOWNHOME DISTRICT (R-4) AND MULTIFAMILY DISTRICT (R-5)**

Ms. Kiser stated earlier this year an ordinance passed which included two new zoning districts and presented binders to the board with the new ordinance and guidelines. She presented a power point presentation pertaining to these guidelines. She answered questions from the board. Mr. Cook stated the zoning ordinance is being redone.

**V. CLOSING REMARKS & ADJOURNMENT**

Mrs. Wise stated she sent out an email for mandatory training for Boards and Commission.

**Motion:** A motion was made to adjourn (7:35 p.m.) **Moved By:** Board Member Smith, **Seconded By:** Board Member Victor.

**Discussion:** There was none.

**Vote:** All voted in favor (6-0). Motion carried.

\_\_\_\_\_ Date \_\_\_\_\_  
Jen Wise, Chairperson



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2022-067RENO  
CROWFIELD CLUBHOUSE

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## MEMORANDUM

**TO:** City of Goose Creek Architectural Review Board  
**FROM:** Alexis Kiser, Assistant to City Administrator  
**RE:** Crowfield Golf Clubhouse Improvements 300 Hamlet Circle (TMS# 243-00-00-049)  
**DATE:** 10/24/2022

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Staff has reviewed the submittal to the Architectural Review Board (ARB) and offers the following commentary:

### General Conformance Analysis

1. The applicant is proposing several changes to the façade of Crowfield Clubhouse to improve the architectural character of the building. The goals of the renovation are laid out on page 4 of the applicant's supporting documents package.
2. This parcel is currently zoned Conservation Open Space (CO) and it is owned and operated by the City of Goose Creek.
3. The applicant has submitted design plans to Crowfield ARB and has received approval.
4. All standards by zone appear to be met.

### Architectural Review Design Guidelines Analysis

#### Site design

The applicant is proposing the demolition and removal of approximately 6,944 SF of existing landscaping and concrete at the back of the Clubhouse to construct a covered pavilion (approximately 1500SF), which will be connected to the Clubhouse via breezeway, an outdoor patio area, and the relocation of the putting green. The newly renovated area will be landscaped appropriately, which can be found on page L01 of the supporting documents. The surrounding area of the project will also receive updated landscaping.

#### Architectural theme

The applicant has used existing, surrounding residential dwellings to provide architectural context to the proposed changes to the clubhouse. The architectural theme for the renovation is "lowcountry cottage" which is described on page 5 of the applicant's supporting documents and includes images that inspired the design and provide context to the theme. The renovation will focus on using natural materials, simple forms, and a muted color palette.

#### Architectural interest

The overall architectural interest of the existing building will be elevated as the columns on the front elevation of the building will be removed as they are not structural. A new roof entry will be added which will articulate the entry of the building. Additionally, the remaining large, concrete columns will receive a modern treatment by wrapping them to appear as "quad-columns". The height of the fascia will be reduced by extending the roof. This will provide more visual interest where the roof line meets the columns. The new covered pavilion will feature exposed wood trusses. Both structures will feature a new color scheme that will blend better with the natural and built environment.



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### Building design

The proposed redesign of the structure will more closely match the scale and proportion with existing buildings and structures. The mix of materials used to articulate the front entrance, the removal of the two columns, and the screening of outdoor service/utility areas will improve the site line of the front elevation. The new covered pavilion will be proportional to the existing building.

### Site Elements

All service and utility areas will be screen appropriately as indicated on the elevations provided in the supporting documents.

### **Staff Recommendation**

The applicant's proposed renovations to the existing structure, the proposed new structure and breezeway, and the new landscaping will improve the current built environment of area by reflecting neighboring residential construction. The architectural theme is more fitting for the use of the building and is common in this geographical area.

Staff asks that the Architectural Review Board approve the application as submitted.



**ARB SCOPE OF WORK FORM/**

**APPLICATION / INFORMATION SUMMARY**

**DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118**

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

<b>Property Address:</b>		TMS No.: 243-00-00-049
<b>Review request:</b>	<b>For:</b>	<b>Preliminary meeting date requested:</b>
<input checked="" type="checkbox"/> Preliminary	<input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	

Property Owner: City of Goose Creek	Daytime phone: 843-797-6220 EXT. 1115	
Applicant: The Middleton Group	Daytime phone: 843-302-0632 EXT. 107	
ARB Meeting Representative: Eric Meckley	Contact Information : 843-302-0632 EXT. 107 eric@themiddletongroup.net	
Applicant's mailing address: 4289 Spruill Avenue, Suite 100		
City: North Charleston	State: SC	Zip: 29405
Applicant's e-mail address: eric@themiddletongroup.net		
Applicant's relationship:	<input type="checkbox"/> Owner <input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

<b>Materials/Colors Used:</b> <i>(specific color(s)/manufacture #'s listed: samples must be presented to Board <input type="checkbox"/> attached)</i> <i>(Example: Building Materials, Exterior Colors, Landscaping, Lighting)</i>
<b>EXTERIOR CLADDING</b> - JAMES HARDIE HARDIEBOARD LAP SIDING (PAINTED SW- WESTHIGHLAND WHITE)
<b>EXTERIOR TRIM</b> - P.T. WOOD TRIM (PAINTED SW- WESTHIGHLAND WHITE)
<b>PATIO MATERIALS</b> - OYSTER TABBY CONCRETE W/ BRICK SOLDIER BORDER (BELDEN BELCREST 600)
<b>ROOFING</b> - GAF SLATELINE SERIES ARCH. SHINGLE ROOF (ENGLISH GRAY)
<b>Scope of Work:</b> <i>(please give a detailed description)</i>
THE CONSTRUCTION OF A NEW GABLE ROOF ADDITION OVER THE FRONT PORCH AND STAGE AREAS, CONSTRUCTION OF NEW KITCHEN AND DINING ROOM ADDITION, CONSTRUCTION OF A NEW OUTDOOR BAR PAVILION & PATIO AREA, AND THE ALTERATION THE EXISTING ROOF FASCIA.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature: E. Meckley Date: 10.18.2022

Print name legibly: Eric Meckley



# Crowfield Golf Clubhouse Improvements

300 Hamlet Circle  
Goose Creek, SC 29445



## AERIAL PHOTO



## ADDITIONAL ZONING INFORMATION

ZONING CLASSIFICATION: CO - CONSERVATION OPEN SPACE

LOT SIZE REQUIREMENTS  
MIN. SITE AREA: VARIABLE  
MIN. LOT WIDTH: VARIABLE  
MIN. LOT DEPTH: VARIABLE

SETBACK / BUILDING REQUIREMENTS  
MIN. FRONT SETBACK: SITE DEPENDANT  
MIN. SIDE SETBACK: SITE DEPENDANT  
MIN. REAR SETBACK: SITE DEPENDANT  
MAX. HEIGHT / STORES: 28 FT / 2.5 STORES  
MAX. LOT COVERAGE: 30%

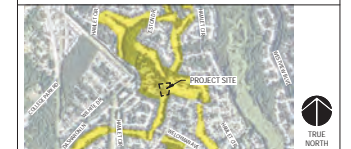
## ADDITIONAL ARB INFORMATION

THIS PROJECT ALSO FALLS WITHIN THE CROWFIELD HOA ARB JURISDICTION. DRAWINGS HAVE BEEN SUBMITTED FOR THEIR APPROVAL ON 10/13 AND WE EXPECT COMMENTS AFTER THEIR REVIEW ON 10/17.

## GENERAL INFORMATION

DESCRIPTION	THE CONSTRUCTION OF A NEW GABLE ROOF ADDITION OVER THE FRONT PORCH AND STAGE AREAS, CONSTRUCTION OF NEW KITCHEN AND DINING ROOM ADDITION, CONSTRUCTION OF A NEW OUTDOOR BAR PAVILION & PATIO AREA, AND THE ALTERATION TO THE EXISTING ROOF FRASCA.
OCCUPANCY CLASSIFICATION (IBC 903.2)	NON SEPARATED MIXED USE - B (BUSINESS) / A-2 (RESTAURANT)
SPRINKLER SYSTEM (IBC 903.3)	NON SPRINKLERED
BUILDING AREA	9101 SF (GROSS CONDITIONED)
NUMBER OF STORES	1 STORY
CONSTRUCTION TYPE (IBC 602)	I/A
SEISMIC DESIGN CATEGORY	D - REFER TO STRUCTURAL
ZONING	CO - CONSERVATION OPEN SPACE
FLOOR JOINT	1 FLOOR PANEL (4070/2200)
FIRE ALARM (IBC 903.2)	REFER TO ELECTRICAL
IBC CLASSIFICATION OF WORK	ADDITION

## VICINITY MAP



## SHEET LIST

01	TITLE SHEET
02	VICINITY MAP & ARCHITECTURAL CONTEXT
03	SITE SURVEY
04	EXISTING CONDITIONS
05	DESIGN CONCEPT & INSPIRATION
06	CIVIL DEMOLITION PLAN
07	CIVIL SITE PLAN
08	LANDSCAPE PLAN
09	PLANTING SCHEDULE, DETAILS, AND NOTES
10	OVERALL FLOOR PLAN
11	FLOOR PLANS - ENTRY, KITCHEN, STAGE
12	FLOOR PLANS - DINING, PAVILION
13	ELEVATIONS
14	ELEVATIONS
15	BUILDING SECTIONS
16	BUILDING SECTIONS
17	EXTERIOR MATERIALS
18	RENDERING
19	RENDERING
20	RENDERING
21	RENDERING

## PROJECT TEAM

<b>OWNER</b>	THE CITY OF GOOSE CREEK 519 NORTH GOOSE CREEK BLVD GOOSE CREEK, SC 29405 843.797.6220
<b>ARCHITECT</b>	THE MIDDLETON GROUP 4209 SPRUILLE AVE, SUITE 100 NORTH CHARLESTON, SC 29405 843.302.0832
<b>CIVIL ENGINEER</b>	BARRIER ISLAND ENGINEERING & CONSULTING 759 FOLLY ROAD, UNIT C CHARLESTON, SC 29412 843.497.0411
<b>LANDSCAPE ARCHITECT</b>	OUTDOOR SPATIAL DESIGN 1000 E MONTAGUE AVE, SUITE 315 NORTH CHARLESTON, SC 29405 843.733.3325
<b>STRUCTURAL ENGINEER</b>	CRANSTON ENGINEERING GROUP 741 JOHNNY DODDS BOULEVARD, SUITE 100 MOUNT PLEASANT, SC 29664 843.582.7770
<b>MEP ENGINEER</b>	SHROUT TATE WILSON CONSULTING ENGINEERS 4900 O'HEAR AVE, SUITE 100 NORTH CHARLESTON, SC 29405 843.796.0800



## CROWFIELD GOLF CLUBHOUSE

300 HAMLET CIRCLE  
GOOSE CREEK, SC 29445

**TITLE SHEET / 01**  
GOOSE CREEK ARB SUBMISSION (10.18.2022)





VICINITY MAP (PROPERTY EXTENTS HIGHLIGHTED)



1. SPALDING CIRCLE RESIDENCE



2. WAVENER CIRCLE RESIDENCE



3. ESTON DRIVE RESIDENCE



4. ESTON DRIVE RESIDENCE



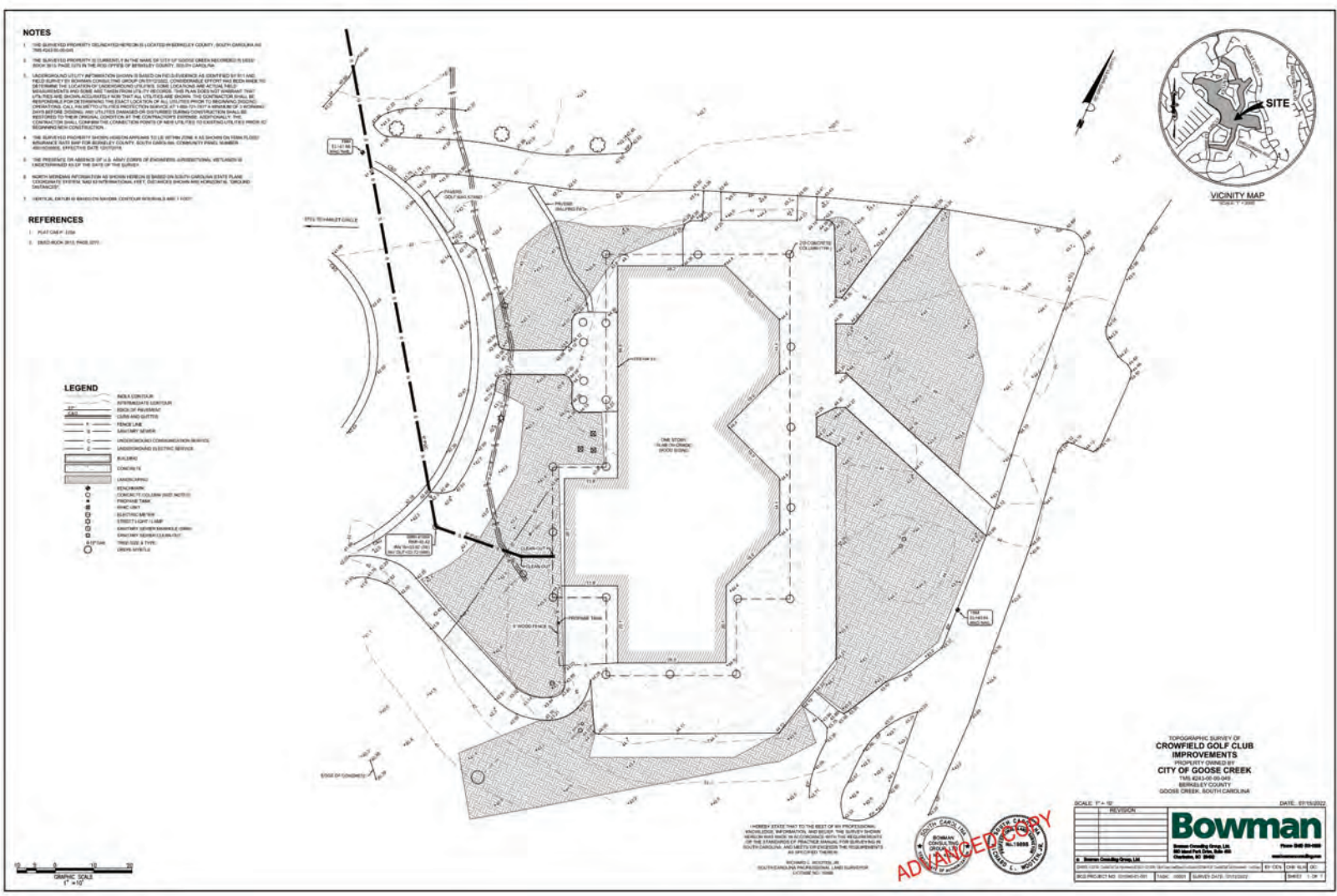
## CROWFIELD GOLF CLUBHOUSE

300 HAMLET CIRCLE  
GOOSE CREEK, SC 29445

## VICINITY MAP & ARCHITECTURAL CONTEXT / 02

GOOSE CREEK ARB SUBMISSION (10.18.2022)





PARTIAL SITE SURVEY



**CROWFIELD GOLF CLUBHOUSE**  
 300 HAMLET CIRCLE  
 GOOSE CREEK, SC 29445

**SITE SURVEY / 03**  
 GOOSE CREEK ARB SUBMISSION (10.18.2022)





EXISTING FRONT (WEST) FACADE



EXISTING SIDE (SOUTH) FACADE



EXISTING SIDE (NORTH) FACADE



EXISTING REAR (EAST) FACADE

**EXISTING CONDITIONS / RENOVATION GOALS**

AFTER REVIEWING THE EXISTING CONDITIONS ON SITE, THE FOLLOWING FEATURES HAVE BEEN IDENTIFIED AS AREAS OF OPPORTUNITY TO IMPROVE THE ARCHITECTURAL CHARACTER OF THE BUILDING.

- THE FRONT ENTRY IS FLANKED BY A COLLECTION OF COLUMNS THAT ARE NOT HOLDING ANYTHING UP. WE PROPOSE REMOVING THESE UNNECESSARY COLUMNS AND ARTICULATE THE ENTRY WITH A NEW ROOF FORM.
- EXISTING LARGE CONCRETE COLUMNS SURROUNDING THE BUILDING ARE OUT OF KEEPING WITH THE RESIDENTIAL NATURE OF THE NEIGHBORHOOD. WE PROPOSE UNSHAPING THE COLUMNS IN TRIM TO GIVE THE APPEARANCE OF QUAD-COLUMNS THAT ARE MORE IN LINE WITH THE INTENDED STYLE OF THE BUILDING.
- THE ROOF FASCIA IS QUITE LARGE AND STOPS SHORT OF THE EDGE OF THE EXISTING COLUMNS. WE PROPOSE EXTENDING THE ROOF TO REDUCE THE HEIGHT OF THE FASCIA.
- WE PROPOSE A NEW PAINT SCHEME FOR THE EXTERIOR OF THE BUILDING AND A NEW ARCHITECTURAL SHINGLE ROOF TO PROVIDE A MORE LOW-COUNTRY FEEL TO THE BUILDING.
- AREAS AROUND THE EXISTING STRUCTURE APPEAR A BIT UNDER LANDSCAPED. WE PROPOSE A NEW PLANTING PLAN TO SCREEN BARE FACADES OF THE BUILDING.



EXISTING REAR SEATING AREA



**CROWFIELD GOLF CLUBHOUSE**

300 HAMLET CIRCLE  
GOOSE CREEK, SC 29445

**EXISTING CONDITIONS / 04**

GOOSE CREEK ARB SUBMISSION (10.18.2022)



**LOWCOUNTRY COTTAGE**

THE DESIGN INSPIRATION OF THIS PROJECT IS DERIVED FROM THE RESIDENTIAL VERNACULAR ARCHITECTURE OF THE LOWCOUNTRY REGION. SIMPLE FORMS, NATURAL MATERIALS, AND A LIMITED COLOR PALETTE ALLOW FOR THE ARCHITECTURE TO NESTLE INTO ITS SURROUNDINGS AND LET VISITORS FOCUS ON THE MANICURED LANDSCAPED GROUNDS OF THE GOLF COURSE.



1. LANDSCAPE DEFINING PATIO SEATING



4. SIMPLE MATERIAL PALETTE DEFINED BY NATURAL ELEMENTS



5. PORCH STRUCTURE & DETAILING BRINGING A SENSE OF SCALE



2. ROOF FORMS DEFINE POINTS OF ENTRY AND IMPORTANCE



3. TABBY CONCRETE PLANTERS



8. TRADITIONAL LOWCOUNTRY DETAILING



6. EXPOSED TIMBER PAVILION FRAMING



7. FABRIC SHADING CANOPY CREATES A PLEASANT DINING EXPERIENCE WHILE GIVING A RESIDENTIAL FEEL



**CROWFIELD GOLF CLUBHOUSE**

300 HAMLET CIRCLE  
GOOSE CREEK, SC 29445

**DESIGN CONCEPT & INSPIRATION / 05**

GOOSE CREEK ARB SUBMISSION (10.18.2022)



843-697-0411  
843-412-9223  
WWW.BARRIERISLANDENG.COM

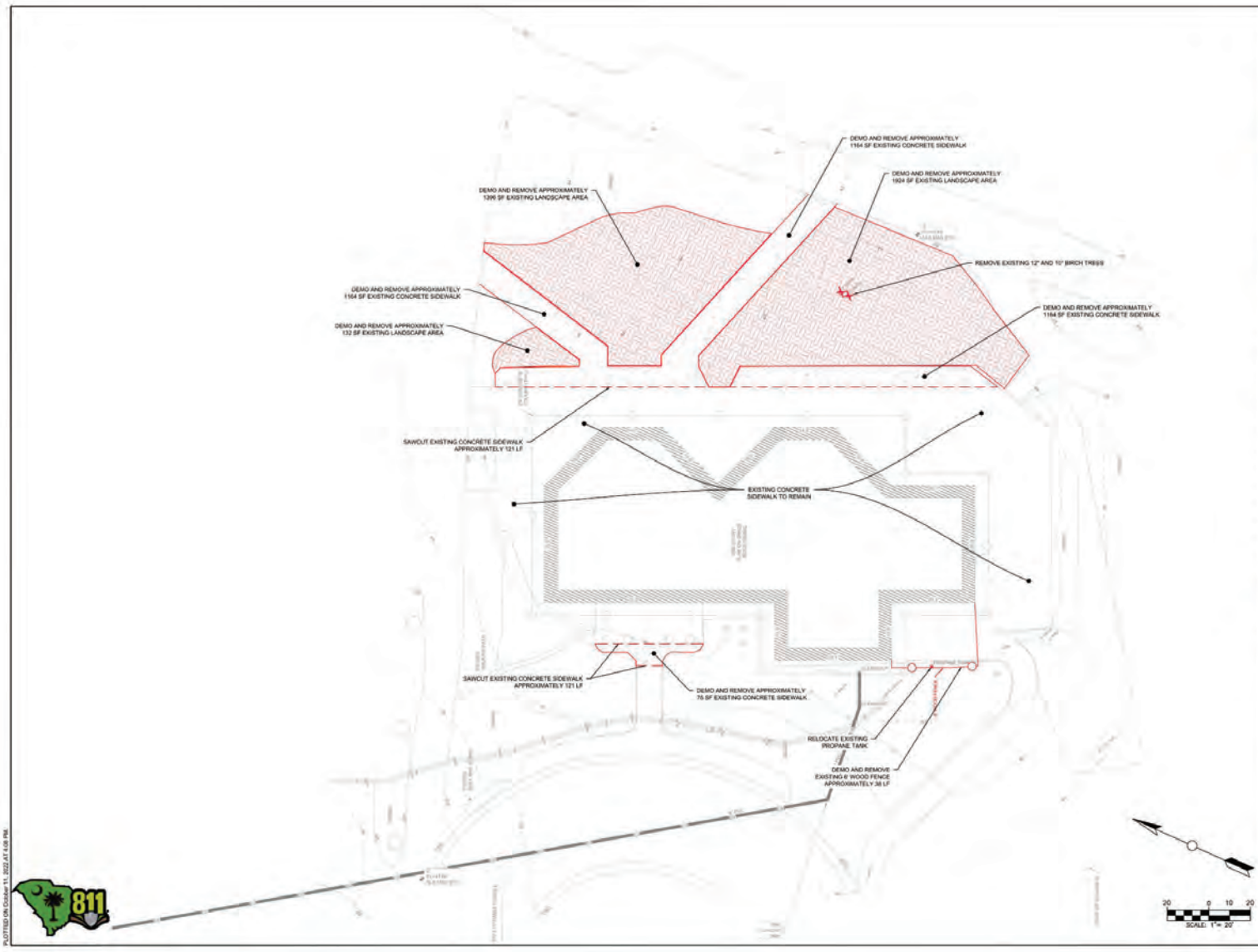
PROJECT #	22-056
DESIGNED BY:	AJB
APPROVED BY:	CBW
DATE:	10/11/2022
REVISION LOG	
DATE:	REASON:



**CROWFIELD GOLF CLUBHOUSE**  
GOOSE CREEK, SC

**DEMOLITION PLAN**

C3.0



**MIG** CROWFIELD GOLF CLUBHOUSE  
300 HAMLET CIRCLE  
GOOSE CREEK, SC 29445

**CIVIL DEMOLITION PLAN / 06**  
GOOSE CREEK ARB SUBMISSION (10.18.2022)

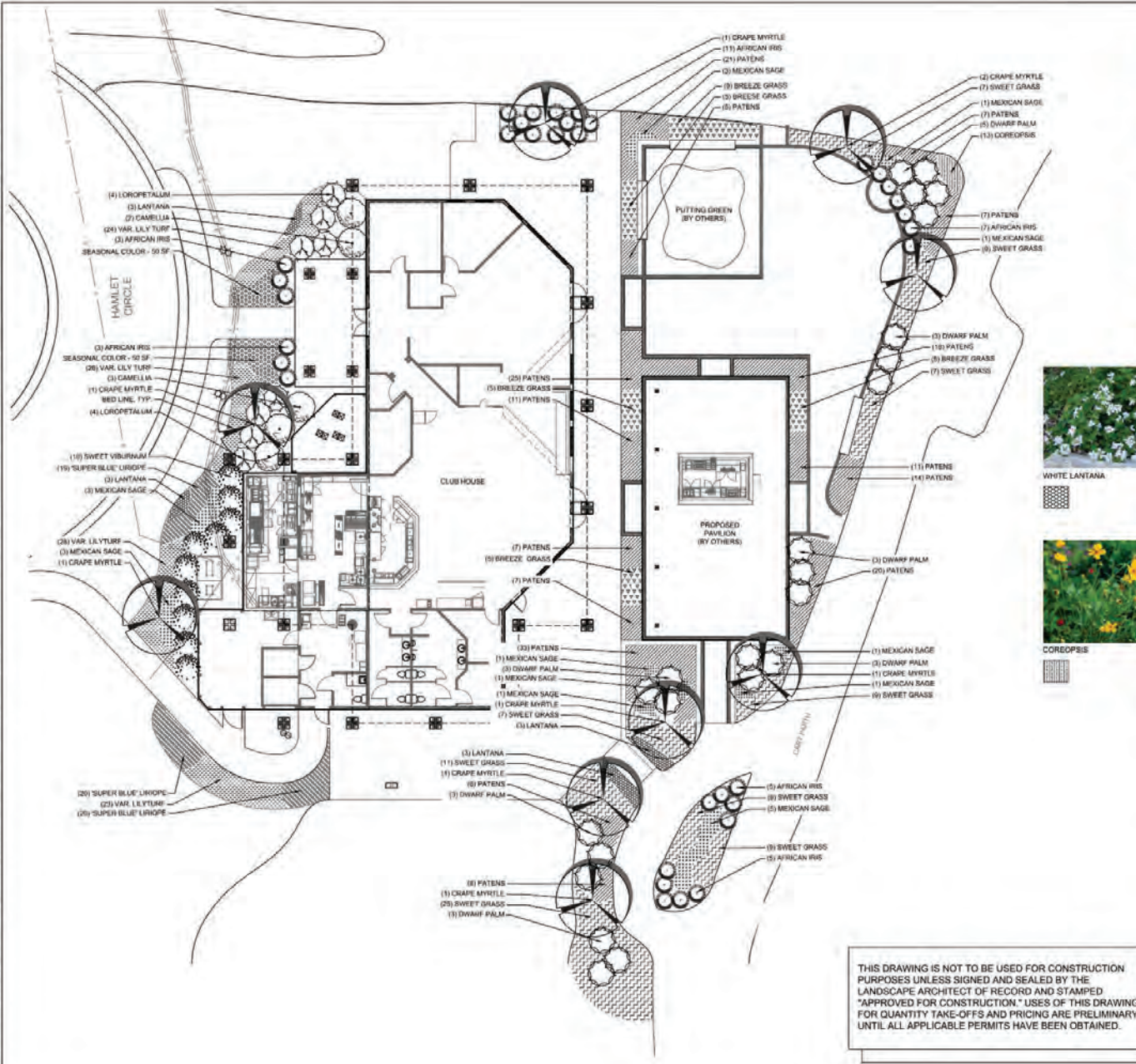
10/17/2022 4:58:00 PM







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NATCHEZ CRAPE MYRTLE      SWEET VIBURNUM      DARUMA LOROPETALUM



MEXICAN SAGE      AFRICAN IRIS      SWEET GRASS



WHITE LANTANA      DWARF PALM      CAMELLIA YULETIDE      VARIEGATED LILYTURF



COREOPSIS      BREEZE GRASS      PATENS      SUPER BLUE LIRIOPE



1060 E. Montague Ave.  
Suite 315  
N. Charleston SC, 29405  
843.733.3325



**CROWFIELD GOLF  
CLUBHOUSE**  
300 HAMLET CIRCLE  
GOOSE CREEK, SC 29445

**GENERAL NOTES:**

- CONTRACTOR TO STAKE SITE ELEMENTS IN THE FIELD FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO CONSTRUCTION.
- WORKMANSHIP SHALL BE GUARANTEED BY CONTRACTOR FOR A MINIMUM OF ONE YEAR FROM DATE OF FINAL AND OWNERS ACCEPTANCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

**IRRIGATION NOTES:**

- ALL PLANT BEDS SHALL BE IRRIGATED.
- IRRIGATION SHALL BE INCLUDED IN THE CONTRACTORS BASE BID.
- CONTRACTOR TO COORDINATE WITH THE OWNER FOR LOCATION AND POWER SOURCE FOR IRRIGATION CLOCK, AND WATER SOURCE. CONTRACTOR TO TIE IN AND MODIFY THE EXISTING IRRIGATION AS NEEDED.
- ALL PLANT BEDS SHALL RECEIVE IN-LINE DRIP IRRIGATION SPACED NO GREATER THAN 24" APART, AND ALL SOODED AREAS SHALL RECEIVE OVERHEAD SPRAY IRRIGATION.
- SPRAY IRRIGATION SHALL NOT BE CAST ONTO ANY HARDSCAPE AND/OR VERTICAL ELEMENTS.
- CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR TEMPORARY IRRIGATION SYSTEM SERVICES, PERMITS AND FEES AS NEEDED.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT OF RECORD AND STAMPED "APPROVED FOR CONSTRUCTION." USES OF THIS DRAWING FOR QUANTITY TAKE-OFFS AND PRICING ARE PRELIMINARY UNTIL ALL APPLICABLE PERMITS HAVE BEEN OBTAINED.



REVISIONS	DATES
ARB REVIEW	10/13/22

DRAWN BY: JGK  
REVISED BY: JGK  
CHECKED BY: MLF

**L01**  
PLANTING  
PLAN



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**GENERAL LANDSCAPE NOTES:**

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS, AND REVIEW PROPOSED PLANTINGS AND RELATED WORK PRIOR TO SUBMITTING BID.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO CHECK THE QUALITY AND LOCATION OF ALL PLANT MATERIAL PRIOR TO PLANT INSTALLATION.
- IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES, CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS. CONTRACTOR TO VERIFY ALL PLANT COUNTS PRIOR TO BIDDING.
- LANDSCAPE CONTRACTOR TO COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
- WHERE EXISTING TREES AND/OR SIGNIFICANT SHRUB MASSINGS ARE FOUND ON SITE, WHETHER SHOWN ON THE DRAWINGS OR NOT, THEY SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED AND/OR ARE IN AN AREA TO BE GRADED. ANY QUESTIONS REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- ALL EXISTING TREES TO REMAIN TO BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD AND DAMAGED OR RUBBING BRANCHES.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF AND GRANTED BY THE LANDSCAPE ARCHITECT BY THE CONTRACTOR PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSEYMAN.
- CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER'S ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
- WARRANTY FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED. LANDSCAPE CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR THE OWNER'S ACCEPTANCE INSPECTION, REMOVE AND REPLACE DEAD PLANT MATERIAL IMMEDIATELY UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON. A LIMIT OF ONE REPLACEMENT OF EACH TREE AND SHRUB WILL BE REQUIRED EXCEPT FOR LOSSES CAUSED BY CONTRACTOR'S ERRORS.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER'S ACCEPTANCE. ACCEPTANCE OF GRADING AND SOO SHALL BE BY LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR SHALL ASSURE MAINTENANCE RESPONSIBILITY UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REPLACEMENT OF WASH-OUTS AND OTHER OPERATIONS NECESSARY TO KEEP MATERIAL IN A THRIVING CONDITION.
- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD AS REQUIRED. CONTACT LANDSCAPE ARCHITECT FOR APPROVAL OF LANDSCAPE MATERIAL PLACEMENT.
- CONTRACTOR TO REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- OWNER OR LANDSCAPE ARCHITECT SHALL INSPECT LANDSCAPE INSTALLATION AND HAVE THE RIGHT TO REJECT AND WITHHOLD PAYMENT ON ANY PLANT MATERIAL(S) OF DAMAGED OR POOR QUALITY NOT MEETING SPECIFICATIONS.
- NO PLANTING TO BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- IF THE CONTRACTOR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS, OR ANY OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT MATERIAL ESTABLISHMENT, SURVIVAL, OR GUARANTEE, THEY SHALL BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PRIOR TO INSTALLATION OF PLANT MATERIAL, CONTRACT SHALL SUBMIT SEVERAL SOIL SAMPLES OF EXISTING SOIL AND ADDITIONAL SOIL BROUGHT ON SITE TO CLEMSON EXTENSION. CONTRACTOR SHALL PROVIDE TEST RESULTS TO LANDSCAPE ARCHITECT AND VERIFY THAT SOIL CONDITIONS ARE OPTIMAL BEFORE ANY PLANT INSTALLATION COMMENCES.
- ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. PLANT MATERIALS ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. REMOVE ALL TWINE, WIRE AND BURLAP FROM TOP 1' OF TREE TRUNKS.
- ONE SHRUB PER TYPE AND SIZE IN EACH PLANTING BED AND EVERY TREE SHALL BE CLEARLY IDENTIFIED (COMMON OR LATIN NOMENCLATURE) WITH A PLASTIC TAG WHICH SHALL NOT BE REMOVED PRIOR TO OWNER ACCEPTANCE.
- SEED AND/OR SOO ALL AREAS DISTURBED DUE TO GRADING AND CONSTRUCTION ACTIVITIES, WHERE SOO/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOO/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC. SOO SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOO SHALL BE STAKED TO THE GROUND.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING AROUND TREES AND SHRUBS. IMMEDIATELY MULCH WITH DOUBLE SHREDDED HARDWOOD MULCH AT A DEPTH OF NO LESS THAN 3 INCHES AND WATER ALL PLANTS AND TREES. COMPLETE WITHIN 18 HOURS OF INSTALLATION.
- TREE PLANTINGS AND BED LINES SHALL BE STAKED BY CONTRACTOR FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR TO INCLUDE IN HIS BASE BID ALL GRADING, PLANTINGS, MULCHING, HOSE BIBS AND IRRIGATION SYSTEM WHICH SHALL BE INTO EXISTING SYSTEM (WHERE APPLICABLE).
- CONTRACTOR TO PROVIDE 3" BEE'S BEST COMPOST OR APPROVED EQUAL TO ALL BEDS AND FINE GRADE TO PROVIDE SMOOTH TRANSITION INTO EXISTING GRADES, GRADE TO PREVENT PONDING.
- IF SEASONAL CONDITIONS NECESSITATE THE NEED FOR CONTAINER GROWN STOCK WHEN BALLED AND BURLAPPED PLANT MATERIAL AS SPECIFIED, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SUBSTITUTION.

**OVERALL PLANT SCHEDULE:**

**TREES**

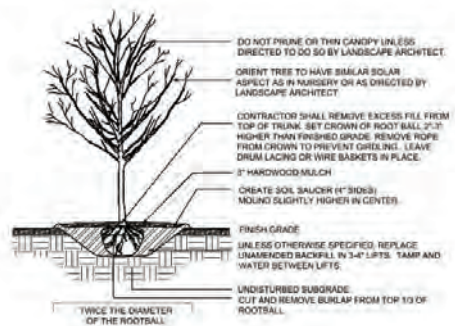
Symbol	Qty	Botanical Name	Common Name	Size	Remarks
	9	Lagerstroemia indica 'Natchez'	'Natchez' Crape Myrtle	16" Ht.	Multi-Stem

**SHRUBS**

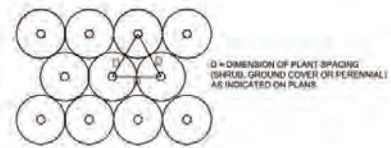
Symbol	Qty	Botanical Name	Common Name	Size	Remarks
	5	Camellia sasanqua 'YuleTide'	Camellia 'YuleTide'	15 gal.	Full, well formed
	10	Viburnum Odoratisimum	Sweet Viburnum	15 gal.	Full, well formed
	23	Sabal minor	Dwarf Palm	7 gal.	Full, well formed
	8	Loropetalum chinense 'Daruma'	'Daruma' Loropetalum	7 gal.	Full, well formed
	34	Dietsa iridifolias	African Iris	1 gal.	Full, well formed
	21	Salvia leucantha	Mexican Sage	3 gal.	Full, well formed

**GROUNDCOVERS, PERENNIALS & GRASSES**

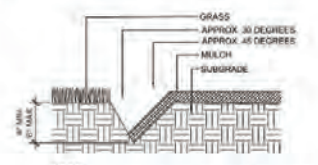
Symbol	Qty	Botanical Name	Common Name	Size	Remarks
	93	Muhlenbergia capillaris	Sweet Grass	3 gal.	Space 36" O.C.
	202	Spartina patens	Patens (Saltmeadow Cordgrass)	1 gal.	Space 24" O.C.
	101	Liriope muscari 'Variegata'	Variegated Lilyturf	1 gal.	Space 24" O.C.
	59	Liriope muscari 'Super Blue'	'Super Blue' Liriope	1 gal.	Space 24" O.C.
	29	Lomandra longifolia	Breeze Grass	1 gal.	Space 36" O.C.
	12	Lantana sellowiana 'Monna'	Lantana 'White Lightnin'	1 gal.	Space 36" O.C.
	13	Coreopsis spp.	Coreopsis (Tickseed)	1 gal.	Space 18" O.C.
	100 SF.	Seasonal Color			



**5 TREE PLANTING DETAIL**  
L02 NOT TO SCALE

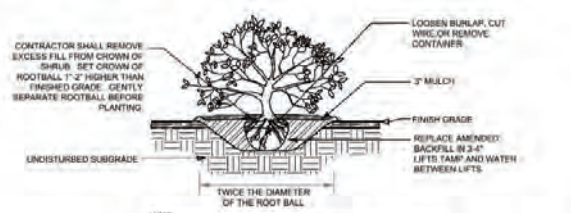


**1 SHRUB / GROUNDCOVER SPACING**  
L02 NOT TO SCALE



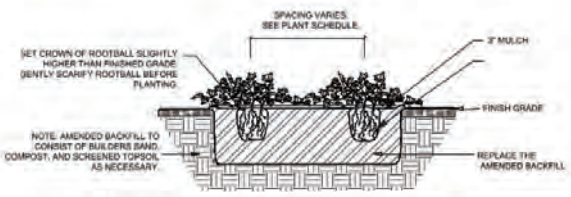
**NOTES:**  
EXCAVATE TRENCH BY HAND WITH SPADE. ADD EXCESS SOIL TO ADJACENT PLANT BED AFTER PULLING EACH EXISTING MULCH. RAKE SOIL AND SMOOTH BEFORE MULCHING.

**2 TRENCH EDGE**  
L02 NOT TO SCALE



**NOTE:**  
1. AMENDED BACKFILL TO CONSIST OF BUILDERS SAND, COMPOST AND SCREENED TOPSOIL AS NECESSARY.  
2. WHERE SHRUBS ARE PLANTED IN BEDS, MULCH TO COVER ENTIRE BED.

**3 SHRUB INSTALLATION**  
L02 NOT TO SCALE



**4 GROUNDCOVER INSTALLATION**  
L02 NOT TO SCALE



1060 E. Montague Ave.  
Suite 315  
N. Charleston SC, 29405  
843.733.3325

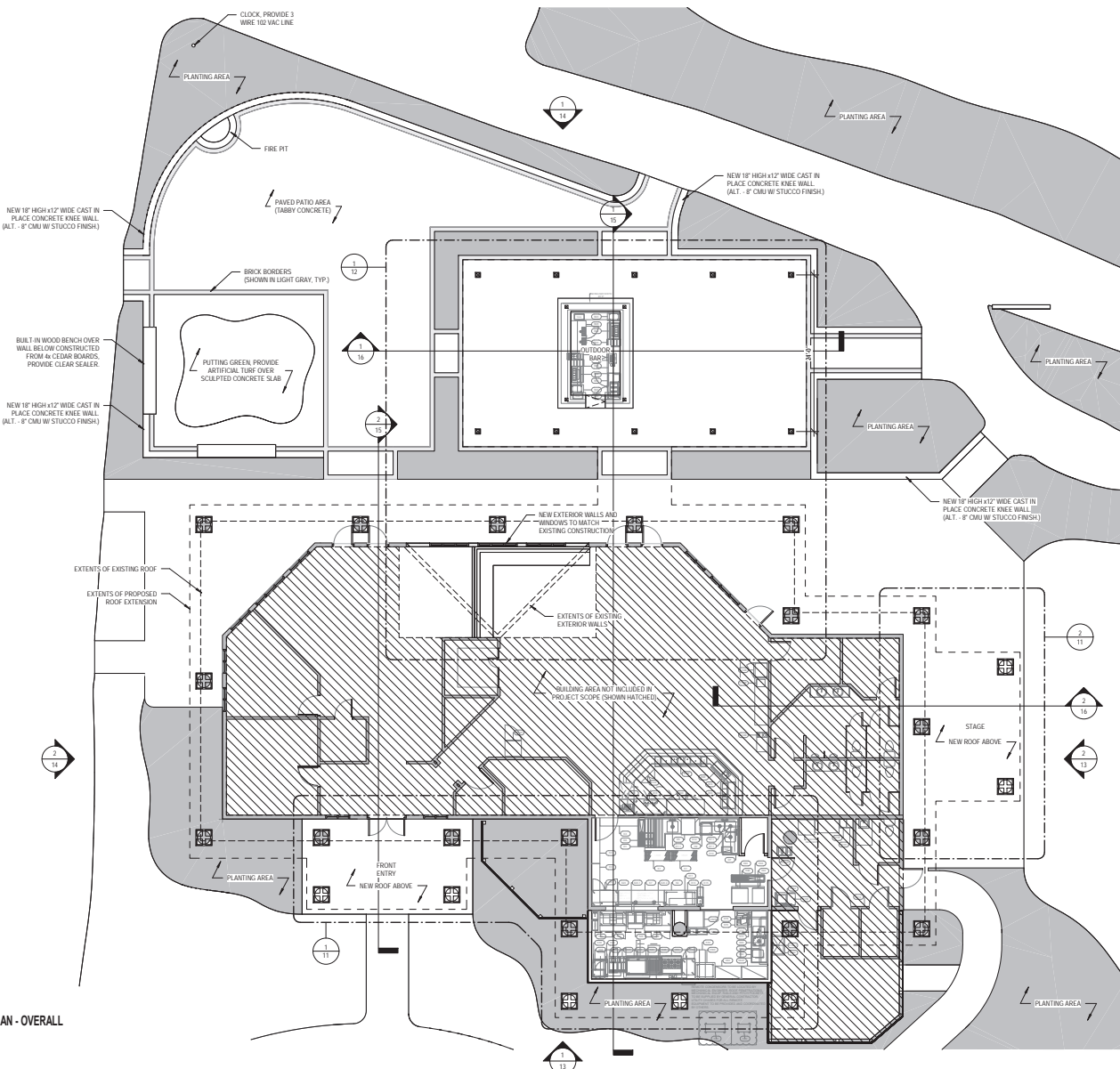


**CROWFIELD GOLF CLUBHOUSE**  
300 HAMLET CIRCLE  
GOOSE CREEK, SC 29445

REVISIONS	DATES
ARB REVIEW	10/13/22

DRAWN BY: JGK  
REVISED BY: JGK  
CHECKED BY: MLF

**L02**  
PLANTING SCHEDULE, DETAILS & NOTES  
SHEET 2 OF 2



**PROJECT NARRATIVE**

**THE PROJECT CONSISTS OF THE FOLLOWING COMPONENTS:**

THE EXPANSION OF THE GOLF CLUB DRIVING SPACE INTO THE EXISTING WEDGE SHAPED PORTION OF THE COVERED OUTDOOR AREA (APPROX. 200SF). THE NEW EXTERIOR WALLS IS TO MATCH THE CONSTRUCTION OF THE EXISTING ADJACENT CONSTRUCTION (ASSUME 2x4 STUDS, 1/2\"/>

PAINTING THE EXTERIOR OF THE ENTIRE CLUBHOUSE BUILDING AND WRAPPING THE EXISTING CONCRETE COLUMNS WITH P.T. WOOD TRIM PER THE SKETCH AND ELEVATIONS. PAINT.

EXTEND THE EXISTING ROOF THROUGH OVERFRAMING AT THE EXISTING FASCIA AND PROVIDE PAINTED P.T. TO TRIM BOARD FASCIA. RE-ROOF THE ENTIRE EXISTING CLUBHOUSE WITH A NEW ARCHITECTURAL SINGLE ROOF.

PROVIDE TWO NEW CABLE ROOF OVERHANGS: ONE AT THE FRONT ENTRY AND ONE AT THE PROPOSED STAGE AREA. FINISHES FOR THE CABLE ENDS ARE TO MATCH THE TYPICAL EXTERIOR FINISHES ON THE EXISTING CLUBHOUSE BUILDING (ASSUME WOOD LAP SIDING WITH TRIM) AND WILL HAVE SIGNAGE MOUNTED TO THEM. PROVIDE A CEMENTITIOUS BOARD CEILING TO MATCH THE EXISTING CONSTRUCTION WITH RECESSED LED DOWNLIGHTS. POWER IS TO BE PROVIDED TO THE STAGE AREA.

THE CONSTRUCTION OF A NEW KITCHEN ADDITION AND EXTENSION OF THE EXISTING ROOF WELL TO ACCOMMODATE A NEW KITCHEN HOOD SYSTEM AND EXHAUST.

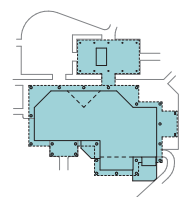
THE CONSTRUCTION OF A NEW PAVILION (APPROX. 1500SF) WITH AN OUTDOOR BAR. THE PAVILION IS CONNECTED TO THE EXISTING CLUBHOUSE WITH A WALKWAY (APPROX. 100SF). THE STRUCTURAL SYSTEMING IS BEING DEVELOPED (ASSUME WOOD COLUMNS WITH BRACING AS REQ. EXPOSED WOOD TRUSSES/RIFTERS, OPEN CLERESTORY LEVEL WITH SCORING). ALL MATERIALS TO BE FINISHED TO MATCH CLUBHOUSE (COLOR, T.B.E.). FINISHES INCLUDE TABBY CONCRETE FLOORING, PAINTED WOOD SIDING @ THE OUTDOOR BAR EXTERIOR, POP @ THE OUTDOOR BAR INTERIOR, QUARTZ BAR COUNTER, LIGHTING LAYOUT IS BEING DEVELOPED (ASSUME BEAM MOUNTED LED LIGHTING FIXTURES ALONG THE PERIMETER AND CEILING FAN/LIGHTS MOUNTED TO THE UNDERSIDE OF ROOF STRUCTURE). THE BAR EQUIPMENT LAYOUT IS BEING DEVELOPED (ASSUME THE INCLUSION OF HANDSINKS, FLOOR SINKS, FLOOR DRAINS, UNDERCOUNTER REFRIGERATION, KEG TAPS).

SITE IMPROVEMENTS INCLUDING A NEW PUTTING GREEN, GAS FIRE PIT, CAST IN PLACE CONCRETE SITE WALLS (REFER TO PLANS), BRICK PAVEMENT APPROX (REFER TO PLANS), AND PLANTING AREAS (ASSUME FORMATION, BRACKS, LOW SHRUBS, W/ SOME NOTED) SURROUNDING THE PAVILION (ASSUME THE INCLUSION OF SITE LIGHTING, POWER TO OUTDOOR PATIO AREAS, AND IRRIGATION).

**FLOOR PLAN GENERAL NOTES**

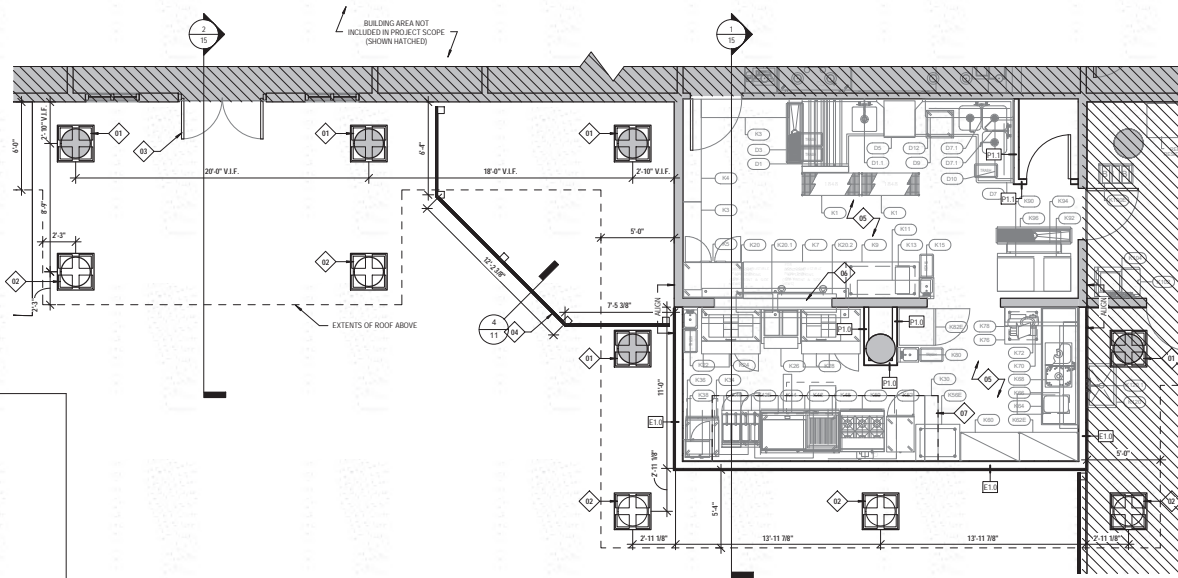
1. ALL INTERIOR WALLS ARE TO BE FRAMED WITH 2x4 WOOD STUDS @ 16\"/>
- 2. ALL EXTERIOR FRAMING WITHIN 18\"/>
- 3. DOOR AND WINDOW OPENINGS SHOULD ALLOW FOR A MINIMUM OF 6\"/>
- 4. FIELD VERIFY ALL DIMENSIONS FOR CABINETRY AND BUILT IN DESIGN AND INSTALLATION.
- 5. INSTALL SOUND BATT INSULATION IN ALL INTERIOR WALLS AND FLOORS. REFER TO A501 FOR ADDITIONAL INFORMATION.
- 6. ALL CEILINGS ARE FULL HEIGHT TO UNDERSIDE OF FRAMING, UNLESS NOTED OTHERWISE TO ACCOMMODATE MECHANICAL OR FOR ARCHITECTURAL FEATURES. ALL CEILINGS NOTED LOWER THAN FRAMING TO BE FURRED TO HEIGHT NOTED.
- 7. ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTER OF OPENINGS IN FRAMED WALLS, EDGE OF MASONRY OPENINGS, EDGE OF SLAB, AND COLUMN LINES UNLESS NOTED OTHERWISE.

**KEY PLAN**



**1 FLOOR PLAN - OVERALL**  
1/8\"/>





### FLOOR PLAN GENERAL NOTES

1. ALL INTERIOR WALLS ARE TO BE FRAMED WITH 2x4 WOOD STUDS @ 16" O.C. UNLESS OTHERWISE NOTED ON PLAN.
2. ALL EXTERIOR FRAMING WITHIN 18" OF THE GROUND OR THAT COMES IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
3. DOOR AND WINDOW OPENINGS SHOULD ALLOW FOR A MINIMUM 6" CLEARANCE OF THE JAMBS TO ACCOMMODATE SELECTED INTERIOR TRIM UNLESS OTHERWISE NOTED.
4. FIELD VERIFY ALL DIMENSIONS FOR CABINETRY AND BUILT IN DESIGN AND INSTALLATION.
5. INSTALL SOUND BATT INSULATION IN ALL INTERIOR WALLS AND FLOORS. REFER TO A501 FOR ADDITIONAL INFORMATION.
6. ALL CEILINGS ARE FULL HEIGHT TO UNDERSIDE OF FRAMING UNLESS NOTED OTHERWISE TO ACCOMMODATE MECHANICAL OR FOR ARCHITECTURAL FEATURES. ALL CEILINGS NOTED LOWER THAN FRAMING TO BE FURRED TO HEIGHT NOTED.
7. ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTER OF OPENINGS IN FRAMED WALLS, EDGE OF MASONRY OPENINGS, EDGE OF SLAB, AND COLUMN LINES UNLESS NOTED OTHERWISE.

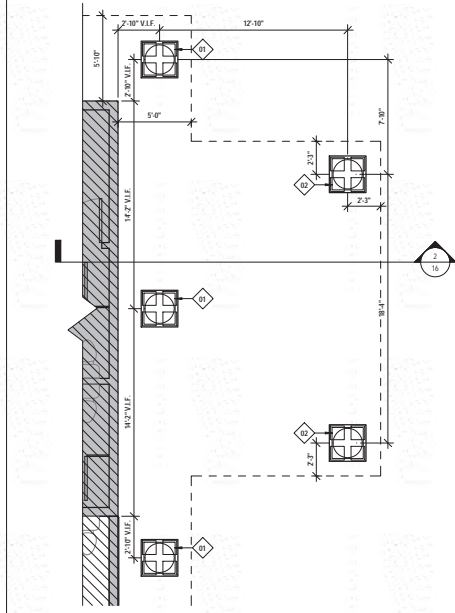
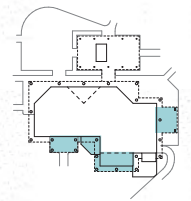
### FLOOR PLAN KEY NOTES

- 01 WRAP EXISTING CONCRETE COLUMNS W/ P.T. WOOD BLOCKING & TRIM PAINT PT. 1. SEE DETAIL.
- 02 NEW WOOD COLUMN TO MATCH THE OUTSIDE DIMENSIONS OF ADJACENT WRAPPED COLUMNS. PAINT PT. 1.
- 03 REPLACE EXISTING ALUM. STOREFRONT DOORS W/ NEW WOOD FULL GLASS DOOR W/ TRANSPARENT STAIN.
- 04 NEW 2" 0" EQUIPMENT SCREENING FENCE CONSTRUCTED OF P.T. 2x4 BOARDS. PAINT PT. 1.
- 05 NEW KITCHEN EQUIPMENT REFER TO CROSS SECTION DRAWINGS.
- 06 NEW PASS THROUGH OPENING IN EXISTING WALL.
- 07 NEW KITCHEN EXHAUST HOOD. ROUTE EXHAUST TO ROOF WALL ABOVE.
- 08 NEW W/FIELD WINDOWS TO MATCH EXISTING. GC TO VERIFY MANUFACTURER, MODEL, FINISH AND LIGHT PATTERN.
- 09 NEW BUILT IN BENCHETTE SEATING APPROX. 25 LINEAR FEET.
- 10 FINISHING REF. REFER TO LANDSCAPE DRAWINGS.
- 11 OUTDOOR BAR. PROVIDE WOOD SEATING FINISH @ EXTERIOR FACES AND FRP FINISH @ INTERIOR FACES W/ QUARTZ COUNTERTOP.

### WALL TYPE SCHEDULE

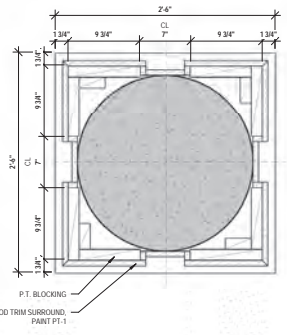
ET.0	NA	NA	2x4 WOOD STUD FRAMING @ 16" O.C. W/ CEMENTITIOUS LAP JOINT OVER TEXTURED NYLON PARABENOL LAYER OVER FLUID APPLIED MEMBRANE AIR BARRIER OVER SIP EXTERIOR GRADE. W/ WOOD SHADING ON EXTERIOR FACE OF STUDS. SIP GMB ON INTERIOR FACE AND FILL STUD CAVITY W/ MIN. R-19 FIBERGLASS BATT INSULATION.	E1.0A502
P1.0	NA	NA	2x4 WOOD STUD FRAMING @ 16" O.C. W/ SIP GMB ON ROOM SIDE W/ SOUND ATTENUATION BLANKETS SIZED TO FIT IN STUD SPACE. WALL TO CONTINUE TO UNDERSIDE OF CEILING UNLESS NOTED OTHERWISE W/ ACOUSTIC SEALANT AT TOP AND BOTTOM OF GMB.	P1.0A051
P1.1	NA	NA	2x4 WOOD STUD FRAMING @ 16" O.C. W/ SIP GMB EACH SIDE. SOUND ATTENUATION BLANKETS SIZED TO FIT IN STUD SPACE. WALL TO CONTINUE TO UNDERSIDE OF CEILING UNLESS NOTED OTHERWISE W/ ACOUSTIC SEALANT AT TOP AND BOTTOM OF GMB BOTH SIDES.	P1.1A051

### KEY PLAN

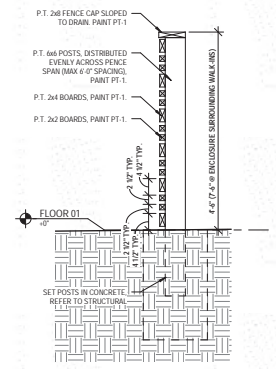


2 FLOOR PLAN - STAGE  
11 1/8" = 1'-0"

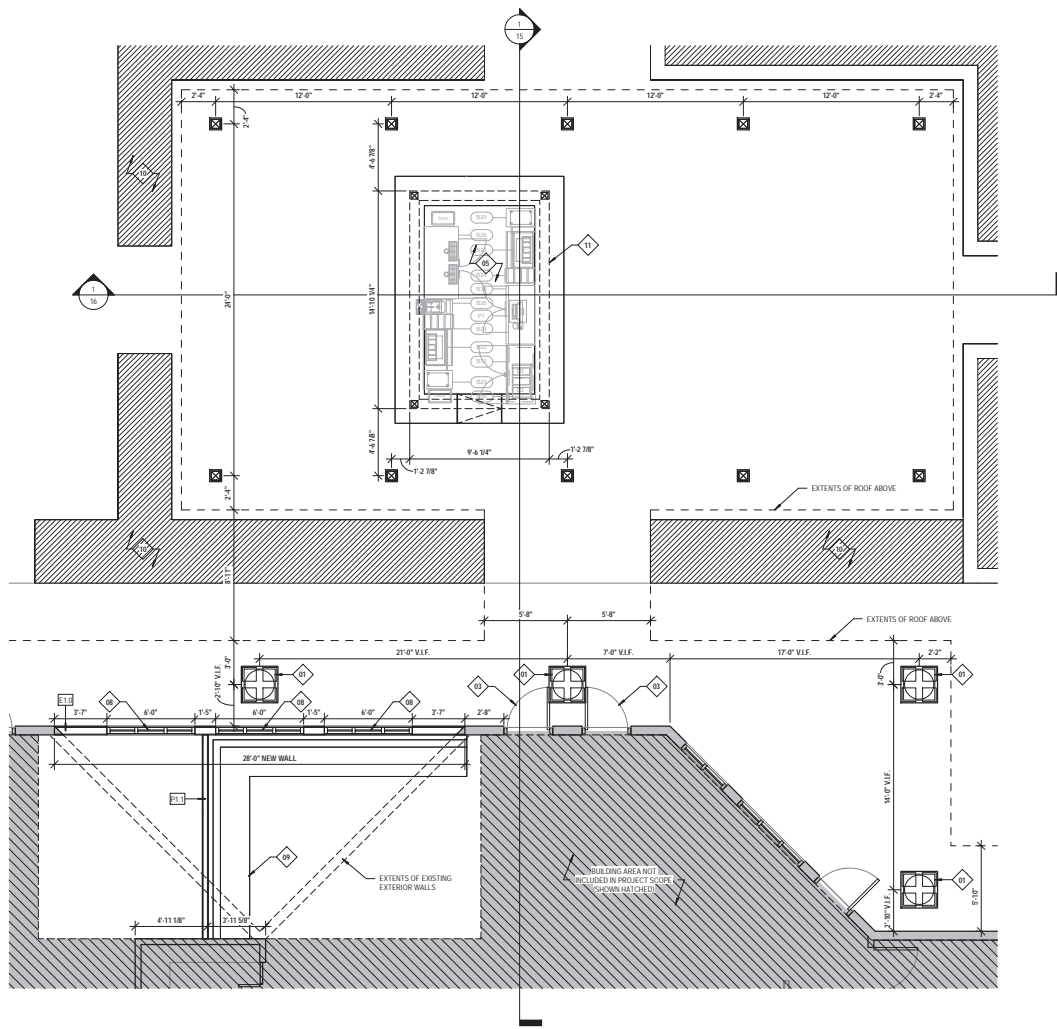
1 FLOOR PLAN - ENTRY AND KITCHEN  
11 1/8" = 1'-0"



3 TYP. COLUMN SURROUND DETAIL  
11 1/8" = 1'-0"



4 TYP. SECTION @ SCREENING FENCE  
11 1/8" = 1'-0"



**FLOOR PLAN GENERAL NOTES**

1. ALL INTERIOR WALLS ARE TO BE FRAMED WITH 2x4 WOOD STUDS @ 16" O.C. UNLESS OTHERWISE NOTED ON PLAN.
2. ALL EXTERIOR FRAMING WITHIN 18" OF THE GROUND OR THAT COMES IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
3. DOOR AND WINDOW OPENINGS SHOULD ALLOW FOR A MINIMUM OF 6" CLEARANCE OF THE JAMBS TO ACCOMMODATE SELECTED INTERIOR TRIM, UNLESS OTHERWISE NOTED.
4. FIELD VERIFY ALL DIMENSIONS FOR CABINETRY AND BUILT-IN DESIGN AND INSTALLATION.
5. INSTALL SOUND BATT INSULATION IN ALL INTERIOR WALLS AND FLOORS. REFER TO A501 FOR ADDITIONAL INFORMATION.
6. ALL CEILINGS ARE FULL HEIGHT TO UNDERSIDE OF FRAMING, UNLESS NOTED OTHERWISE TO ACCOMMODATE MECHANICAL OR FOR ARCHITECTURAL FEATURES. ALL CEILINGS NOTED LOWER THAN FRAMING TO BE FURRED TO HEIGHT NOTED.
7. ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTER OF OPENINGS IN FRAMED WALLS, EDGE OF MASONRY OPENINGS, EDGE OF SLAB, AND COLUMN LINES UNLESS NOTED OTHERWISE.

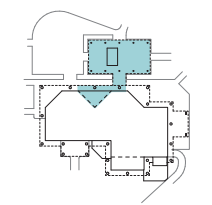
**FLOOR PLAN KEY NOTES**

01. WRAP EXISTING CONCRETE COLUMNS W/ P.T. WOOD BLOCKING & TRIM PAINT P.T. 1. SEE DETAIL.
02. NEW WOOD COLUMN TO MATCH THE OUTSIDE DIMENSIONS OF ADJACENT WRAPPED COLUMNS. PAINT P.T. 1.
03. REPLACE EXISTING ALUM. STOREFRONT DOORS W/ NEW WOOD FULL GLASS DOOR W/ TRANSPARENT STAIN.
04. NEW 2" 0" EQUIPMENT SCREENING FENCE CONSTRUCTED OF P.T. 2x6 BOARDS. PAINT P.T. 1.
05. NEW KITCHEN EQUIPMENT. REFER TO CADD/SCHEMATIC DRAWINGS.
06. NEW PASS THROUGH OPENING IN EXISTING WALL.
07. NEW KITCHEN EXHAUST HOOD. ROUTE EXHAUST TO ROOF WELL ABOVE.
08. NEW W/CD WINDOWS TO MATCH EXISTING. GO TO SUPPLY MANUFACTURER MODEL, FINISH AND LIGHT PATTERN.
09. NEW BUILT-IN BANQUET SEATING (APPROX. 25 LINEAR FEET).
10. PLANTING BED. REFER TO LANDSCAPE DRAWINGS.
11. OUTDOOR BAR. PROVIDE WOOD SEATING FINISH @ EXTERIOR FACES AND FRP FINISH @ INTERIOR FACES W/ QUARTZ COUNTERTOP.

**WALL TYPE SCHEDULE**

ITEM	QTY	DESCRIPTION	UNIT
E1.0	N/A	2x4 WOOD STUD FRAMING @ 16" O.C. W/ CEMENTITIOUS LAP JOINT OVER TEXTURED NYLON FANSCREEN LAYER OVER FLUID APPLIED MEMBRANE AIR BARRIER OVER 5/8" EXTERIOR GYPSUM BOARD W/ SHIELDING ON EXTERIOR FACE OF STUD. 5/8" GWB ON INTERIOR FACE AND FULL STUD CAVITY W/ MIN. R-19 FIBERGLASS BATT INSULATION.	E1.0A502
P1.0	N/A	2x4 WOOD STUD FRAMING @ 16" O.C. W/ 5/8" GWB ON ROOM SIDE W/ SOUND ATTENUATION BLANKETS SIZED TO FIT IN STUD SPACE. WALL TO CONTINUE TO UNDERSIDE OF CEILING UNLESS NOTED OTHERWISE W/ ACOUSTIC SEALANT AT TOP AND BOTTOM OF GWB.	P1.0A01
P1.1	N/A	2x4 WOOD STUD FRAMING @ 16" O.C. W/ 5/8" GWB EACH SIDE. SOUND ATTENUATION BLANKETS SIZED TO FIT IN STUD SPACE. WALL TO CONTINUE TO UNDERSIDE OF CEILING UNLESS NOTED OTHERWISE W/ ACOUSTIC SEALANT AT TOP AND BOTTOM OF GWB BOTH SIDES.	P1.1A01

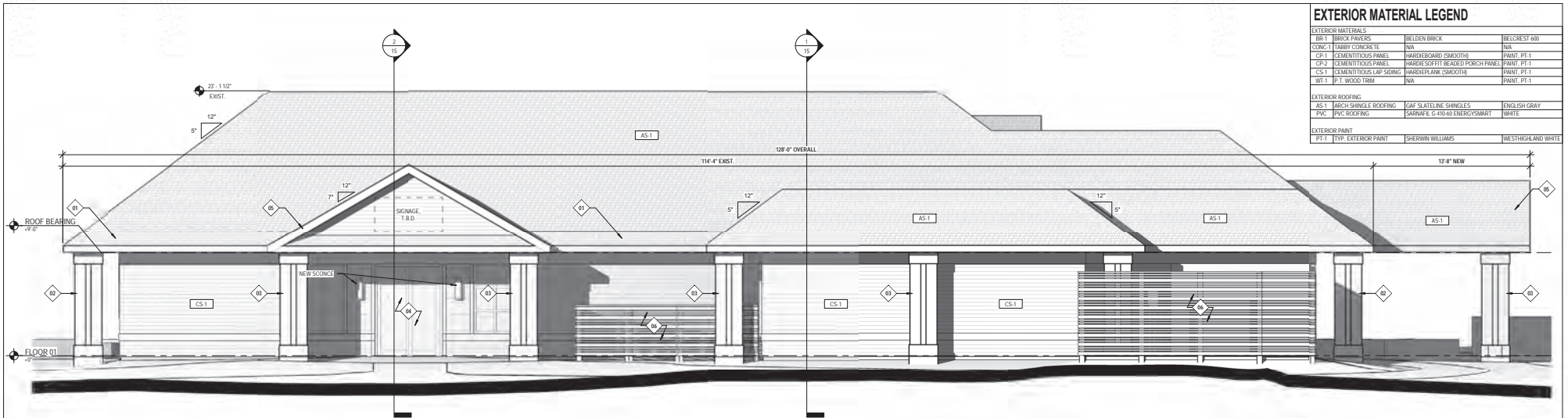
**KEY PLAN**



1 FLOOR PLAN - DINING, PAVILION  
1/2" = 1'-0"

### EXTERIOR MATERIAL LEGEND

EXTERIOR MATERIALS		
BR-1	BRICK PAVERS	BELDEN BRICK
CONC-1	TABRY CONCRETE	NA
CP-1	CEMENTITIOUS PANEL	HARDIBOARD (SMOOTH)
CP-2	CEMENTITIOUS PANEL	HARDIBOARD (SMOOTH)
CS-1	CEMENTITIOUS LAP SIDING	HARDIBOARD (SMOOTH)
WT-1	P.T. WOOD TRIM	NA
EXTERIOR ROOFING		
AS-1	BIRCH SHINGLE ROOFING	CAF SLATELINE SHINGLES
PVC	PVC ROOFING	SARNAFIL G 410-60 ENERGYSMART
EXTERIOR PAINT		
PT-1	TYP. EXTERIOR PAINT	SHERWIN WILLIAMS WESTHIGHLAND WHITE

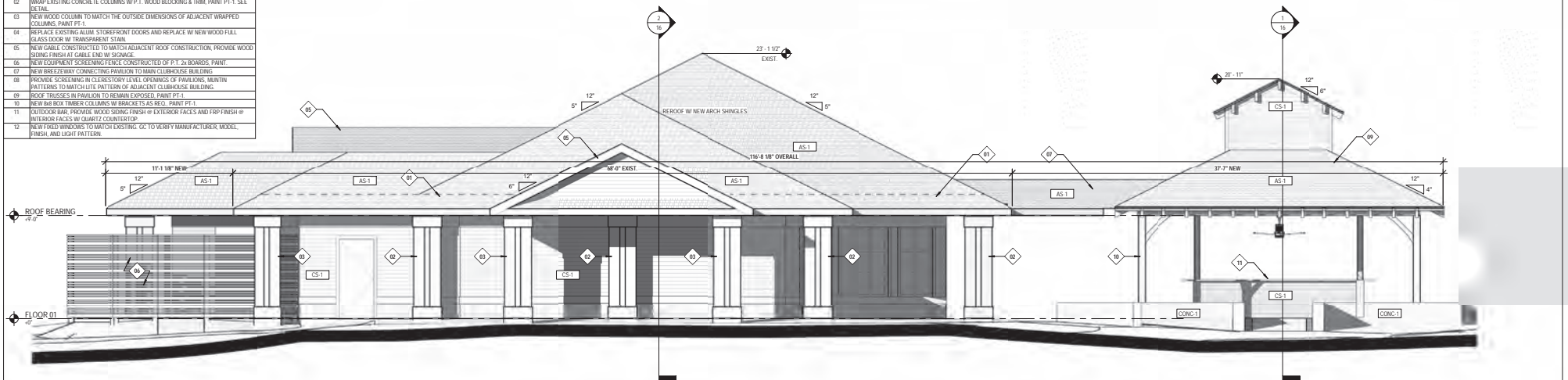


**1** SOUTHWEST (FRONT) ELEVATION

13 1/4" = 1'-0"

### ELEVATION KEYNOTES

- 01 EXTENDS UP ROOF FASCIA EXTENSION.
- 02 BRUSH EXISTING CONCRETE COLUMNS W/ P.T. WOOD BLOCKING & TRIM. PAINT PT-1. SEE DETAIL.
- 03 NEW WOOD COLUMN TO MATCH THE OUTSIDE DIMENSIONS OF ADJACENT WRAPPED COLUMNS. PAINT PT-1.
- 04 REPLACE EXISTING ALUM. STOREFRONT DOORS AND REPLACE W/ NEW WOOD FULL GLASS DOOR W/ TRANSPARENT STAIN.
- 05 NEW GABLE CONSTRUCTED TO MATCH ADJACENT ROOF CONSTRUCTION. PROVIDE WOOD SIDING FINISH AT GABLE END W/ SIGNAGE.
- 06 NEW COURTESY SCREENING FENCE CONSTRUCTED OF P.T. 2x4 BOARDS. PAINT.
- 07 NEW FIRE EZE WAY CONNECTING PAVILION TO MAIN CLUBHOUSE BUILDING.
- 08 PROVIDE SCREENING IN CLEAR STORY LEVEL OPENINGS OF PAVILION. MATCH PATTERNS TO MATCH LITE PATTERN OF ADJACENT CLUBHOUSE BUILDING.
- 09 ROOF TRUSSES IN PAVILION TO REMAIN EXPOSED. PAINT PT-1.
- 10 NEW W/ WOOD TRIM COLUMNS W/ BRACKETS TO 4x4 POST. PAINT PT-1.
- 11 OUTDOOR BAR. PROVIDE WOOD SIDING FINISH @ EXTERIOR FACES AND FRP FINISH @ INTERIOR FACES. W/ QUARTZ COUNTER TOP.
- 12 NEW W/ FLOOR FINISH TO MATCH EXISTING. GC TO VERIFY MANUFACTURER, MODEL, FINISH, AND LIGHT PATTERN.



**2** SOUTHEAST (SIDE) ELEVATION

13 1/4" = 1'-0"



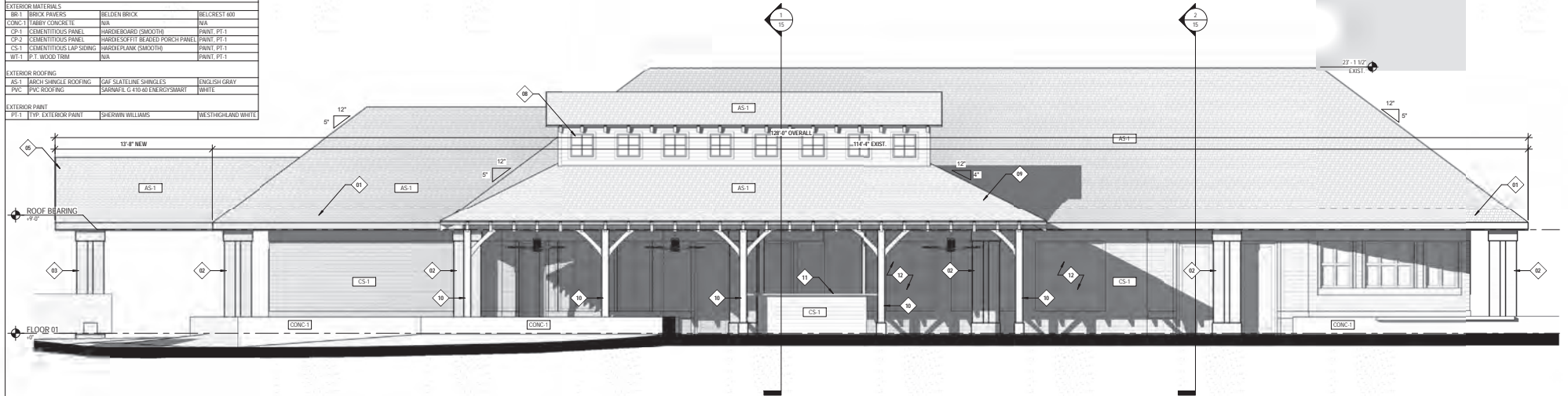
## CROWFIELD GOLF CLUBHOUSE

300 HAMLET CIRCLE  
GOOSE CREEK, SC 29445

**ELEVATIONS / 13**  
GOOSE CREEK ARB SUBMISSION (10.18.2022)

### EXTERIOR MATERIAL LEGEND

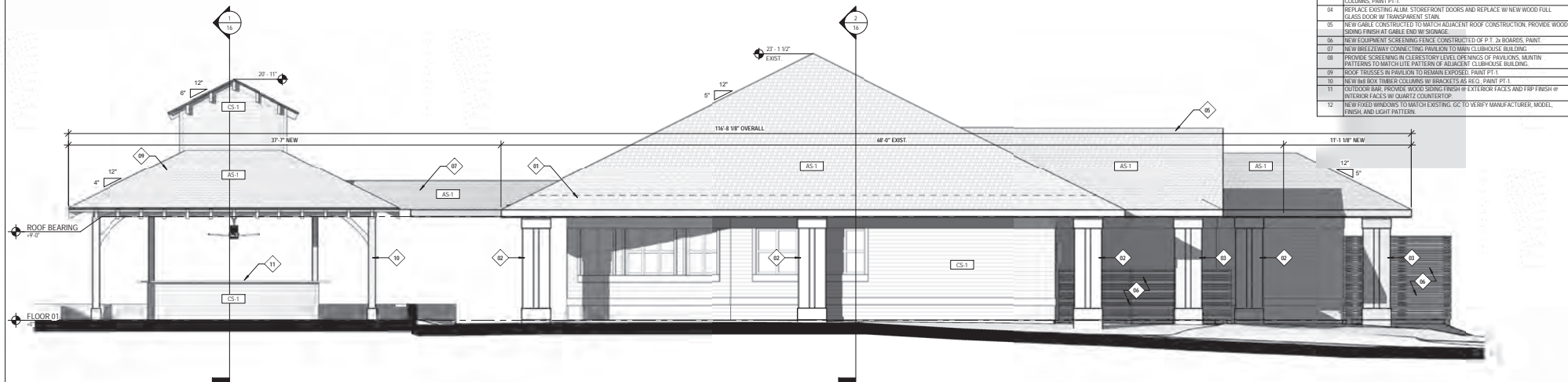
EXTERIOR MATERIALS		
BR-1	BRICK PAVERS	BELDEN BRICK
CONC-1	TABBY CONCRETE	N/A
CP-1	CEMENTITIOUS PANEL	HARDIEBOARD (SMOOTH)
CP-2	CEMENTITIOUS PANEL	HARDIE SCOTT BEADED PORCH PANEL
CS-1	CEMENTITIOUS LAP SIDING	HARDIE PLANK (SMOOTH)
WT-1	WOOD TRIM	N/A
EXTERIOR ROOFING		
AS-1	ARCH SHINGLE ROOFING	GAF SLATLINE SHINGLES
PVC	PVC ROOFING	SARNAY H. G. 410-60 ENERGYSMART
EXTERIOR PAINT		
PT-1	EXTERIOR PAINT	SHERWIN WILLIAMS WESTHIGHLAND WHITE



**1** NORTHEAST (REAR) ELEVATION  
1/4" = 1'-0"

### ELEVATION KEYNOTES

01	EXTENTS OF ROOF FASCIA EXTENSION
02	WARP EXISTING CONCRETE COLUMNS W/ P-1 WOOD BLOCKING & TRIM. PAINT PT-1. SEE DETAIL.
03	NEW WOOD COLUMN TO MATCH THE OUTSIDE DIMENSIONS OF ADJACENT WRAPPED COLUMNS. PAINT PT-1.
04	REPLACE EXISTING ALUM. STOREFRONT DOORS AND REPLACE W/ NEW WOOD FULL GLASS DOOR W/ TRANSPARENT STAIN.
05	NEW GABLE CONSTRUCTED TO MATCH ADJACENT ROOF CONSTRUCTION. PROVIDE WOOD SIDING FINISH AT GABLE END W/ SCANGE.
06	NEW EQUIPMENT SCREENING FENCE CONSTRUCTED OF P-1 2x BOARDS. PAINT PT-1.
07	NEW BREEZEWAY CONNECTING PAVILION TO MAIN CLUBHOUSE BUILDING.
08	PROVIDE SCREENING IN CLEARSTOREY LEVEL OPENINGS OF PAVILIONS. MAINTAIN PATTERNS TO MATCH LIFE PATTERN OF ADJACENT CLUBHOUSE BUILDING.
09	ROOF TRUSSES IN PAVILION TO REMAIN EXPOSED. PAINT PT-1.
10	NEW W/IN BOX TIMBER COLUMNS W/ BRACKETS AS HELD. PAINT PT-1.
11	OUTDOOR BAR. PROVIDE WOOD SIDING FINISH ON EXTERIOR FACES AND TRIP FINISH @ INTERIOR FACES W/ QUARTZ COUNTERTOP.
12	NEW FIXED BRACKETS TO MATCH EXISTING. USE TO VERIFY MANUFACTURER, MODEL, FINISH AND LIGHT PATTERN.



**2** NORTHWEST (SIDE) ELEVATION  
1/4" = 1'-0"

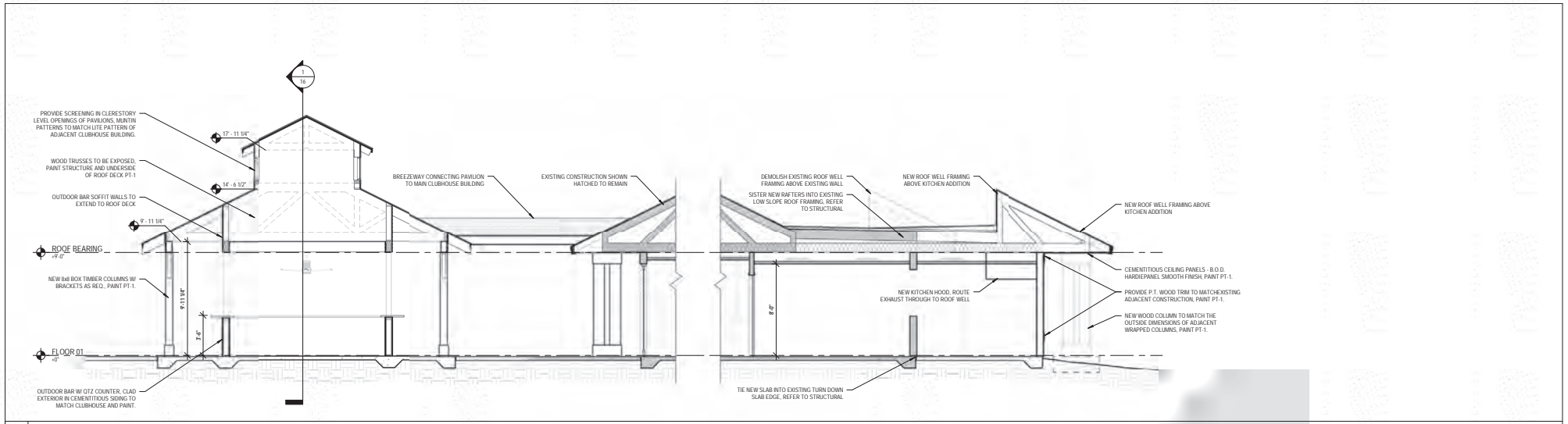


## CROWFIELD GOLF CLUBHOUSE

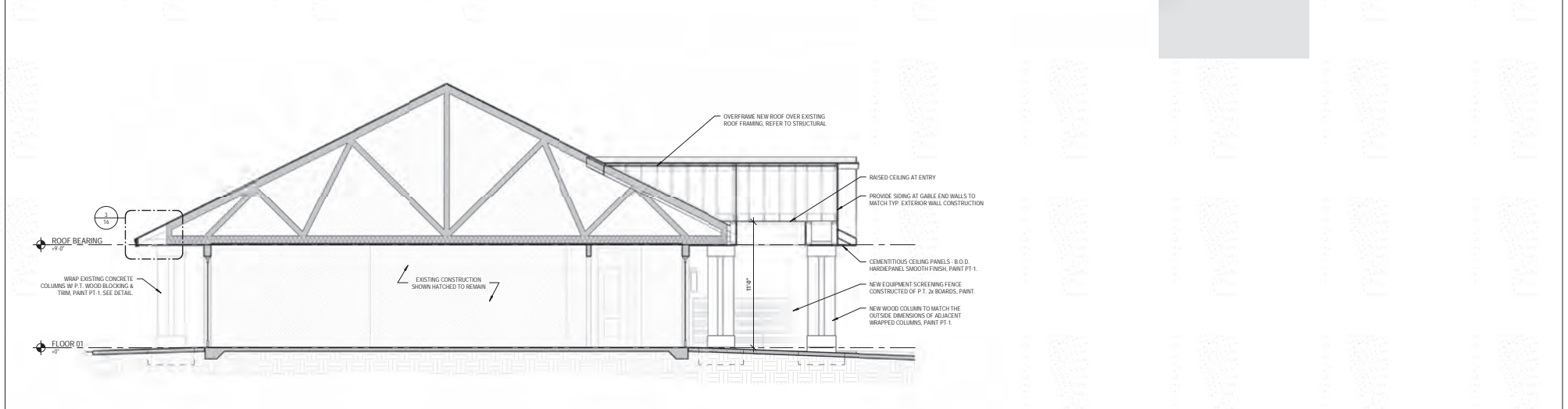
300 HAMLET CIRCLE  
GOOSE CREEK, SC 29445

**ELEVATIONS / 14**  
GOOSE CREEK ARB SUBMISSION (10.18.2022)

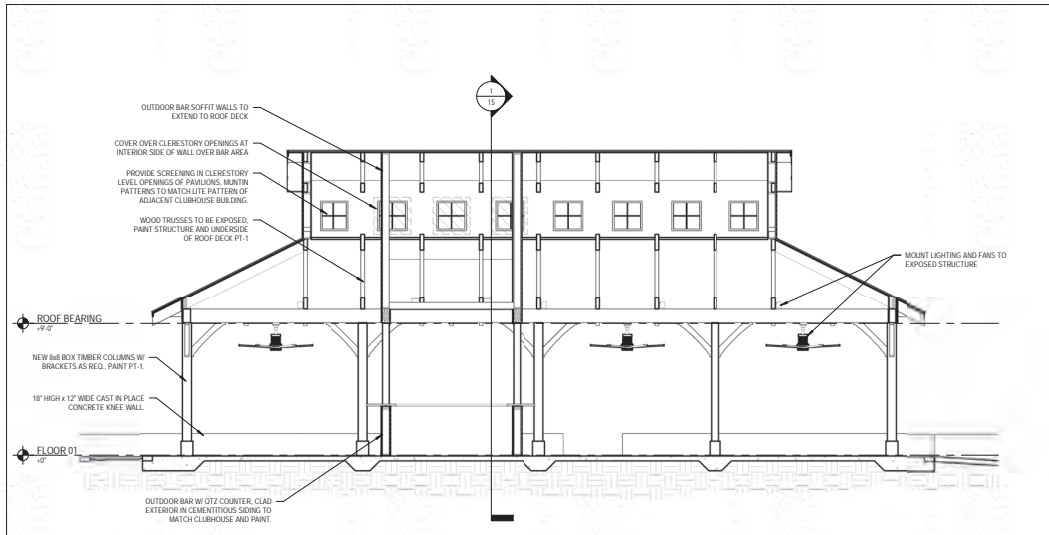




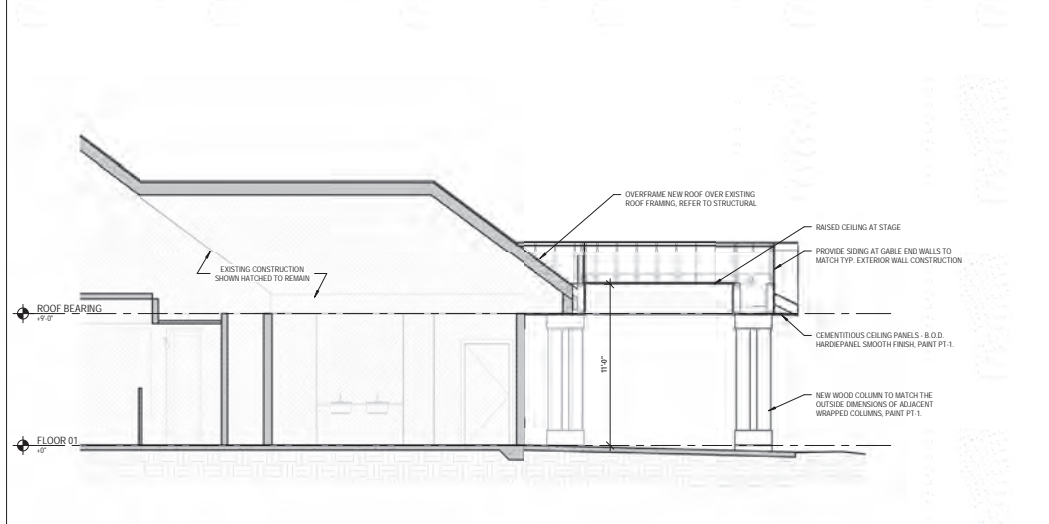
**1** TRANSVERSE SECTION @ KITCHEN ADDITION & PAVILION  
 1/8" = 1'-0"



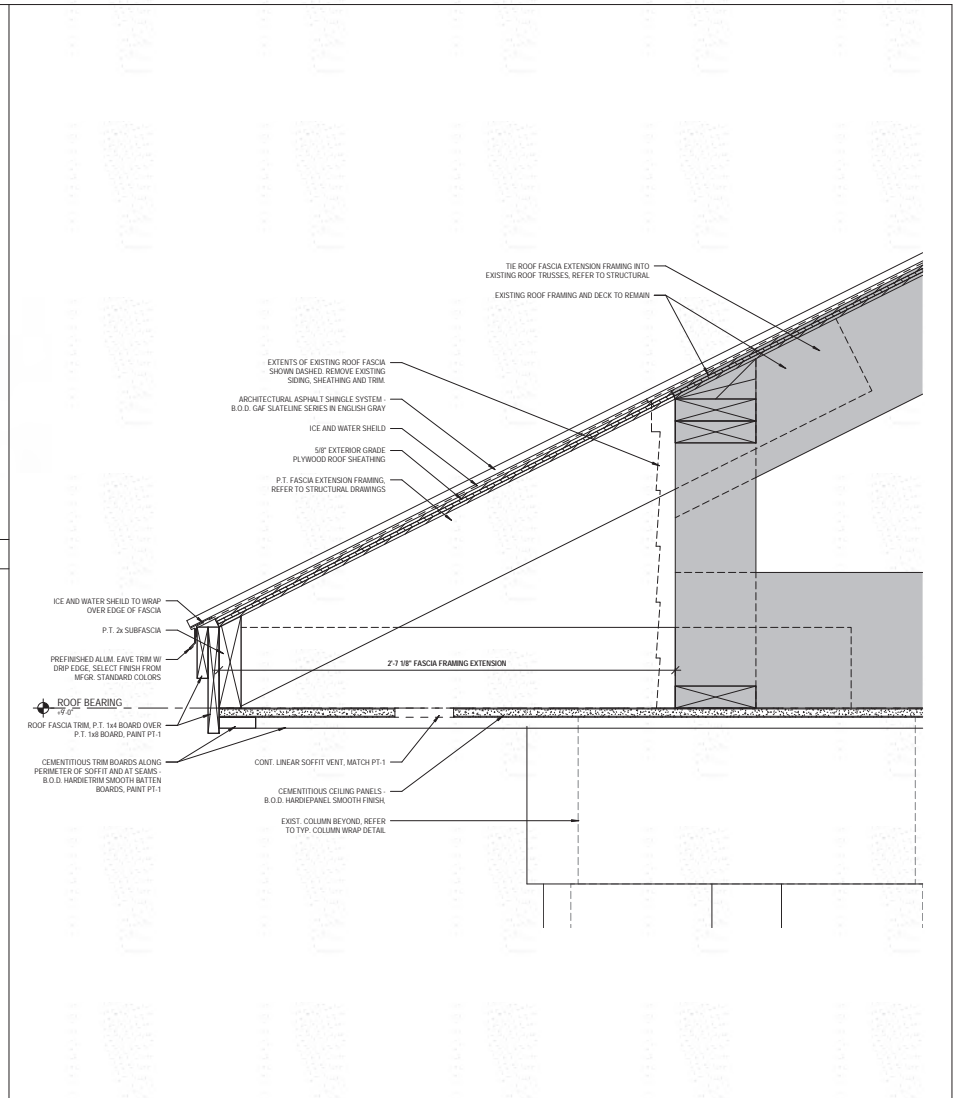
**2** TRANSVERSE SECTION @ MAIN ENTRY  
 1/8" = 1'-0"



**1 LONGITUDINAL SECTION @ PAVILION**  
1/8" = 1'-0"



**2 LONGITUDINAL SECTION @ STAGE**  
1/8" = 1'-0"



**3 ROOF EAVE EXTENSION DETAIL**  
3/8" = 1'-0"

EXTERIOR MATERIAL LEGEND		
EXTERIOR MATERIALS		
BR-1	BRICK PAVERS	BELDEN BRICK BELCREST 600
CONC-1	TABBY CONCRETE	N/A
CP-1	CEMENTITIOUS PANEL	HARDIEBOARD (SMOOTH) PAINT PT-1
CP-2	CEMENTITIOUS PANEL	HARDIE SOFFIT BEADED PORCH PANEL PAINT PT-1
CS-1	CEMENTITIOUS LAP SIDING	HARDIEPLANK (SMOOTH) PAINT PT-1
WT-1	PT. WOOD TRIM	N/A
EXTERIOR ROOFING		
AS-1	ARCH SHINGLE ROOFING	GAF SLATLINE SHINGLES ENGLISH GRAY
PVC	PVC ROOFING	SARNAFIL G. 410-40 ENERGYSMART WHITE
EXTERIOR PAINT		
PT-1	TYP. EXTERIOR PAINT	SHERWIN WILLIAMS WESTHIGHLAND WHITE



**CEMENTITIOUS LAP SIDING**  
HARDIEPLANK (SMOOTH FINISH) PAINTED



**ARCH SHINGLE ROOFING**  
GAF SLATLINE SERIES IN ENGLISH GRAY



**EXTERIOR SCONCES**  
MODERN FORMS - TWO IF BY SEA (FLANKING THE MAIN ENTRY)



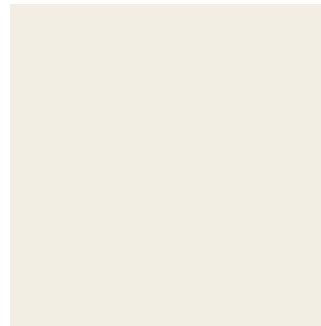
**STRUCTURE-MOUNTED DOWNLIGHTING**  
MP LIGHTING - L721 (MOUNTED TO ROOF TRUSSES @ PAVILION)



**BRICK PAVERS**  
BELDEN BRICK BELCREST 600



**TABBY CONCRETE**  
USED THROUGHOUT PATIO AND PAVED AREAS



**TYP. EXTERIOR PAINT**  
SHERWIN WILLIAMS SW-7566 WESTHIGHLAND WHITE



**CEILING-MOUNTED SPOTLIGHTS**  
MP LIGHTING - L730 (MOUNTED TO RAISED CEILING @ STAGE AREA)



## CROWFIELD GOLF CLUBHOUSE

300 HAMLET CIRCLE  
GOOSE CREEK, SC 29445

## EXTERIOR MATERIALS / 17

GOOSE CREEK ARB SUBMISSION (10.18.2022)





VIEW OF FRONT ENTRY



**CROWFIELD GOLF CLUBHOUSE**

300 HAMLET CIRCLE  
GOOSE CREEK, SC 29445

**RENDERING / 18**  
GOOSE CREEK ARB SUBMISSION (10.18.2022)





VIEW OF STAGE



**CROWFIELD GOLF CLUBHOUSE**

300 HAMLET CIRCLE  
GOOSE CREEK, SC 29445

**RENDERING / 19**  
GOOSE CREEK ARB SUBMISSION (10.18.2022)





VIEW OF PAVILION



**CROWFIELD GOLF CLUBHOUSE**

300 HAMLET CIRCLE  
GOOSE CREEK, SC 29445

**RENDERING / 20**  
GOOSE CREEK ARB SUBMISSION (10.18.2022)





VIEW OF PATIO



**CROWFIELD GOLF CLUBHOUSE**

300 HAMLET CIRCLE  
GOOSE CREEK, SC 29445

**RENDERING / 21**  
GOOSE CREEK ARB SUBMISSION (10.18.2022)



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2022-070 NBLD  
HENRY E. BROWN JR BLVD  
MULTIFAMILY

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## MEMORANDUM

**TO:** City of Goose Creek Architectural Review Board  
**FROM:** Alexis Kiser, Assistant to City Administrator  
**RE:** Henry Brown Boulevard Multifamily (TMS# 235-00-00-049)  
**DATE:** 11/16/2022

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Staff has reviewed the submittal to the Architectural Review Board (ARB) and offers the following commentary:

### General Conformance Analysis

1. The applicant is proposing a 300-unit multifamily community on +/- 24.1 acres. The community will consist of ten (10) three-story buildings with height not to exceed 40 feet and an amenity center. This parcel is zone Planned Development (PD).
2. The proposed project is on +/- 24.1 acres. The property is currently cleared.
3. All standards by zone appear to be met.

### Architectural Review Design Guidelines Analysis

#### Site design

Given the irregular shape of the site, the location of the buildings are placed in a way that clusters the habitual buildings towards the pond, which defines open space and activity areas. The applicant is also proposing pockets of open space between each building that consist of different types of passive recreation opportunities. The entire site will be accessible via walking trails so that each building is connected to each other and the amenities around the community. Areas on the site that may not be suitable for development due to site constraints are being incorporated into the project as a dog park for community use. Current plans show multiple pedestrian connection from the community to the new road improvements along Henry Brown Boulevard which includes a multi-use path.

#### Architectural theme

The architectural theme of the proposed structures is closely related to contemporary farmhouse. The elevations provided for the residential buildings present some variation in the structures through the use of color and features such as balconies.

The elevations for the proposed clubhouse, five car garage building, and maintenance building mirror the residential structures in theme and color which provides a cohesive appearance across the entire structure.

#### Architectural interest

##### Residential Buildings:

The elevations provided for the residential buildings in the proposed project use a mix of building materials to add architectural interest, adding the board and batten to the middle 30 feet of the structures will break up the building to not appear long and monotonous. There is currently no lighting shown on the exterior of the building. Adding wall mounted lighting to the common entrances of the buildings will add architectural interest.



**Clubhouse:**

The proposed façade of the clubhouse has several architectural features including roofline variation, awnings, variation in color, corbels, and large windows. Adding another color to the proposed palette would add visual interest from the interior roadways. Only the front and side elevations were provided, rear elevations were not included.

**Garage Buildings:**

Given that the design of garages often follow utility, the architectural features shown on the front elevation break up what could be a monotonous building by using color variation in the siding and the garage door color. The visual interest on the side elevation can be improved to add interest; the addition of a second set of shutters would accomplish this. Only the front and side elevations were provided, rear elevations were not included.

**Maintenance Building:**

The elevations provided for the maintenance building have several architectural features given the utility of the building. The brackets on the roofline on the front interest add visual interest, along with the variation in color. The visual interest on the side elevation can be improved to add interest; the addition of a second set of shutters would accomplish this. Only the front and side elevations were provided, rear elevations were not included.

**Building design**

The height, width, and general proportions of all buildings within this development complement each other and the built environment around it. The rear elevations of the residential structures will face the pond but are architecturally similar to the front elevation.

**Site Elements**

The applicant has included four (4) EV charging stations on the site. The placement of bicycle parking around the site was not provided on the site plan.

The lighting plan provided in the packet on page L3-00 shows 21 pole mounted lights across the development. There are no building mounted lights shown on this plan. Given the provided illumination zones, it appears that most of the pedestrian path around the stormwater pond will be unlit, posing potential safety risks. There is no light pole shown in the dog park area, which may also pose potential safety risks.

Placement of gateway signs and internal directional signs were not provided. Information on materials for the screening of mechanical equipment and refuse collection were not provided.

Elevations for refuse collection are included in the supporting materials and are similar to the other structures in design.





### **Staff Recommendation**

After the review of the supporting materials, Staff asks the Architectural Review Board to approve this application with the following conditions:

- Provide rear elevations for the clubhouse, maintenance building, and garage structures that are architecturally similar to the side and front elevations,
- Work with staff for the addition of lighting at the common entrances of residential structures that adds architectural interest and increases safety,
- Provide information on the screening of mechanical equipment (HVAC, utility meters) on the site, including materials and colors,
- Work with staff to determine appropriate location of lighting to ensure safe pedestrian walkways and amenities,
- Illustrate a where directional signage will be placed within the development and the size and building material of gateway signage.

Approval of this application and supporting documents does not negate the applicant from meeting all requirements of the Zoning Ordinance, including but not limited to, §151.083 Landscaping Requirements, and §151.084 Sign Regulations.



## SUBMITTAL REQUIREMENTS ~ ARCHITECTURAL REVIEW BOARD

**ALEXIS KISER**  
**(843) 797-6220 x1123**

**DEAR APPLICANT,** In order for Staff and the Architectural Review Board to be able to properly evaluate your project, the following information relevant to the project needs to be included on the Project Plans submitted for review.

Staff will review your submittal against the checklist as a means to ascertain if your submittal is deemed complete. Checklist items left unaddressed may result in a postponed review. The Director may waive or add additional requirements if further clarification is needed.

The Planning & Zoning Staff want to assure you that getting your project approved through ARB is their primary goal. Therefore, we ask that you complete the checklist and scope of work in its entirety for your project. They may make suggested modifications to your project if they feel that doing so will improve the likelihood of an approval.

### **PART I. PREPARE A COVERSHEET WITH THE FOLLOWING INFORMATION:**

- Sheet Index,
- TMS# and Address,
- Existing Zoning District, setbacks, building height, site lot coverage,
- Scale used (1"=20' or 40'),
- Vicinity Map (Any Scale),
- North Arrow,
- Aerial Photo of Site in color.

### **PART II. PREPARE A FULLY COLORED SITE PLAN, CLEARLY AND LEGIBLY DRAWN TO SCALE WITH THE FOLLOWING INFORMATION:**

- Dimensioned Property Lines,
- Any existing buildings w/ proposed use,
- All proposed improvements including, but not limited to buildings, sidewalks, parking spaces (numbered),
- Any other site details (i.e. screen walls, trash enclosures, dumpsters, trellises, loading, storage areas,
- Proposed Landscape Plan including location, size, and common name,
- Tree Survey (separate sheet please) including number of all hardwood trees at least 8 inches in diameter, and which Trees will be removed, and which trees will remain,
- Buildings on adjacent site that are within 40 feet of any property line. Simple outline will suffice,
- Dimensioned setbacks of proposed building(s).

### **PART III. PREPARE EXTERIOR BUILDING ELEVATIONS FOR ALL FOUR SIDES OF THE BUILDING THAT ARE DRAWN CLEARLY AND LEGIBLY TO SCALE WITH THE FOLLOWING INSTRUCTIONS:**

- Building Elevations with height and width dimensions,
- Doors and window locations,
- Roof Elements,
- 3-D dimensional analysis of building elevation with appropriate landscape materials shown,
- Proposed design details, including any pedestrian seating areas, awnings and other overhead weather protection measures, fences, walls, balconies, bay windows, building materials, colors, and proposed exterior lighting,
- North Arrow,
- Aerial Photo of Site in color.

### **PART IV: DRAWING FORMAT**

- All drawings must be to scale and have a graphic scale,
- All sheets in the submittal must be the same size,
- Drawing Sheets must have a Title Block with project names, labeled for Architectural Review Board Review and submittal and revision dates

Please note this page must accommodate the ARB Scope of Work Form to be considered a valid application,





**ARB SCOPE OF WORK FORM/**

**APPLICATION / INFORMATION SUMMARY**

**DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118**

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com


Fax: 843-863-5208

<b>Property Address:</b> Henry E Brown Jr. Blvd, Goose Creek, SC 29445		<b>TMS No.:</b> 235-00-00-049
<b>Review request:</b>	<b>For:</b>	<b>Preliminary meeting date requested:</b> Nov 21, 2022
<input checked="" type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	

<b>Property Owner:</b> Daniel Sommer	<b>Daytime phone:</b> 682-209-6742	
<b>Applicant:</b> Andrew Todd-Burke	<b>Daytime phone:</b> 843-823-6793	
<b>ARB Meeting Representative:</b> Andrew Todd-Burke	<b>Contact Information:</b>	
<b>Applicant's mailing address:</b> 115 Fairchild Street - Suite 250		
<b>City:</b> Charleston	<b>State:</b> SC	<b>Zip:</b> 29492
<b>Applicant's e-mail address:</b> andrew.todd-burke@kimley-horn.com		
<b>Applicant's relationship:</b> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other		

<b>Materials/Colors Used:</b> <i>(specific color(s)/manufacture #'s listed: samples must be presented to Board attached)</i> <input checked="" type="checkbox"/>	
<i>(Example: Building Materials, Exterior Colors, Landscaping, Lighting)</i>	
Please see detailed material sheet.	
Fiber Cement Lap Siding (3", 7" and 10" exposure, wood grain texture, color: SW 2848 - Roycroft Pewter)	
Fiber Cement Board & Batten (smooth, painted, color: SW 7004 - Snowbound)	
Fiber Cement Trim (smooth, painted) ,5/4" thick U.N.O, Fiber Cement Panel - smooth, Wood Brackets - painted; Color: SW 7069 - Iron Ore)	
42" High Aluminum Guardrail (Color - Bronze, Finish - Glossy);	
Plygem Shutters - Color Peppercorn; Fascia, Gutters - Linen White; Patio Doors - Masonite, HD Steel; White Smooth, Insulated Glass	
Architectural Asphalt Shingles, Owens Corning, Color: Onyx Black	
<b>Scope of Work:</b> <i>(please give a detailed description)</i>	
300 unit garden style Multifamily development on 24.1 acres. The project consists of 10 three-story wood frame buildings with 30 units each. Total heated sqft is 307,440. Amenities include a club house with resort style pool, outdoor community spaces, pavilion, BBQ station, dog park, garage spaces and 4 electrical vehicle charging stations.	

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

**Applicant's signature:** \_\_\_\_\_  \_\_\_\_\_ **Date:** 10/18/2022

**Print name legibly:** Andrew Todd-Burke \_\_\_\_\_

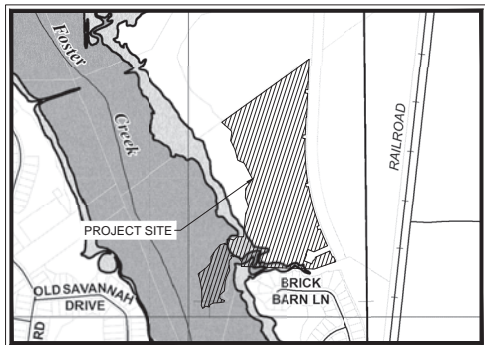
# ARCHITECTURAL REVIEW BOARD SUBMITTAL

FOR

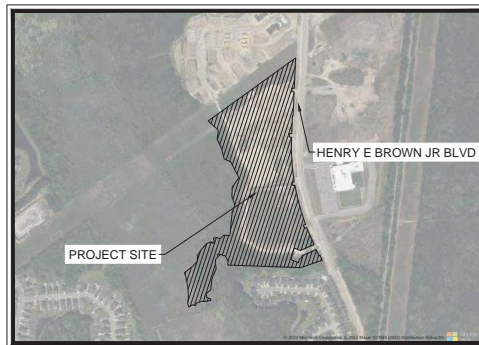
# HENRY BROWN BLVD. - MULTIFAMILY

## HENRY E BROWN JR BLVD, GOOSE CREEK, SC 29445

NO.	DATE	REVISIONS



**FEMA MAP**  
A PORTION OF THE PROJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 45015C03595E DATED 12/07/2018.



**VICINITY MAP**  
N.T.S.

**PROJECT NARRATIVE:**

THE PROPOSED PROJECT CONSISTS OF A 300 UNIT MULTI FAMILY DEVELOPMENT ON APPROXIMATELY 24.1 ACRES.

THE PROJECT ALSO INCLUDES THE CONSTRUCTION OF ASSOCIATED SURFACE PARKING, STORMWATER CONVEYANCE AND DETENTION, UTILITIES, AND TWO NEW FULL ACCESS DRIVEWAYS INTO THE PROJECT SITE FROM HENRY BROWN BOULEVARD.

**DEVELOPMENT SUMMARY:**

**SITE SUMMARY:**

ZONING: PD (PLANNED DEVELOPMENT)  
 SITE AREA: 24.1 ACRES  
 SITE IMPERVIOUS COVERAGE: 34%  
 BUILDING HEIGHT: 3 STOREYS

**BUILDING SETBACK:**  
 FRONT: 20 FT  
 SIDE: MINIMUM 15 FT  
 MIN. COMBINED 20 FT  
 REAR: 25 FT

MULTIFAMILY RESIDENTIAL BUILDINGS UNITS: 10  
 300 TOTAL UNITS

**PARKING SUMMARY:**

JURISDICTIONAL REQUIRED PARKING (MULTIFAMILY 000): 872 SPACES (TOTAL) (2 SPACES PER UNIT, 12% OF TOTAL)

**PROPOSED PARKING:**  
 STANDARD: 600 SPACES (TOTAL)  
 HANDICAP: 14 SPACES  
 ELECTRIC VEHICLE: 14 SPACES  
 GARAGE SPACES: 25 SPACES

**PROJECT CONTACTS**

**OWNER:** LIBERTY VILLAGE, LLC  
 622 JOHNNIE DODDS BLVD  
 MOUNT PLEASANT, SC 29464

**DEVELOPER:** HENRY BROWN MF INVESCO, LLC  
 222 WEST COLEMAN BLVD  
 MOUNT PLEASANT, SC 29464  
 PHONE: (843) 375-8864  
 EMAIL: BRETT@BLUECURRENTDEV.COM  
 CONTACT: BRETT WOODWARD

**ARCHITECT:** GROUP 4 ARCHITECTURAL SERVICES, LLC  
 1520 PRUDENTIAL DR  
 JACKSONVILLE, FL 32207  
 PHONE: (904) 353-5900  
 EMAIL: G4MCNABB@G4DESIGNINC.COM  
 CONTACT: GEORGE MCNABB, ASSOC. AIA

**CIVIL ENGINEER:** KIMLEY-HORN AND ASSOCIATES, INC.  
 115 FAIRCHILD STREET, SUITE 250  
 CHARLESTON, SC 29492  
 PHONE: (843) 737-6390  
 EMAIL: CASEY.WARFIELD@KIMLEY-HORN.COM  
 CONTACT: CASEY WARFIELD, P.E.

**LANDSCAPE ARCHITECT:** KIMLEY-HORN AND ASSOCIATES, INC.  
 115 FAIRCHILD STREET, SUITE 250  
 CHARLESTON, SC 29492  
 PHONE: (843) 737-6390  
 EMAIL: ANDREW.TODD-BURKE@KIMLEY-HORN.COM  
 CONTACT: ANDREW TODD-BURKE, PLA, ASLA

**SURVEYOR:** TIM ELMER RLS, LLC  
 523 MAN O WAR LANE  
 MONCKS CORNER, SC 29461  
 PHONE: (843) 482-0795  
 EMAIL: TDELMER1@AOL.COM  
 CONTACT: TIM ELMER, RLS

**SEWER PROVIDER:** BERKELEY COUNTY WATER AND SANITATION  
 212 OAKLEY PLANTATION DR  
 MONCKS CORNER, SC 29461  
 PHONE: (843) 761-8817

**WATER PROVIDER:** CITY OF GOOSE CREEK PUBLIC WORKS  
 200 BRANDYWINE BLVD  
 GOOSE CREEK, SC 29445  
 PHONE: (843) 824-2200

TMS#: 235-00-00-049  
 ZONING: PD (PLANNED DEVELOPMENT)  
 TOTAL PROPERTY AREA = 24.1 ACRES

**NOTES**

- ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REFUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
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- THERE WILL BE NO COVENANTS OR RESTRICTIONS THAT CONFLICT WITH THE PROPOSED SITE USE.

**Sheet List Table**

Sheet Number	Sheet Title
00-00	COVER SHEET
00-80	SITE AERIAL
C2-00	SITE PLAN - OVERALL
C2-01	SITE PLAN - SOUTH
C2-02	SITE PLAN - NORTH
C2-03	FIRE ACCESS PLAN
C4-00	UTILITY & DRAINAGE PLAN - OVERALL
C4-02	UTILITY & DRAINAGE PLAN - NORTH
C4-01	UTILITY & DRAINAGE PLAN - SOUTH
AE-00	AERIAL IMAGERY
L1-00	OVERALL LANDSCAPE PLAN
PH-00	SITE PHOTOS
AR-01	ARCHITECTURAL DRAWINGS
AR-02	ARCHITECTURAL DRAWINGS
AR-03	ARCHITECTURAL DRAWINGS
AR-04	ARCHITECTURAL DRAWINGS

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 115 FAIRCHILD STREET, SUITE 250  
 CHARLESTON, SC 29492  
 PHONE (843) 737-6390  
 WWW.KIMLEY-HORN.COM

SCALE: AS SHOWN	DATE: 10/18/2022
DRAWN BY: KHA	PROJECT NO: 014971000
DESIGNED BY: KHA	SHEET NUMBER: C0-00
CHECKED BY: MCW	

CLIENT: HENRY BROWN MF INVESCO, LLC  
 222 WEST COLEMAN BLVD  
 MOUNT PLEASANT, SC 29464

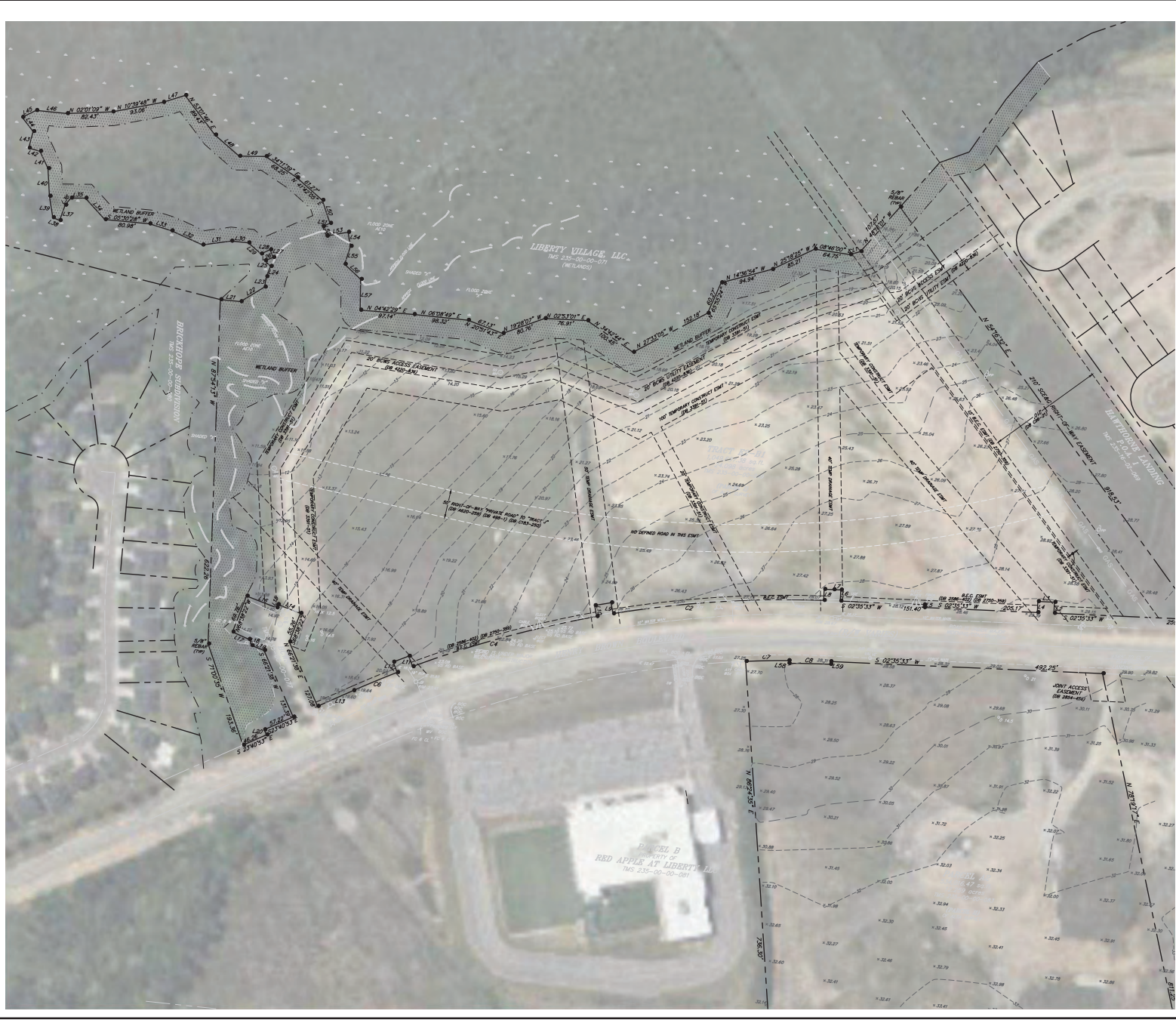
PROJECT: ARCHITECTURAL REVIEW BOARD SUBMITTAL  
 OF THE PROJECT: HENRY BROWN BLVD, MULTIFAMILY

TITLE: COVER SHEET

Owner Name: C:\Users\jrdaniel\OneDrive\Documents\Projects\2022\10182022\10182022\_10182022\_Cover\_Sheet\_A00.dwg  
 COVER SHEET\_A00  
 Oct 18, 2022 12:56 PM  
 By: Andrew, Jha  
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Owner: KIMLEY HORN CONSULTANTS, INC. 1515 PARKFIELD STREET, SUITE 200 CHARLOTTE, NC 28202-4514  
 Project: HENRY BROWN BLVD. MULTIFAMILY DEVELOPMENT, 1515 PARKFIELD STREET, SUITE 200 CHARLOTTE, NC 28202-4514  
 Date: 10/18/2022  
 Drawing: EXISTING CONDITIONS & DEMOLITION PLAN, 10/18/2022, 4514T  
 Author: T.M. ELMER, RLS  
 Checked: K.H.K.  
 Title Block: SITE AERIAL



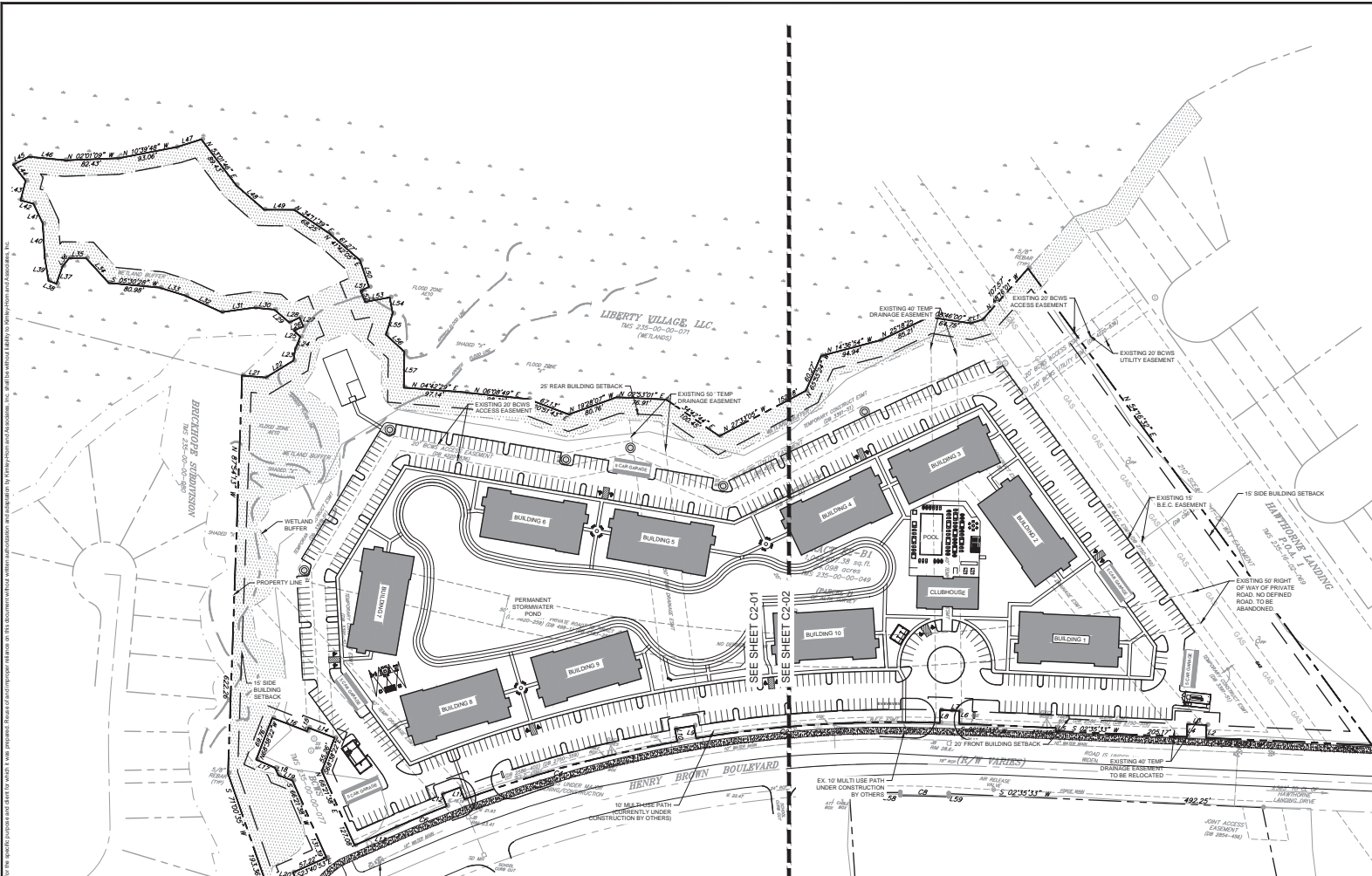
APPROVAL BOX

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- EXISTING CONDITIONS NOTES:**
- EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PREPARED BY TM ELMER RLS, LLC DATED 8/13/2022.
  - UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
  - WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
  - SITE SHALL BE CLEARED AND GRUBBED TO ALLOW FOR SITE CONSTRUCTION, REFERENCE TREE PROTECTION AND REPLACEMENT PLANS FOR LIMITS OF THE TREE CLEARING.
  - RECEIPT OF ALL PERMITS AND APPROVALS IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITY.
  - CONSTRUCTION FENCING OR SILT FENCE SHALL NOT OBSTRUCT TRAFFIC FLOW ON EXISTING STREETS UNLESS CLOSURE PERMIT IS OBTAINED.
  - CONTRACTOR SHALL CONTROL DUST LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION.
  - CONTRACTOR SHALL COORDINATE UTILITY DEMOLITION AND RELOCATION WITH THE APPROPRIATE UTILITY PROVIDER.
  - CONTRACTOR SHALL PROTECT SURROUNDING BUILDING UTILITY SERVICES DURING CONSTRUCTION AND COORDINATE ALL SERVICE IMPACTS WITH OWNER.
  - NO GRADED SLOPE SHALL EXCEED 2H:1V.
  - A PORTION OF THE PROJECT DOES LIE WITHIN A FLOOD HAZARD AREA PER FORM PANELS 45015C0596 DATED 12/07/2018.
  - CONTRACTOR SHALL MAINTAIN AN ADA COMPLAINT PEDESTRIAN PATH ALONG THE ADJACENT STREET FRONTAGE THROUGHOUT CONSTRUCTION.
  - CONTRACTOR SHALL FOLLOW ALL PROCEDURES AND RECOMMENDATIONS FROM ENVIRONMENTAL ASSESSMENTS PROVIDED BY THE OWNER.

DATE	10/18/2022
PROJECT NO.	014971000
SHEET NUMBER	C0-80
PROJECT	HENRY BROWN BLVD. MULTIFAMILY DEVELOPMENT, 1515 PARKFIELD STREET, SUITE 200 CHARLOTTE, NC 28202-4514
CLIENT	HENRY BROWN MF INVESCO, LLC 207 WEST COLLETS BLVD MOUNT PLEASANT, SC 29524
SCALE	AS SHOWN
DRAWN BY	CS
DESIGNED BY	KHK
CHECKED BY	KHK
 KIMLEY HORN CONSULTANTS, INC. 1515 PARKFIELD STREET, SUITE 200 CHARLOTTE, NC 28202-4514 PHONE (843) 774-6300 WWW.KIMLEYHORN.COM	
REVISIONS	NO.
DATE	BY

Check with: KCHA, LSCA, LSCA 161271, Bldg/Construction/Development/03, Henry Brown Blvd MP02 - RING/Plan/Sheet/C2-01, SITE PLAN, C2-14, 05/24/2022, 4:57 PM, by: Tim Melzer  
 This document is prepared under contract for the use of the client and is not to be distributed or used for any other purpose without the written consent of the architect.



LINE	BEARING	LENGTH
L1	N 167°2'36" W	19.60'
L2	N 87°24'27" W	20.00'
L3	S 02°35'33" W	30.00'
L4	S 87°24'27" W	20.00'
L5	S 87°24'27" E	5.00'
L6	N 87°24'27" W	20.00'
L7	S 02°35'33" W	13.12'
L8	S 87°24'27" E	20.00'
L9	S 80°21'32" W	20.00'
L10	N 89°02'29" E	20.00'
L11	S 63°28'11" W	20.00'
L12	N 69°18'04" E	20.00'
L13	S 23°40'53" E	70.46'
L14	N 21°21'38" E	44.00'
L15	N 68°38'22" W	6.18'
L16	N 21°21'38" E	58.01'
L17	S 24°11'41" W	32.37'
L18	S 63°28'11" W	12.22'
L19	S 21°21'38" W	24.02'
L20	N 66°18'07" E	10.00'
L21	N 05°39'17" E	36.79'
L22	N 31°11'38" W	50.82'
L23	N 80°40'46" W	19.04'
L24	N 67°16'00" W	20.00'
L25	S 43°01'14" W	14.39'
L26	N 21°44'58" W	16.00'
L27	S 68°15'02" W	15.06'
L28	S 24°45'22" E	18.16'
L29	S 41°55'58" W	30.30'
L30	S 05°56'18" W	31.15'
L31	S 07°31'33" E	52.50'
L32	S 24°11'41" W	32.37'
L33	S 12°31'05" W	41.86'
L34	S 47°58'36" W	52.02'
L35	S 00°39'15" W	26.20'
L36	S 50°22'37" E	16.46'
L37	S 70°18'00" E	29.57'
L38	S 22°45'04" W	13.40'
L39	S 81°24'59" E	39.15'
L40	S 87°04'03" W	50.14'
L41	S 65°07'29" W	34.28'
L42	S 15°53'17" W	21.15'
L43	N 75°05'09" W	31.01'
L44	S 52°31'07" W	32.34'
L45	N 26°02'33" W	28.07'
L46	N 05°54'25" E	59.27'
L47	N 17°05'33" W	41.79'
L48	N 41°19'27" E	58.15'
L49	N 00°42'39" E	47.94'
L50	N 71°40'53" E	43.62'
L51	S 23°15'51" E	14.23'
L52	N 68°15'02" E	18.77'
L53	N 10°05'03" W	39.35'
L54	N 80°39'46" E	28.73'
L55	S 71°50'30" E	34.18'
L56	N 43°20'15" E	39.71'
L57	S 89°02'12" E	55.67'
L58	N 89°46'36" W	5.00'
L59	N 87°24'27" W	5.00'

CURVE	RADIUS	DELTA	LENGTH	CH BEARING	CHORD
C1	1960.00'	0°29'36"	16.88'	S 02°20'45" W	16.88'
C2	1940.00'	117°12'09"	382.13'	S 03°32'57" E	381.52'
C3	1960.00'	0°32'37"	30.00'	S 09°38'06" E	30.00'
C4	1940.00'	107°11'09"	344.89'	S 15°10'15" E	344.43'
C5	1960.00'	0°32'37"	30.00'	S 20°44'16" E	30.00'
C6	1940.00'	2°32'00"	85.77'	S 22°24'53" E	85.77'
C7	1830.00'	2°25'24"	77.40'	S 00°59'18" E	77.39'
C8	1825.00'	2°22'09"	75.47'	S 01°24'28" W	75.46'

- SITE NOTES:**
- THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY HENRY BROWN MF INVESTCO, LLC ON 06/20/22 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
  - EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PREPARED BY TIM ELMER RLS, LLC, DATED 01/30/22.
  - ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
  - ALL STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCO, SCOT, AND SOUTH CAROLINA STATE CODE. ALL PAVEMENT MARKINGS WITHIN THE RIGHT OF WAY SHALL BE THERMOPLASTIC.
  - ALL PROPOSED SIGNAGE PER CITY OF GOOSE CREEK REQUIREMENTS.
  - REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.

GRAPHIC SCALE IN FEET  
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CLIENT: HENRY BROWN MF INVESTCO, LLC  
 PROJECT: ARCHITECTURAL REVIEW BOARD SUBMITTAL HENRY BROWN BLVD, MULTIFAMILY  
 SHEET NUMBER: C2-00  
 DATE: 10/18/2022  
 PROJECT NO.: 014971000  
 TITLE:

KIMLEY-HORN AND ASSOCIATES, INC.  
 115 PARCHEE STREET, SUITE 200  
 CHARLOTTE, NORTH CAROLINA 28202  
 PHONE (843) 774-6300  
 WWW.KIMLEY-HORN.COM



SIZE: AS SHOWN  
 DRAWN BY: KHA  
 DESIGNED BY: KHA  
 CHECKED BY: MCV

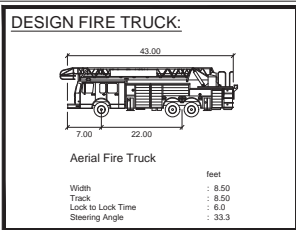
SITE PLAN - OVERALL







Owner: KIMLEY HORN CONSULTANTS INC. 115 PARCHEE STREET, SUITE 200 CHARLOTTE, NC 28202  
 Project: HENRY BROWN BLVD. MULTIFAMILY INVESTMENT  
 Drawing: FIRE ACCESS PLAN  
 Date: 10/18/2022  
 Designer: J. HORN  
 Checker: M. W.



APPROVAL BOX

NO.	DATE	BY

115 PARCHEE STREET, SUITE 200  
CHARLOTTE, NC 28202  
PHONE (843) 774-8300  
WWW.KIMLEYHORN.COM

USE: AS SHOWN  
DRAWN BY: KHA  
DESIGNED BY: KHA  
CHECKED BY: MCW

PROJECT:

ARCHITECTURAL REVIEW BOARD SUBMITTAL  
HENRY BROWN BLVD. MULTIFAMILY INVESTMENT

CLIENT:

HENRY BROWN MF INVESTMENT LLC  
200 WEST CAROLINA BLVD.  
MOUNT PLEASANT, SC 29524

TITLE:

FIRE ACCESS PLAN

DATE:

10/18/2022

PROJECT NO.:

014971000

SHEET NUMBER:

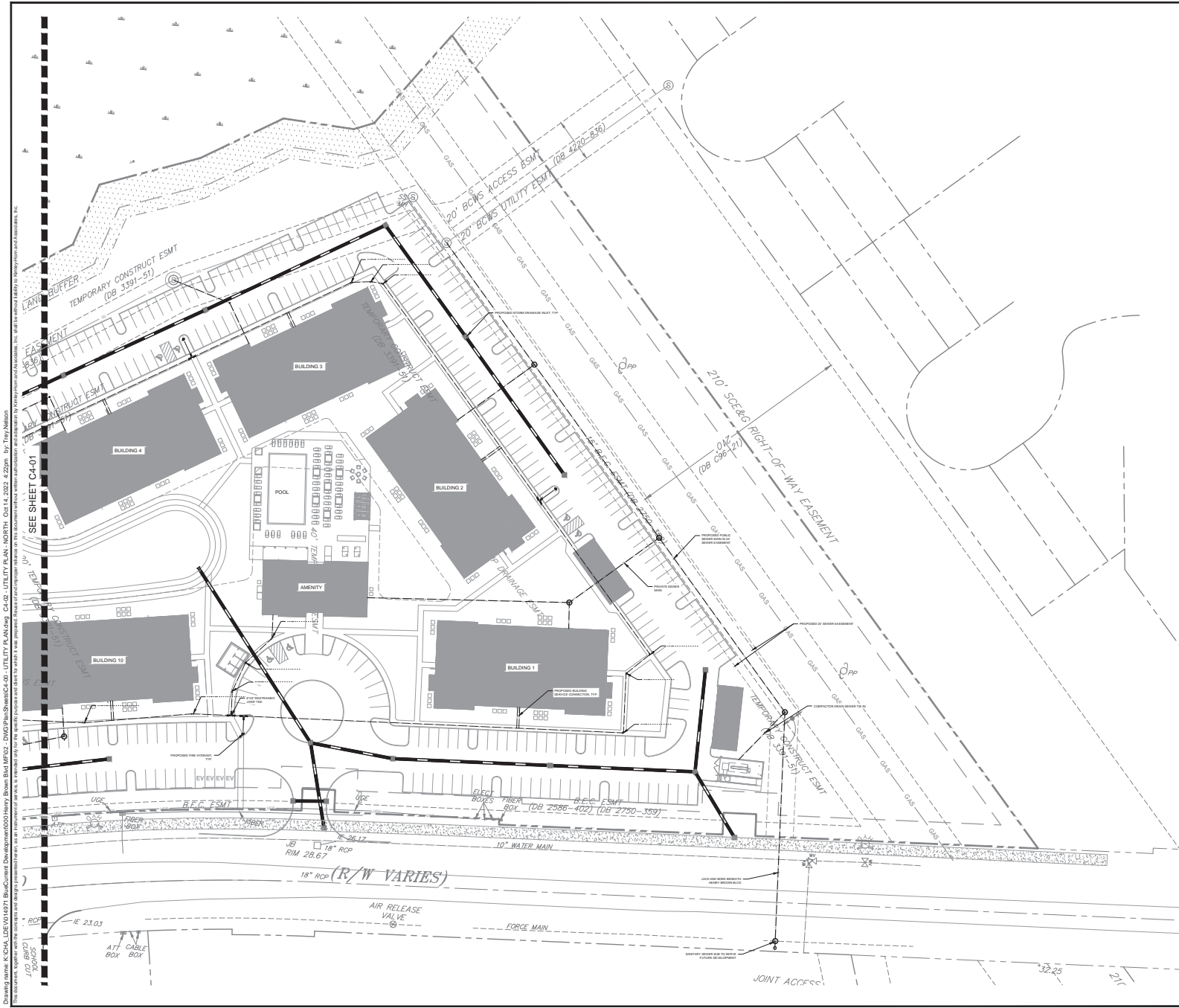
C2-03

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**UTILITY NOTES:**

1. ALL SANITARY SEWER CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
2. CONTRACTOR SHALL COORDINATE UTILITY CONNECTION AND REROUTING LOCATIONS WITH APPLICABLE AGENCIES.
3. ALL SANITARY SEWER UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH BERKELEY COUNTY WATER AND SANITATION SANITARY SEWER DETAILS AND SPECIFICATIONS.
4. ALL WATER UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF GOOSE CREEK PUBLIC WORKS WATER DETAILS AND SPECIFICATIONS.
5. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
6. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR THE USES.
7. ALL UTILITY CONNECTIONS END AT S OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR BUILDING LAYOUT AND INTERNAL UTILITY SERVICE.
8. ALL ONSITE UTILITIES SHALL BE LOCATED UNDERGROUND.
9. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.

**UTILITY LEGEND:**

- PROPOSED DOMESTIC WATER LINE
- PROPOSED ELECTRIC LINE
- PROPOSED TELECOMMUNICATIONS
- PROPOSED SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- SANITARY SEWER GREASE TRAP
- WATER VALVE
- FIRE DEPARTMENT CONNECTION (FDC)
- FIRE HYDRANT
- POST INDICATOR VALVE (PIV)
- WATER MAIN TAPPING SLEEVE
- WATER CONNECTIONS AND BENDS

  
 GRAPHIC SCALE IN FEET  
  
**South Carolina**  
CONSTRUCTION

APPROVAL BOX	
NO.	DATE

NO.	REVISIONS	DATE	BY

**Kimley Horn**  
 4032 KIMLEY HORN AND ASSOCIATES, INC.  
 115 PARCELLED STREET, SUITE 200  
 CHARLOTTE, NORTH CAROLINA 28203  
 PHONE: (843) 774-6300  
 WWW.KIMLEY-HORN.COM



SCALE	AS SHOWN
DRAWN BY	RMA
DESIGNED BY	RMA
CHECKED BY	MCV

CLIENT:  
**HENRY BROWN MF  
 INVESCO, LLC**  
 527 WEST COLUMBIAN BLVD  
 MOUNT PLEASANT, SC 29524

PROJECT:  
**ARCHITECTURAL REVIEW BOARD SUBMITTAL  
 HENRY BROWN BLDV. MULTIFAMILY**  
CITY OF BOONVILLE, NORTH CAROLINA

TITLE:  
**UTILITY & DRAINAGE PLAN - NORTH**

DATE: 10/18/2022  
 PROJECT NO. 014971000  
 SHEET NUMBER  
**C4-02**

Owner: KIMLEY HORN AND ASSOCIATES, INC. (KHA) 4032 KIMLEY HORN AND ASSOCIATES, INC. 115 PARCELLED STREET, SUITE 200 CHARLOTTE, NORTH CAROLINA 28203  
 Designer: KIMLEY HORN AND ASSOCIATES, INC. (KHA) 4032 KIMLEY HORN AND ASSOCIATES, INC. 115 PARCELLED STREET, SUITE 200 CHARLOTTE, NORTH CAROLINA 28203  
 Date: 10/18/2022  
 Project No.: 014971000  
 Sheet No.: C4-02  
 Scale: AS SHOWN  
 Drawn By: RMA  
 Designed By: RMA  
 Checked By: MCV  
 Title: UTILITY & DRAINAGE PLAN - NORTH  
 Client: HENRY BROWN MF INVESCO, LLC  
 Project: ARCHITECTURAL REVIEW BOARD SUBMITTAL HENRY BROWN BLDV. MULTIFAMILY  
 City: BOONVILLE, NORTH CAROLINA



Drawing made by: KCH&A, L18010140011, Bar-Cross Development000 Henry Brown Blvd LP02 - DNEP(Pre-Board)1, LCO - LANDSCAPE PLANNING AERIAL - Oct 14, 2022, 10:09am, in: Coastal Areas  
 This document, together with all the contents and drawings prepared hereon, is the property of KCH&A. It is loaned only to the specific project and user for the project. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of KCH&A.



  
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 CALL 811 OR VISIT SC811.COM

APPROVAL BOX

<p>PROJECT: ARCHITECTURAL REVIEW BOARD SUBMITTAL          CLIENT: HENRY BROWN MF INVESTCO, LLC          305 WEST COLLEGE BLVD          MONTELEONE, SC 29064</p> <p>SCALE: AS SHOWN          DRAWN BY: KHA          DESIGNED BY: KHA          CHECKED BY: MCH</p> <p>DATE: 10/18/2022          PROJECT NO: 014971000          SHEET NUMBER: AE-00</p>	<p style="text-align: center;">AERIAL IMAGERY</p> <p style="text-align: center;">   <b>Kimley-Horn</b>  <small>© 2022 KIMLEY-HORN ASSOCIATES, INC.          1155 PARSONS STREET, SUITE 250          CHARLOTTE, NC 28202          PHONE (704) 772-4200          WWW.KIMLEY-HORN.COM</small> </p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>0</td> <td></td> <td></td> <td></td> </tr> <tr> <td>1</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> <td></td> </tr> <tr> <td>6</td> <td></td> <td></td> <td></td> </tr> <tr> <td>7</td> <td></td> <td></td> <td></td> </tr> <tr> <td>8</td> <td></td> <td></td> <td></td> </tr> <tr> <td>9</td> <td></td> <td></td> <td></td> </tr> <tr> <td>10</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	NO.	REVISIONS	DATE	BY	0				1				2				3				4				5				6				7				8				9				10			
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Mid-Rise Garden Style

**Project Overview:**

10 Buildings (3 Story, Wood Frame)

300 Units

307,440 Heated SF

355,940 Gross SF

Amenities: Club House, Fitness Center, Swimming Pool, Outdoor Community Spaces, Pavilion, BBQ Station, Dog Park, Garage Space

4 Electric Vehicle Charging Stations



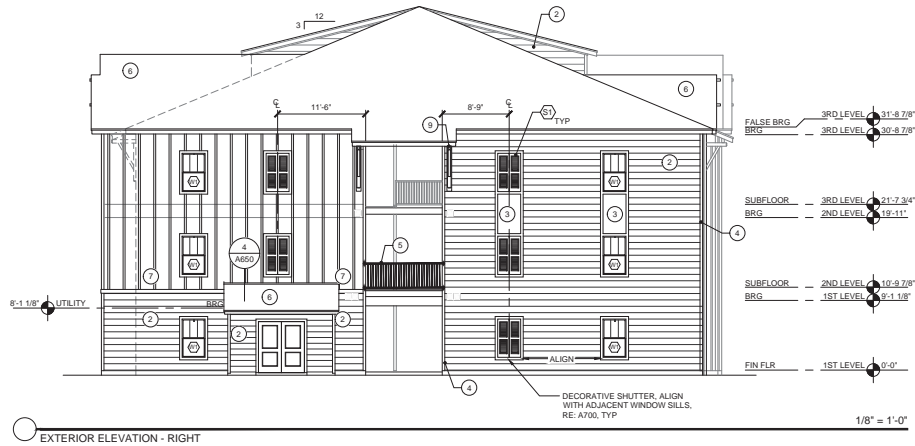
**Henry Brown Multifamily**  
Blue Current Development LLC & Whitefield Capital LLC  
architecture | interiors | planning





Henry Brown Multifamily  
Blue Current Development LLC & Whitefield Capital LLC  
architecture | interiors | planning

architecture



MATERIAL LEGEND	
1	FIBER CEMENT LAP SIDING, 7" EXPOSURE, PAINTED
2	FIBER CEMENT LAP SIDING, 10" EXPOSURE, PAINTED
3	FIBER CEMENT PANEL, SMOOTH, PAINTED
4	FIBER CEMENT TRIM, SMOOTH, PAINTED
5	42" HIGH ALUMINUM GUARDRAIL
6	ARCHITECTURAL ASPHALT SHINGLES
7	FIBER CEMENT BOARD AND BATTEN, SMOOTH, PAINTED
8	FIBER CEMENT LAP SIDING, 3" EXPOSURE, PAINTED
9	B1, PAINTED, RE: BRACKET SCHEDULE A701
10	B2, PAINTED, RE: BRACKET SCHEDULE A701
11	B3, PAINTED, RE: BRACKET SCHEDULE A701
GENERAL MATERIALS (UNO)	
FIBER CEMENT TRIM: SMOOTH: PAINTED: 5/4" THICK U.N.O. ALL DOOR / WINDOW TRIM AT FIBER CEMENT WALLS RE: DETAILS	
ALL FIBER CEMENT LAP SIDING: WOOD GRAIN TEXTURE	
WALLS OR SECTION OF WALLS RECEIVING BOARD AND BATTEN TO HAVE BATTENS EQUALLY SPACED, STARTING ON CENTER AND SPACED OUTWARD	
SUBMIT SAMPLES FOR APPROVAL BY AOR	
EXTERIOR COLORS	
a	COLOR 1
b	COLOR 2
c	COLOR 3
d	COLOR 4
e	COLOR 5



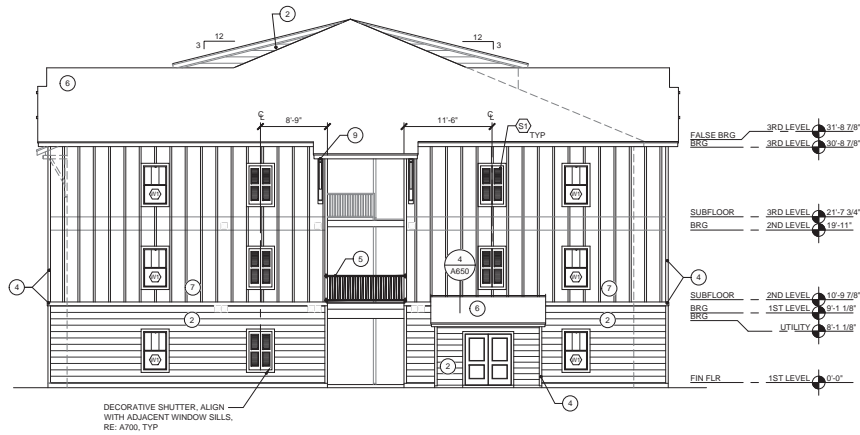
Henry Brown Multifamily  
Blue Current Development LLC & Whitefield Capital LLC  
architecture | interiors | planning

Mid-Rise Garden Style

**Please note:**  
Middle section to be built with board & batten, as depicted in color elevation/rendering







EXTERIOR ELEVATION - LEFT



EXTERIOR ELEVATION - REAR

MATERIAL LEGEND	
1	FIBER CEMENT LAP SIDING, 7" EXPOSURE, PAINTED
2	FIBER CEMENT LAP SIDING, 10" EXPOSURE, PAINTED
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b	- COLOR 2
c	- COLOR 3
d	- COLOR 4
e	- COLOR 5

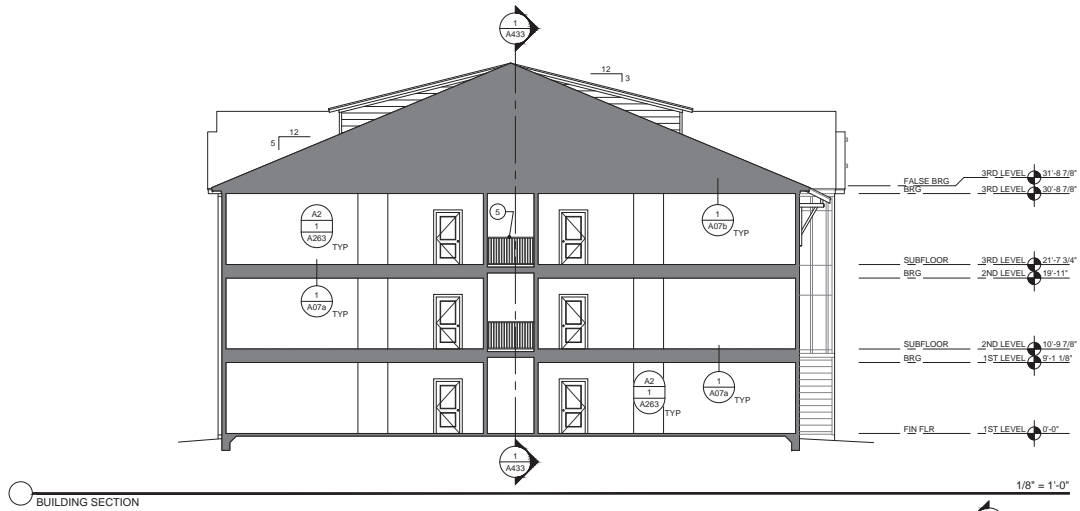


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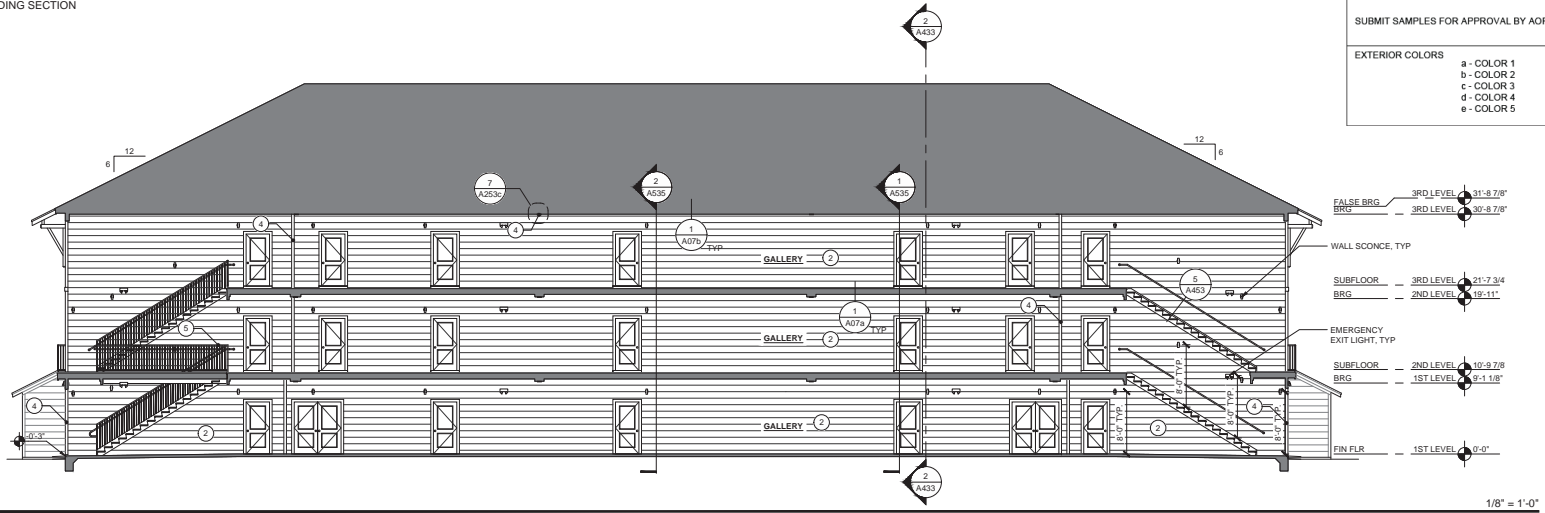
Mid-Rise Garden Style

**Please note:**  
 Middle section to be built with board & batten, as depicted in color elevation/rendering





BUILDING SECTION



BUILDING SECTION

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a -	COLOR 1
b -	COLOR 2
c -	COLOR 3
d -	COLOR 4
e -	COLOR 5



# Henry Brown Multifamily

Blue Current Development LLC & Whitefield Capital LLC

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# Street View 3 D Rendering

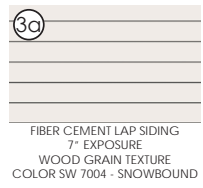
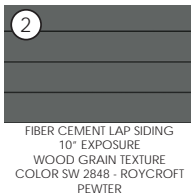
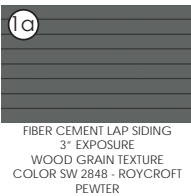
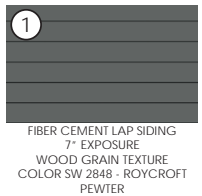
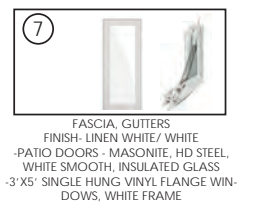


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architecture



# Material & Color Sheet

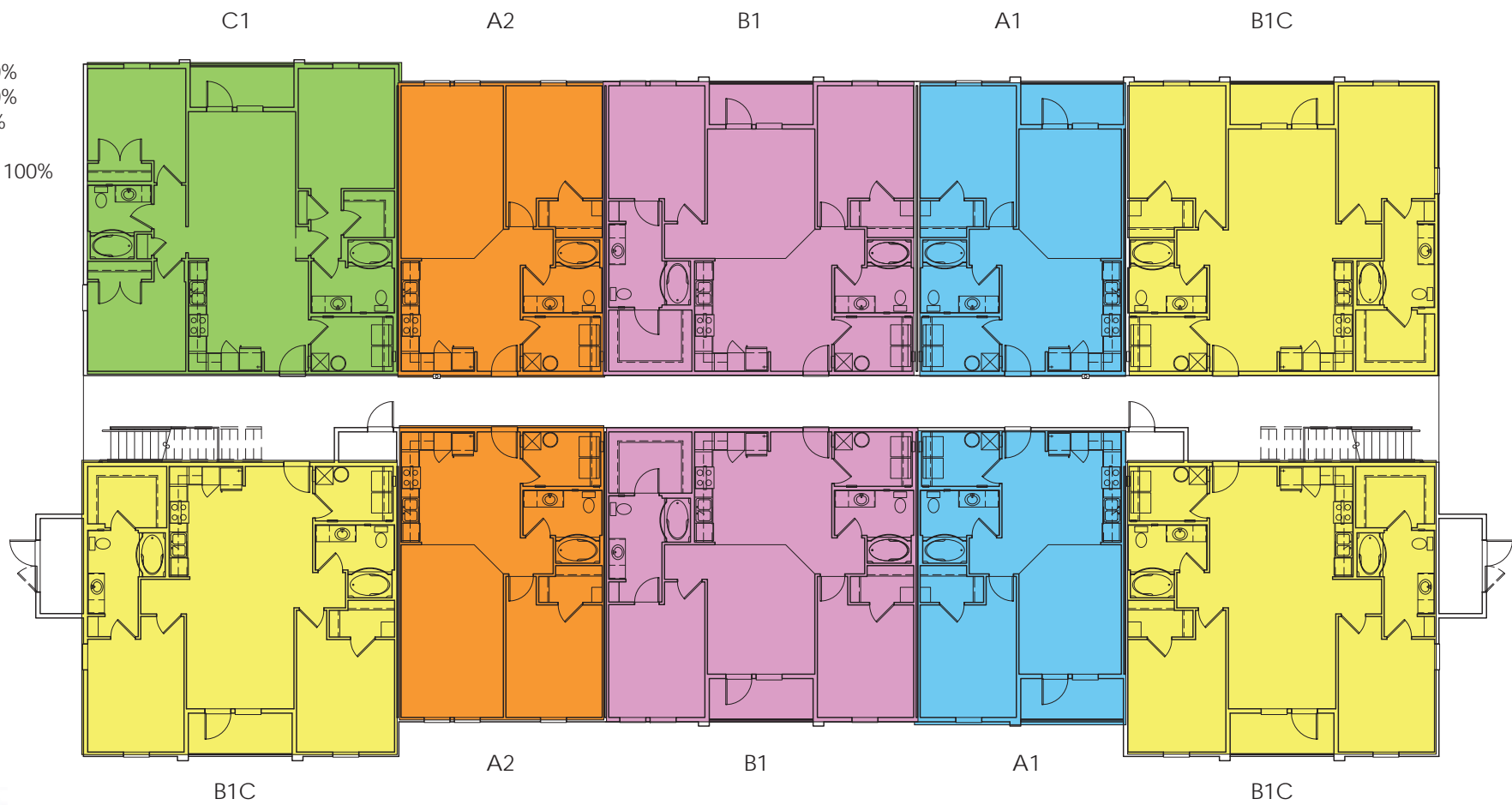


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# Floor Plan - 1st Floor

1BR:12= 40%  
 2BR:15= 50%  
 3BR:3= 10%  
 TOTAL:30= 100%



First Floor  
 156'-8" X 80'-0"



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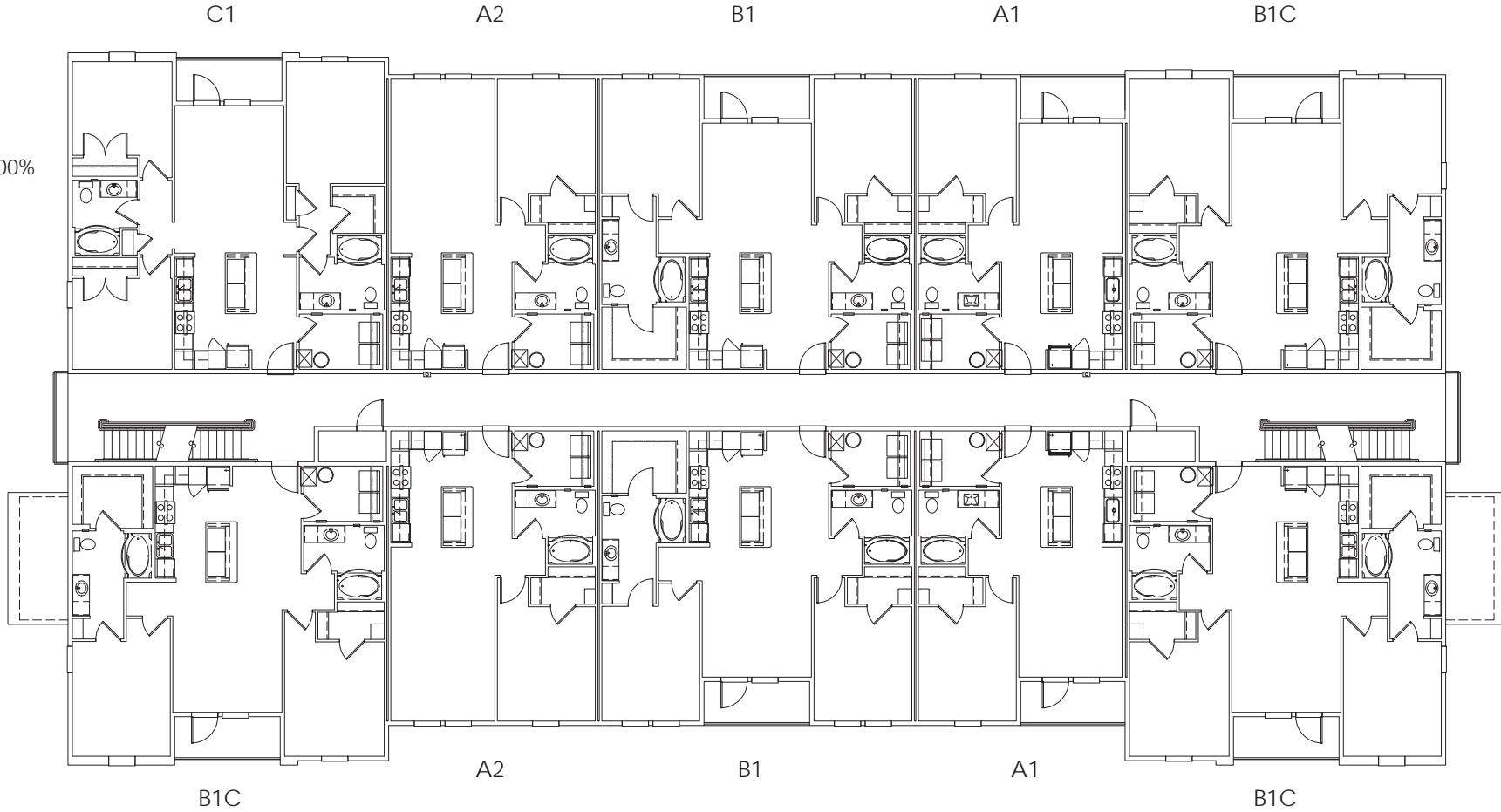
	FLOORPLAN	UNITS	%
<b>One Bedroom</b>	1Bed/1Bath	120	40%
<b>Two Bedroom</b>	2Bed/2Bath	150	50%
<b>Three Bedroom</b>	3Bed/2Bath	30	10%
<b>GRAND TOTALS</b>		300	100%

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# Floor Plan - 2nd Floor

1BR:12= 40%  
 2BR:15= 50%  
 3BR:3= 10%  
 TOTAL:30= 100%



Second Floor  
 156'-8" X 80'-0"

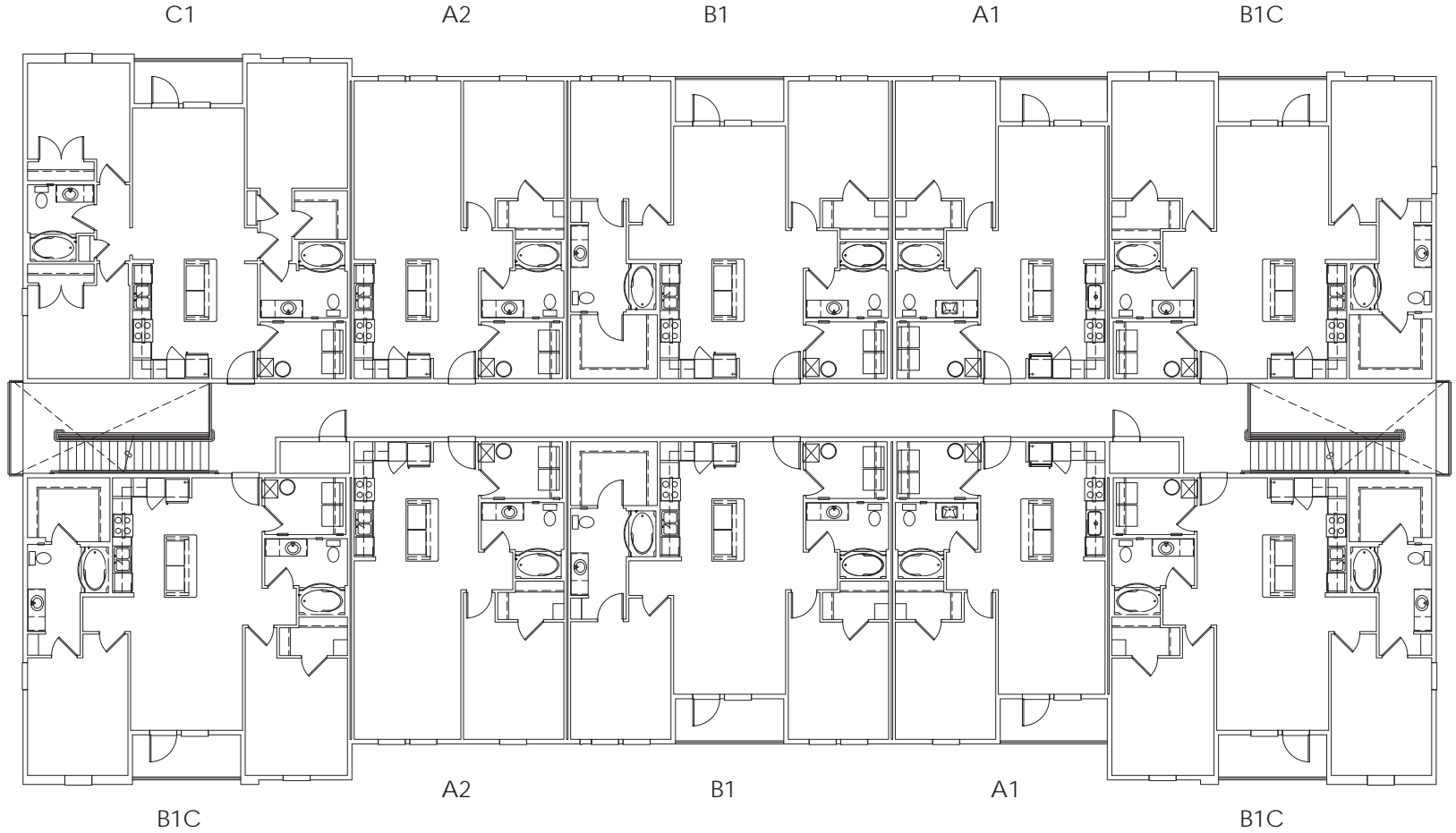


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# Floor Plan - 3rd Floor

1BR:12= 40%  
 2BR:15= 50%  
 3BR:3= 10%  
 TOTAL:30= 100%



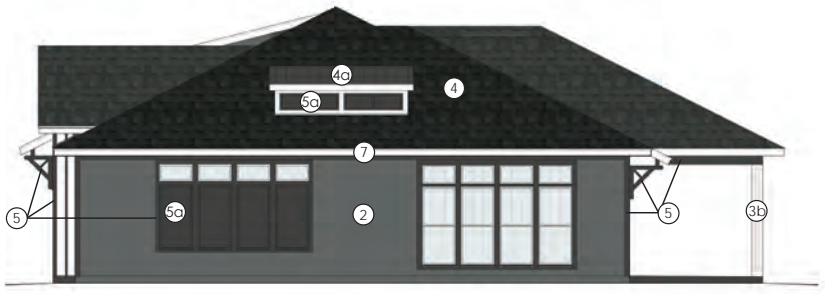
Third Floor  
 156'-8" X 80'-0"



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# Club House - Elevations, Material & Color Sheet



SIDE ELEVATION



FRONT ELEVATION



7  
 FASCIA, GUTTERS  
 FINISH- LINEN WHITE/ WHITE  
 -PATIO DOORS - MASONITE, HD STEEL,  
 WHITE SMOOTH, INSULATED GLASS  
 -3'X5' SINGLE HUNG VINYL FLANGE WIN-  
 DOWS, WHITE FRAME

<p>2</p>	<p>3</p>	<p>3b</p>	<p>4</p>	<p>4c</p>	<p>5</p>	<p>5c</p>
<p>FIBER CEMENT LAP SIDING              10" EXPOSURE              WOOD GRAIN TEXTURE              COLOR SW 2848 - ROYCROFT              PEWTER</p>	<p>FIBER CEMENT BOARD &amp; BATTEN              SMOOTH, PAINTED              COLOR SW 7004 - SNOWBOUND</p>	<p>FIBER CEMENT PANEL              SMOOTH, PAINTED              COLOR: SW 7004 SNOWBOUND</p>	<p>ARCHITECTURAL ASPHALT SHINGLES              OWENS CORNING              COLOR: ONYX BLACK</p>	<p>METAL ROOFING              TRI COUNTY METALS              COLOR: MATTE BLACK</p>	<p>FIBER CEMENT TRIM - SMOOTH, PAINTED,              5/4" THICK U.N.O              FIBER CEMENT PANEL- SMOOTH              WOOD BRACKETS - PAINTED              COLOR: SW 7069 IRON ORE</p>	<p>FIBER CEMENT LAP SIDING              3" EXPOSURE              WOOD GRAIN TEXTURE              COLOR SW 7069 IRON ORE</p>

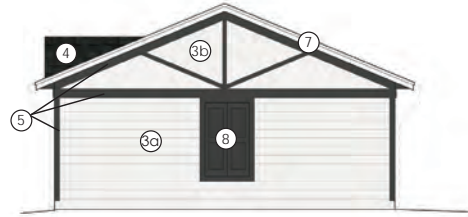


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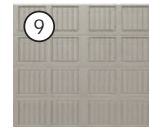
# 5 Car Garage Building - Elevations, Material & Color Sheet



SIDE ELEVATION



FRONT ELEVATION



STEEL OVERHEAD GARAGE DOORS  
MFR: WAYNE DALTON OR EQ  
MODEL: 9100 CLASSIC STEEL SONOMA  
COLOR SW 2848 - ROYCROFT PEWTER



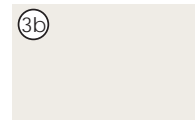
PLYGEM SHUTTERS  
1'-6" X 5'-0" LOUVER  
VINYL FIXED  
COLOR SW 7069 - IRON ORE



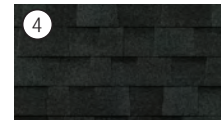
FASCIA, GUTTERS  
FINISH- LINEN WHITE/ WHITE



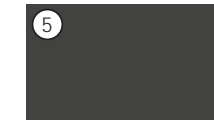
FIBER CEMENT LAP SIDING  
7" EXPOSURE  
WOOD GRAIN TEXTURE  
COLOR SW 7004 - SNOWBOUND



FIBER CEMENT PANEL  
SMOOTH, PAINTED  
COLOR: SW 7004 SNOWBOUND



ARCHITECTURAL ASPHALT SHINGLES  
OWENS CORNING  
COLOR: ONYX BLACK



FIBER CEMENT TRIM - SMOOTH, PAINTED,  
5/4" THICK U.N.O  
FIBER CEMENT PANEL- SMOOTH  
WOOD BRACKETS - PAINTED  
COLOR: SW 7069 IRON ORE



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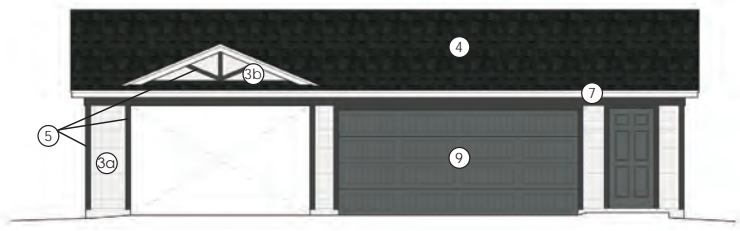
architecture

# Maintenance Building - Elevations, Material & Color Sheet

SIDE ELEVATION



FRONT ELEVATION



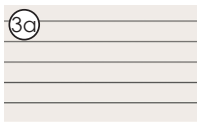
9  
STEEL OVERHEAD GARAGE DOORS  
MFR: WAYNE DALTON OR EQ  
MODEL: 9100 CLASSIC STEEL SONOMA  
COLOR SW 2848 - ROYCROFT PEWTER



8  
PLYGEM SHUTTERS  
1'-6" X 5'-0" LOUVER  
VINYL FIXED  
COLOR SW 7069 - IRON ORE



7  
FASCIA, GUTTERS  
FINISH- LINEN WHITE/ WHITE



3c  
FIBER CEMENT LAP SIDING  
7" EXPOSURE  
WOOD GRAIN TEXTURE  
COLOR SW 7004 - SNOWBOUND



3b  
FIBER CEMENT PANEL  
SMOOTH, PAINTED  
COLOR: SW 7004 SNOWBOUND



4  
ARCHITECTURAL ASPHALT SHINGLES  
OWENS CORNING  
COLOR: ONYX BLACK



5  
FIBER CEMENT TRIM - SMOOTH, PAINTED,  
5/4" THICK U.N.O  
FIBER CEMENT PANEL- SMOOTH  
WOOD BRACKETS - PAINTED  
COLOR: SW 7069 IRON ORE



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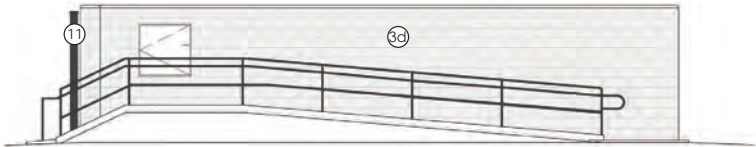
architecture

# Refuse Collection - Elevations, Material & Color Sheet

SIDE ELEVATION



FRONT ELEVATION



3c



SPLIT FACE CONCRETE WALL  
COLOR SW 7004 - SNOWBOUND

10



PT WOOD SLATS ON STEEL FRAME, UN-BRUSHED AND PAINTED  
COLOR: SW 2848 - ROYCROFT PEWTER

11



6" SQ TUBE STEEL COLUMNS SET IN CON-  
CRETE FOUNDATION  
STEEL TUBES PRIMED AND PAINTED  
COLOR: SW 7069 IRON ORE



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Owner: Hensley Clubhouse/Architectural Review Board Submittal - Lighting Plan - Oct 14, 2022 - 1:30pm - Mr. Andrew Allen  
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### DOMINION ENERGY LIGHTING

**FIXTURE**

**Area Lighting (Black or Gray)**  
 This cutoff style cobrahead emanates useful light at lower angles for a precise distribution. Optics are computer-designed for maximum performance.

**WATTAGE/TYPE**

- 70 Watt LED, 9,527 Lumens
- 110 Watt LED, 15,360 Lumens
- 150 Watt LED, 19,078 Lumens
- 200 Watt LED, 27,230 Lumens
- 270 Watt LED, 33,879 Lumens
- 370 Watt LED, 46,190 Lumens

**AREA OF ILLUMINATION**

**POLE**

**Black Fiberglass**  
 A simple black tapered fiberglass pole will complement a variety of decorative lighting fixtures.

**Classification**  
 Decoration, Parking Lot, Roadway or Security

**Mounting Height**  
 13'-25'

**LEGEND:**

- PROPERTY LINE
- - - LANDSCAPE BUFFER LINE
- - - BUILDING SETBACK LINE
- ☀ LIGHT POLE LOCATION
- ILLUMINATION ZONE

GRAPHIC SCALE IN FEET  
 0 40 80 160  
  
 CALL BEFORE YOU DIG

APPROVAL BOX	

PROJECT: ARCHITECTURAL REVIEW BOARD SUBMITTAL HENRY BROWN BLVD. MULTIFAMILY CITY OF DOOR COUNTY, SOUTH CAROLINA	DATE	10/18/2022
	PROJECT NO.	014971000
	SHEET NUMBER	L3-00
	TITLE	LIGHTING PLAN
	CLIENT	HENRY BROWN MF INVESCO, LLC 507 WEST COLUMBIAN BLVD MOUNT PLEASANT, SC 29564
SCALE	AS SHOWN	
DRAWN BY	AJA	
DESIGNED BY	AJA	
CHECKED BY	ATB	
 115 PARCHEL STREET, SUITE 200 CHARLOTTE, NC 28202 PHONE (843) 737-8300 WWW.KIMLEY-HORN.COM		
NO.	REVISIONS	DATE
1		10/18/2022
2		
3		
4		
5		



**CITY OF GOOSE CREEK BOARDS AND COMMISSIONS MEETING SCHEDULE & APPLICATION DEADLINES  
JANUARY 2023 - DECEMBER 2023**

<b>PLANNING COMMISSION</b>					
<b>Application deadline is 5:00 p.m. of the deadline date</b> , to include fees paid, documents submitted and application approval given by the Zoning Administrator.					
ii Tuesday, July 4th, is recognized as an official City holiday-meeting will take place on Monday, July 10th.					
<u>MEETING DATE</u>	<u>MEETING DAY</u>	<u>MEETING TIME</u>	<u>MEETING PLACE</u>	<u>APPLICATION DEADLINE</u>	<u>APPLICATION DAY</u>
01/03/23	TUESDAY	6:00 P.M.	CITY HALL	12/07/22	WEDNESDAY
02/07/23	TUESDAY	6:00 P.M.	CITY HALL	01/04/23	WEDNESDAY
03/07/23	TUESDAY	6:00 P.M.	CITY HALL	02/08/23	WEDNESDAY
04/04/23	TUESDAY	6:00 P.M.	CITY HALL	03/08/23	WEDNESDAY
05/02/23	TUESDAY	6:00 P.M.	CITY HALL	04/05/23	WEDNESDAY
06/06/23	TUESDAY	6:00 P.M.	CITY HALL	05/03/23	WEDNESDAY
7/10/2023 ii	MONDAY	6:00 P.M.	CITY HALL	06/07/23	WEDNESDAY
08/01/23	TUESDAY	6:00 P.M.	CITY HALL	07/11/23	TUESDAY
09/05/23	TUESDAY	6:00 P.M.	CITY HALL	08/02/23	WEDNESDAY
10/03/23	TUESDAY	6:00 P.M.	CITY HALL	09/06/23	WEDNESDAY
11/07/23	TUESDAY	6:00 P.M.	CITY HALL	10/04/23	WEDNESDAY
12/05/23	TUESDAY	6:00 P.M.	CITY HALL	11/08/23	WEDNESDAY

<b>ARCHITECTURAL REVIEW BOARD</b>					
<b>Application deadline is 5:00 p.m. of the deadline date.</b>					
For Major Applications, the project will need to be reviewed by staff, comments/corrections issued to the applicant/ architect/engineer, and comments addressed/corrections made by the applicant/architect/engineer prior to submittal of the application on the deadline.					
ii Monday, January 16th, is Martin Luther King, Jr.'s birthday and is recognized as an official City holiday-meeting will be held on Tuesday, January 17th.					
<u>MEETING DATE</u>	<u>MEETING DAY</u>	<u>MEETING TIME</u>	<u>MEETING PLACE</u>	<u>APPLICATION DEADLINE</u>	<u>APPLICATION DAY</u>
1/17/2023 ii	TUESDAY	6:00 P.M.	CITY HALL	12/20/22	TUESDAY
02/20/23	MONDAY	6:00 P.M.	CITY HALL	01/18/23	WEDNESDAY
03/20/23	MONDAY	6:00 P.M.	CITY HALL	02/21/23	TUESDAY
04/17/23	MONDAY	6:00 P.M.	CITY HALL	03/21/23	TUESDAY
05/15/23	MONDAY	6:00 P.M.	CITY HALL	04/18/23	TUESDAY
06/19/23	MONDAY	6:00 P.M.	CITY HALL	05/16/23	TUESDAY
07/17/23	MONDAY	6:00 P.M.	CITY HALL	06/20/23	TUESDAY
08/21/23	MONDAY	6:00 P.M.	CITY HALL	07/18/23	TUESDAY
09/18/23	MONDAY	6:00 P.M.	CITY HALL	08/22/23	TUESDAY
10/23/23	MONDAY	6:00 P.M.	CITY HALL	09/19/23	TUESDAY
11/20/23	MONDAY	6:00 P.M.	CITY HALL	10/24/23	TUESDAY
12/18/23	MONDAY	6:00 P.M.	CITY HALL	11/21/23	TUESDAY

Please visit the City Website at [www.cityofgoosecreek.com](http://www.cityofgoosecreek.com) for Agendas and Meeting Packet Information, or feel free to contact the Department of Planning and Zoning at (843)797-6220, email: [planning-zoning@cityofgoosecreek.com](mailto:planning-zoning@cityofgoosecreek.com)