



THE CITY OF  
**GOOSE CREEK**

BERKELEY CO. EST. 1961 SO. CAROLINA

**SUPPORTING MATERIALS FOR  
ARCHITECTURAL REVIEW BOARD**

**Monday, June 15, 2020**

**6:30 PM**

**MARGUERITE BROWN MUNICIPAL CENTER  
CITY HALL COUNCIL CHAMBERS  
519 N. GOOSE CREEK BLVD.  
GOOSE CREEK, SOUTH CAROLINA**

# MEMORANDUM

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**TO:** MEMBERS OF THE ARCHITECTURAL REVIEW BOARD

**FROM:** LILI ORTIZ-LUDLUM, ADMINISTRATIVE ASSISTANT

**DATE:** June 11, 2020

**SUBJECT:** MEETING NOTIFICATION

**WHERE:** CITY HALL COUNCIL CHAMBERS

This is to remind everyone that the next meeting of the Architectural Review Board is scheduled for Monday, June 15, 2020 at 6:30 p.m. at City Hall.

Please review the enclosed packet. Should you have any questions or comments prior to Monday's meeting, please do not hesitate to contact Brenda Moneer, Planning and Zoning Technician (x1116) or Mark Brodeur, Planning and Zoning Director(x.1118) at 843-797-6220.



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**Minutes**  
April 20, 2020

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**MINUTES  
CITY OF GOOSE CREEK  
ARCHITECTURAL REVIEW BOARD MEETING  
MONDAY, APRIL 20, 2020, 5:30 P.M.  
VIA VIDEO CONFERENCE**

**I. CALL TO ORDER**

Vice Chairman Risso called the meeting to order at 5:30 p.m.

**II. ROLL CALL**

**Present:** Gary Becker; Ricky Dresel; Tom Risso; David Cantrill; Jen Wise; Lisa Burdick  
**Absent:** Sharon Clopton  
**Staff Present:** Interim City Administrator Daniel Moore; Director of Planning and Zoning Mark Brodeur; Planning Technician Brenda Moneer

**III. REVIEW OF MINUTES: FEBRUARY 17, 2020**

**Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Dresel, **Seconded by** Board Member Becker.  
**Discussion:** Abstain from vote Board Member Cantrill, and Board Member Burdick.  
**Roll Call Vote:** Board Member Becker, Board Member Dresel, Board Member Risso, *Board Member Cantrill-Abstain*, Board Member Wise and *Board Member Burdick-Abstain*, 4 voted in favor with 2 abstained (4-0). Motion carried.

**IV. MINOR APPLICATIONS: Old Business**

**A. Food Lion – 142 St. James Av- Existing Awning Paint**

The Board reviewed the revised application. There was a lengthy discussion about the color proposed not matching the Food Lion Blue.

**Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Becker, **Seconded by** Board Member Burdick.  
**Discussion:** There was none.  
**Roll Call Vote:** Board Member Becker, Board Member Dresel, Board Member Risso, Board Member Cantrill, Board Member Wise and Board Member Burdick, 5 voted in favor, 1 voted against (5-1). Motion carried.

**V. MINOR APPLICATIONS: New Business**

**B. Team Martial Arts – 214 St. James Av-Wall Mount and Tenant Panels Signage**

**Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Cantrill, **Seconded by** Board Member Becker.

**Discussion:** There was none.

**Roll Call Vote:** Board Member Becker, Board Member Dresel, Board Member Risso, Board Member Cantrill, Board Member Wise and Board Member Burdick, all voted in favor, (6-0). Motion carried.

**VI. MAJOR APPLICATIONS: New Business – Brick Hope Storage Facility**

**B. Henry Brown Blvd – Site, Parking, Landscape, Elevations, Color, and Material Samples**

The applicant presented the proposal to the Board with slides being shared via Zoom. The Board addressed the parking, lighting, RV storage area, and parapets roof top.

**Motion:** A motion was made to accept the application as submitted, contingent on fencing and landscaping on the Northern property line in working with City Planning. **Moved by** Board Member Cantrill, **Seconded by** Board Member Becker.

**Discussion:** There was none.

**Roll Call Vote:** Board Member Becker, Board Member Dresel, Board Member Risso, Board Member Cantrill, Board Member Wise and Board Member Burdick, 5 voted in favor (5-0). Motion carried.

**VII. COMMENTS FROM THE BOARD**

There were none.

**VIII. COMMENTS FROM STAFF**

There were none.

**IX. ADJOURNMENT**

**Motion:** A motion was made to adjourn the meeting. **Moved by** Board Member Dresel, **Seconded by** Board Member Wise.

**Discussion:** There was none.

**Roll Call Vote:** All voted in favor. The meeting adjourned at 6:40pm.

\_\_\_\_\_  
Tom Risso, Vice Chairperson

Date \_\_\_\_\_



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**Minutes**  
May 18, 2020

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**MINUTES  
CITY OF GOOSE CREEK  
ARCHITECTURAL REVIEW BOARD MEETING  
MONDAY, MAY 18, 2020, 5:30 P.M.  
VIA VIDEO CONFERENCE**

**I. CALL TO ORDER**

Vice Chairman Risso called the meeting to order at 5:30 p.m.

**II. ROLL CALL**

**Present:** Gary Becker; Ricky Dresel; Tom Risso; David Cantrill; Jen Wise; Lisa Burdick  
**Absent:** Sharon Clopton  
**Staff Present:** Interim City Administrator Daniel Moore; Director of Planning and Zoning Mark Brodeur

**III. NEW BUSINESS - MINOR APPLICATIONS**

**A) Creekside Consignments LLC – 129 Plantation North Blvd. Wall Mount Signage**

Mr. Hugh Welch of Carolina Sign Company presented the proposed sign for Creekside Consignments LLC. He stated the proposal is for two (2) yellow and black LED internally lit channel letter signs. He stated one sign will be located on the front of the building and the second will be located in the rear. It was stated each individual letter was calculated equaling twenty-five (25) feet.

**Motion:** A motion was made to accept the application as submitted.  
**Moved by** Board Member Wise, **Seconded by** Board Member Burdick.

**Discussion:** There was none.

**Roll Call Vote:** Board Member Becker, Board Member Dresel, Board Member Risso, Board Member Cantrill, Board Member Wise and Board Member Burdick all voted in favor (6-0). Motion carried.

**B) Baachus Spirits & Wines – 205 N Goose Creek Blvd**

Mr. Hugh Welch of Carolina Sign Company presented the proposed sign request. He stated this is a new ABC Package store located in the Creekside Center. He stated the sign is black and red, internally lit LED Channel letters on a raceway. The total square footage is twenty-seven (27) square feet.

**Motion:** A motion was made to accept the application as submitted.  
**Moved by** Board Member Becker, **Seconded by** Board Member Cantrill.

**Discussion:** There was none.

**Roll Call Vote:** Board Member Becker, Board Member Dresel, Board Member Risso, Board Member Cantrill, Board Member Wise and Board Member Burdick All voted in favor (6-0). Motion carried.

**C) Red Bank Family Dentistry – 301 Red Bank Rd**

Mr. Hugh Welch of Carolina Sign Company presented the proposed sign request. He stated this sign is a mix between channel letters and cabinet. He stated it is internally lit with LED's and fifteen (15) square feet.

**Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Wise, **Seconded by** Board Member Burdick.

**Discussion:** It was stated a previous sign was not located on this building before Red Bank Family Dentistry purchase the property. The board stated wires are not to be visible.

**Roll Call Vote:** Board Member Becker, Board Member Dresel, Board Member Risso, Board Member Cantrill, Board Member Wise and Board Member Burdick all voted in favor (6-0). Motion carried.

**VI. COMMENTS FROM THE BOARD**

Board Member Dresel inquired if someone looked into Pats Automotive. Mr. Brodeur stated he will look into it. Mr. Moore stated the owner applied for a facade grant which makes it easier for City Staff to address Pats Automotive. Ms. Wise stated Navy Federal has window signage. Board Member Wise inquired about American Flags at businesses. It was stated there are requirements regarding flag poles.

**VII. COMMENTS FROM STAFF**

Mr. Broder stated today was the first day City Hall was open to the public due to the pandemic. He stated his department is in the middle of the Comprehensive Plan and asked the board to take a survey that is located on the City website. Mr. Moore stated he is taking a job to be the City Manager at Hartsville and he appreciated working with the ARB.

**VIII. ADJOURNMENT**

**Motion:** A motion was made to adjourn (7:52 p.m.) **Moved By:** Board Member Becker, **Seconded By:** Board Member Cantrill. (39min)

**Discussion:** There was none.

**Vote:** All voted in favor (6-0). Motion carried.

\_\_\_\_\_  
Tom Risso, Vice Chairperson

Date \_\_\_\_\_





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MINOR APPLICATION: NEW BUSINESS

**Hoods Tax and Accounting**

105 Etling Ave

**SIGNAGE**

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**ARCHITECTURAL REVIEW BOARD SIGN FORM**



**ARB MEETING DATE: JUNE 15, 2020**

**BUSINESS NAME: HOODS TAX AND ACCOUNTING**

**LOCATION: 105 ETLING AVE.**

**NUMBER & TYPE OF SIGNS APPLYING FOR:**

**1 FREESTANDING**

**NUMBER OF ALLOWABLE SIGNS:**

**2 WALL MOUNT, 1 FREESTANDING**

**MAXIMUM ALLOWABLE SIGN AREA:**

**50SF – APPLICABLE TO WALL MOUNT SIGN FACE**

**GENERAL INFORMATION:**

SIGN	SIGN 1	SIGN 2	SIGN 3	SIGN 4
<b>TYPE</b> (W= WALL-MOUNTED/F=FREESTANDING)	<b>W</b>			
<b>HEIGHT</b>	2.5'			
<b>WIDTH</b>	5'			
<b>AREA TOTAL</b>	30SF			
<b>COLOR</b>	WHT, RED, BLK, BLUE			
<b>MATERIALS</b>	Alum/Acrylic			
<b>SIZE OF GRAPHIC</b>	N/A			
<b>IS IT ILLUMINATED?</b>	INT.			
<b>GRAPHIC SF</b>				

**ONLY APPLICABLE TO WALL-MOUNTED SIGNS:**

REFERENCE SIGN # (FROM ABOVE)	SIGN 1	SIGN 2	SIGN 3	SIGN 4
<b>FRONT LINEAR FRONTAGE OF BUSINESS</b>				
<b>DISTANCE FROM BUSINESS TO PROPERTY LINE</b>				
<b>TOTAL NUMBER OF LETTERING STYLES</b>				
<b>SPACE BETWEEN LETTERS (FOR CHANNEL LETTERS)</b>				
<b>SPACE BETWEEN WORDS (FOR CHANNEL LETTERS)</b>				
<b>HEIGHT OF LETTERS</b>				
<b>PROJECTION FROM WALL</b>				

**ONLY APPLICABLE TO FREESTANDING SIGNS:**

REFERENCE SIGN # (FROM ABOVE)	SIGN 1	SIGN 2	SIGN 3	SIGN 4
<b>DISTANCE FROM STREET CURB</b>	TBD			
<b>HEIGHT ABOVE GRADE</b>	8'			
<b>BASE LANDSCAPING</b>	none			

**LANDLORD APPROVAL LETTER RECEIVED**

YES

NO

N/A

**PERMIT PAID**

YES

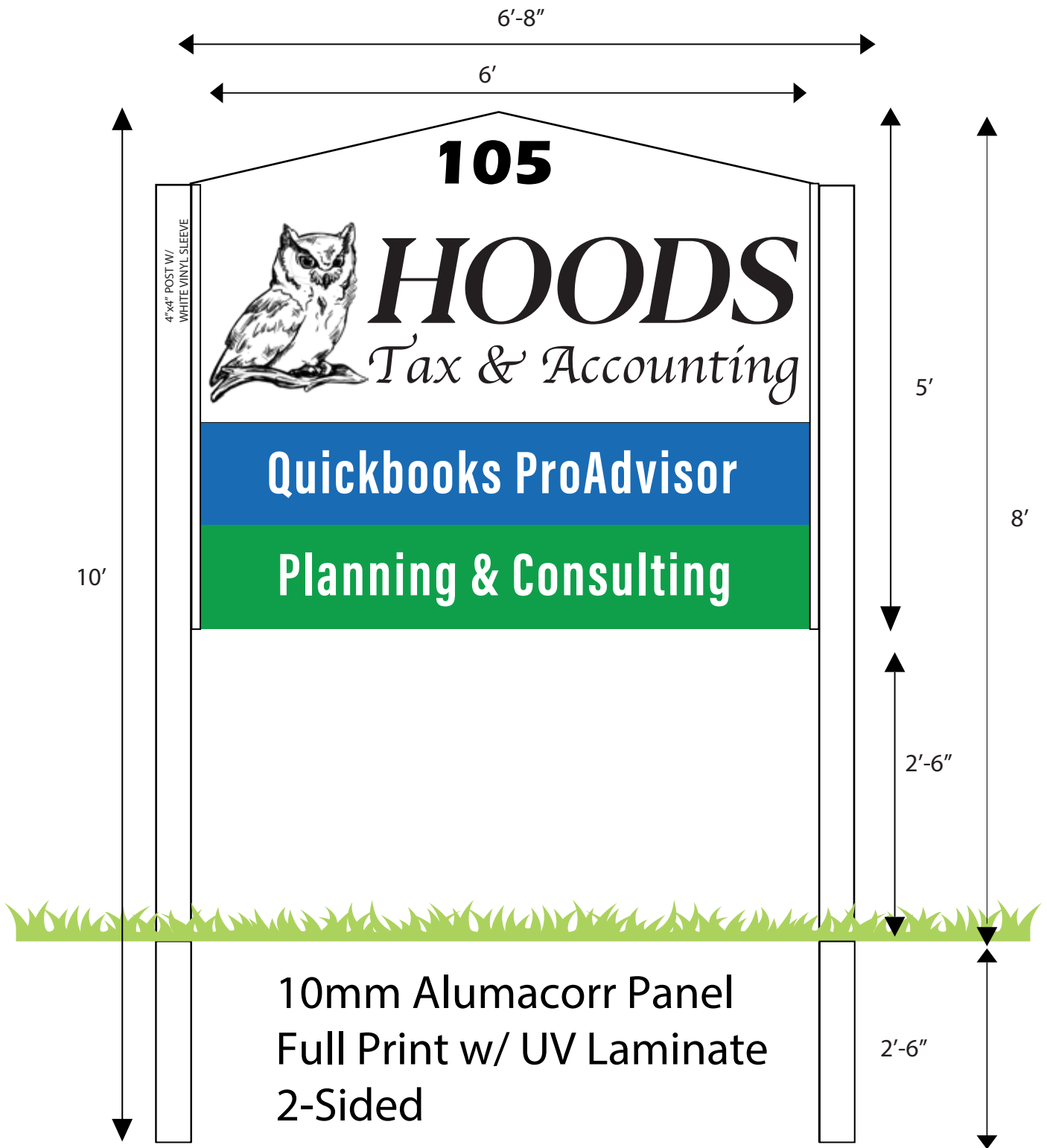
NO

N/A

**SAMPLE MATERIALS ATTACHED**

YES

N/A





100  
**HOODS**  
CPA & ACCOUNTING  
QuickBooks ProAdvisor  
Planning & Consulting

© 2020 Google

Google E



105 Etling Ave

Sign location



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MINOR APPLICATION: NEW BUSINESS

**Joints in Motion**  
209 St. James Ave  
**SIGNAGE**

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**ARCHITECTURAL REVIEW BOARD SIGN FORM**



**ARB MEETING DATE: JUNE 15, 2020**

**BUSINESS NAME: JOINTS IN MOTION**

**LOCATION: 209 ST. JAMES AVE.**

**NUMBER & TYPE OF SIGNS APPLYING FOR:**

**1 WALL MOUNT, TENANT PANELS**

**NUMBER OF ALLOWABLE SIGNS:**

**2 WALL MOUNT, TENANT PANELS**

**MAXIMUM ALLOWABLE SIGN AREA:**

**49SF – APPLICABLE TO WALL MOUNT SIGN FACE**

**GENERAL INFORMATION:**

SIGN	SIGN 1	SIGN 2	SIGN 3	SIGN 4
<b>TYPE</b> (W= WALL-MOUNTED/F=FREESTANDING)	<b>W</b>	<b>Tenant Panels</b>		
<b>HEIGHT</b>	3'-10"	2'-5"		
<b>WIDTH</b>	6'-7"	10'-0"		
<b>AREA TOTAL</b>	29.3SF	24.2SF		
<b>COLOR</b>	RED,WHT, BLUE	RED,WHT, BLUE		
<b>MATERIALS</b>	Alum/Acrylic	Alum/Acrylic		
<b>SIZE OF GRAPHIC</b>	N/A	N/A		
<b>IS IT ILLUMINATED?</b>	INT.	INT.		
<b>GRAPHIC SF</b>	N/A	N/A		

**ONLY APPLICABLE TO WALL-MOUNTED SIGNS:**

REFERENCE SIGN # (FROM ABOVE)	SIGN 1	SIGN 2	SIGN 3	SIGN 4
<b>FRONT LINEAR FRONTAGE OF BUSINESS</b>	49'			
<b>DISTANCE FROM BUSINESS TO PROPERTY LINE</b>	95'			
<b>TOTAL NUMBER OF LETTERING STYLES</b>	1			
<b>SPACE BETWEEN LETTERS (FOR CHANNEL LETTERS)</b>	SEE ATTACHED			
<b>SPACE BETWEEN WORDS (FOR CHANNEL LETTERS)</b>	SEE ATTACHED			
<b>HEIGHT OF LETTERS</b>	17.5",13"			
<b>PROJECTION FROM WALL</b>	5"			

**ONLY APPLICABLE TO FREESTANDING SIGNS:**

REFERENCE SIGN # (FROM ABOVE)	SIGN 1	SIGN 2	SIGN 3	SIGN 4
<b>DISTANCE FROM STREET CURB</b>				
<b>HEIGHT ABOVE GRADE</b>				
<b>BASE LANDSCAPING</b>				

**LANDLORD APPROVAL LETTER RECEIVED**

YES

NO

N/A

**PERMIT PAID**

YES

NO

N/A

**SAMPLE MATERIALS ATTACHED**

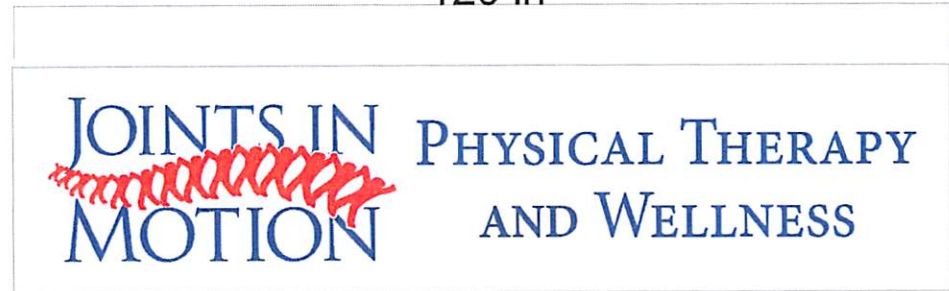
NO

N/A



120 in

29 in



X2

DOUBLE SIDED MONUMENT  
REFACE EXISTING SIGNAGE

DOUBLE SIDED MONUMENT - REFACE EXISTING sign.  
Acrylic panel with pre-spaced translucent vinyl of logo  
and 'JOINTS IN MOTION'.

**Charleston  
Sign & Banner**

4200 Dorchester Road N. Charleston, SC 29405  
Ph. (843) 529-1414 Fax (843) 529-1485

Client Name:

Contact:

Notes:

Client Approval

Landlord Approval

Sales Rep: DP

Designer: DP

MEMBER  
INTERNATIONAL SIGN ASSOCIATION  
S E S A



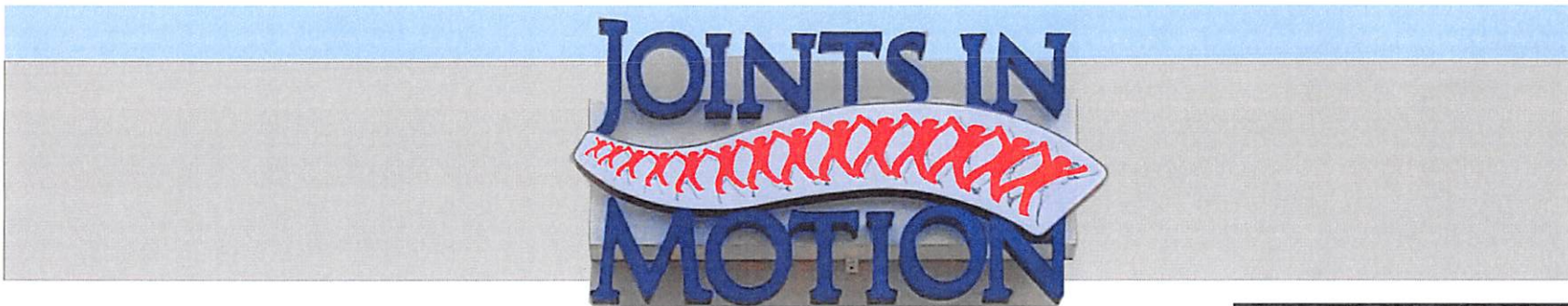


**ELECTRICAL NOTES**

Sign Company DOES NOT provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or licensed electrician.

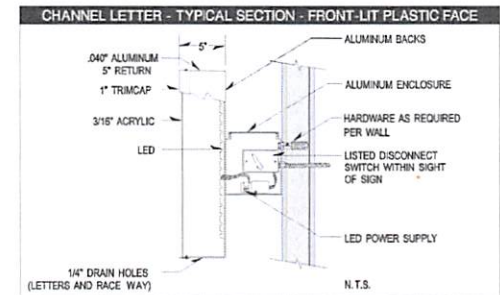
Each sign must have:

1. A minimum of one dedicated 120 V/20 A circuit.
2. Junction box installed within 6 feet of sign.
3. Three wires: Line, Ground, Neutral



*REMOVAL of existing sign - Logo and "JOINTS IN MOTION". Existing raceway mounted channel letters set with logo (mounted with brackets). To be installed at NEW location. INSTALL sign above entry as shown in artwork.*

*Fill holes with clear silicone - NO painting. REMOVAL of old signage at new location may be needed (need to confirm). \*Technical survey need for final placement/access.*



**Charleston Sign & Banner**  
 4200 Dorchester Road N. Charleston, SC 29405  
 Ph. (843) 529-1414 Fax (843) 529-1485

Client Name:

Notes:

Client Approval

Sales Rep: DP

Contact:

Landlord Approval

Designer: DP





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MINOR APPLICATION: NEW BUSINESS

**Smile Care 360**  
125 Plantation North Blvd  
**SIGNAGE**

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**ARCHITECTURAL REVIEW BOARD SIGN FORM**



**ARB MEETING DATE: JUNE 15, 2020**

**BUSINESS NAME: SMILE CARE 360**  
**LOCATION: 129 PLANTATION NORTH BLVD.(UNIT D)**  
**NUMBER & TYPE OF SIGNS APPLYING FOR: 1 FREESTANDING**  
**NUMBER OF ALLOWABLE SIGNS: 2 WALL MOUNT, 1 FREESTANDING**  
**MAXIMUM ALLOWABLE SIGN AREA: 100SF/65SF – APPLICABLE TO WALL MOUNT SIGN FACE**  
**GENERAL INFORMATION:**

SIGN	SIGN 1	SIGN 2	SIGN 3	SIGN 4
<b>TYPE</b> (W= WALL-MOUNTED/F=FREESTANDING)	<b>W</b>	<b>W</b>		
<b>HEIGHT</b>	4'	5'-4"		
<b>WIDTH</b>	7'-3.9"	10'-1"		
<b>AREA TOTAL</b>	29.3SF	53.7SF		
<b>COLOR</b>	WHT, BLUE	WHT, BLUE		
<b>MATERIALS</b>	Alum/Acrylic	Alum/Acrylic		
<b>SIZE OF GRAPHIC</b>	N/A	N/A		
<b>IS IT ILLUMINATED?</b>	INT.	INT.		
<b>GRAPHIC SF</b>	N/A	N/A		

**ONLY APPLICABLE TO WALL-MOUNTED SIGNS:**

REFERENCE SIGN # (FROM ABOVE)	SIGN 1	SIGN 2	SIGN 3	SIGN 4
<b>FRONT LINEAR FRONTAGE OF BUSINESS</b>	65'	100'		
<b>DISTANCE FROM BUSINESS TO PROPERTY LINE</b>	91'	91'		
<b>TOTAL NUMBER OF LETTERING STYLES</b>	2	2		
<b>SPACE BETWEEN LETTERS (FOR CHANNEL LETTERS)</b>	SCRIPT CONNECTED	SCRIPT CONNECTED		
<b>SPACE BETWEEN WORDS (FOR CHANNEL LETTERS)</b>	SCRIPT CONNECTED	SCRIPT CONNECTED		
<b>HEIGHT OF LETTERS</b>	VARIES SEE ATTACHED	VARIES SEE ATTACHED		
<b>PROJECTION FROM WALL</b>	5"	5"		

**ONLY APPLICABLE TO FREESTANDING SIGNS:**

REFERENCE SIGN # (FROM ABOVE)	SIGN 1	SIGN 2	SIGN 3	SIGN 4
<b>DISTANCE FROM STREET CURB</b>				
<b>HEIGHT ABOVE GRADE</b>				
<b>BASE LANDSCAPING</b>				

**LANDLORD APPROVAL LETTER RECEIVED**  YES  NO N/A  
**PERMIT PAID**  YES  NO N/A  
**SAMPLE MATERIALS ATTACHED**  YES N/A

Qty 1



ACCOUNT: SMILE CARE 360
ESTIMATE # 2019-13636
REPRESENTATIVE: CHRIS OLIVER

NOTES:

Face Lit Aluminum Channel Letters  
Direct Mounted to siding facade.

Size: 48" x 87.9"  
Quantity: 1

- Pigmented Translucent Vinyl
- 3/16" Standard Stock Acrylic
- 1" Trimcap (WHITE)
- 3" .040 Returns WHITE
- White Aluminum ACM Backs
- Peregrine 2080 PF LEDs

REV. #1 BY:	REV. DATE
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REVISION NOTES:

REV. #2 BY:	REV. DATE
-------------	-----------

REVISION NOTES:

REV. #3 BY:	REV. DATE
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REVISION NOTES:

DRAWN BY: C. DeCastro

REVISED BY:

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**EXISTING**



**PROPOSED**

Qty 1

64" H



121" W

**FASTSIGNS**  
More than fast. More than signs.™

ACCOUNT:  
SMILE CARE 360

ESTIMATE #  
2019-13636

REPRESENTATIVE:  
CHRIS OLIVER

NOTES:

Face Lit Aluminum Channel Letters  
Direct Mounted to siding facade.

- Size: 64" x 121"  
Quantity: 1  
 --- Pigmented Translucent Vinyl  
 --- 3/16" Standard Stock Acrylic  
 --- 1" Trimcap (WHITE)  
 --- 3" .040 Returns WHITE  
 --- White Aluminum ACM Backs  
 --- Peregrine 2080 PF LEDs

REV. #1 BY:      REV. DATE

REVISION NOTES:

REV. #2 BY:      REV. DATE

REVISION NOTES:

REV. #3 BY:      REV. DATE

REVISION NOTES:

DRAWN BY:      C. DeCastro

REVISED BY:

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Facade 20' H x 64.41' W  
Facade 1,288.2 SQ FT BOXED



EXISTING



PROPOSED



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MAJOR APPLICATION: NEW BUSINESS

219 S. Goose Creek Blvd

**Parking, Elevations, Materials, Colors, Landscaping**

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ARB SCOPE OF WORK FORM/

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address: <u>219 South Goose Creek Blvd</u>		TMS No.:
Review request:	For:	Preliminary meeting date requested:
<input type="checkbox"/> Preliminary	<input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	

Property Owner: <u>Jonathan Dunagan</u>	Daytime phone: <u>843-532-3705</u>
Applicant: <u>Bill Beauchene</u>	Daytime phone: <u>843-514-7306</u>
ARB Meeting Representative: <u>Bill Beauchene</u>	Contact Information:
Applicant's mailing address: <u>919 W. Richardson Ave</u>	
City: <u>Summerville</u>	State: <u>SC</u> Zip: <u>29483</u>
Applicant's e-mail address: <u>mserpas@sc.rr.com</u>	
Applicant's relationship: <input type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input checked="" type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

Materials/Colors Used: (specific color(s)/manufacture #'s listed: samples must be presented to Board  attached)  
 (Example: Building Materials, Exterior Colors, Landscaping, Lighting)

EXISTING METAL SIDING - PAINT SW 6672 MORNING SUN  
NEW HARDWOOD WAINSCOT, DOORS, TRIM - PAINT SW 7004 SNOWBOUND

Scope of Work: (please give a detailed description)

ADD (1) WINDOW TO FRONT ELEVATION. ADD 4' TALL HARDWOOD WAINSCOT TO SIDE AND REAR ELEVATIONS. INTERIOR WORK FOR NEW OFFICE & TOILET ROOM. ADD INTERIOR LIGHTS. HVAC IN OFFICE/TOILET. ADD GOOSE NEAR COOLBY HALL LIGHTS AT EXTERIOR DOORS. PER EXISTING SIDING AND ROOFING. PAINT ALL OLD SIDING TO MATCH FRONT ELEVATION. PAVEMENT LANDSCAPE PER PLANS

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature: Bill Beauchene Date: 2/5/20

Print name legibly: BILL BEAUCHENE



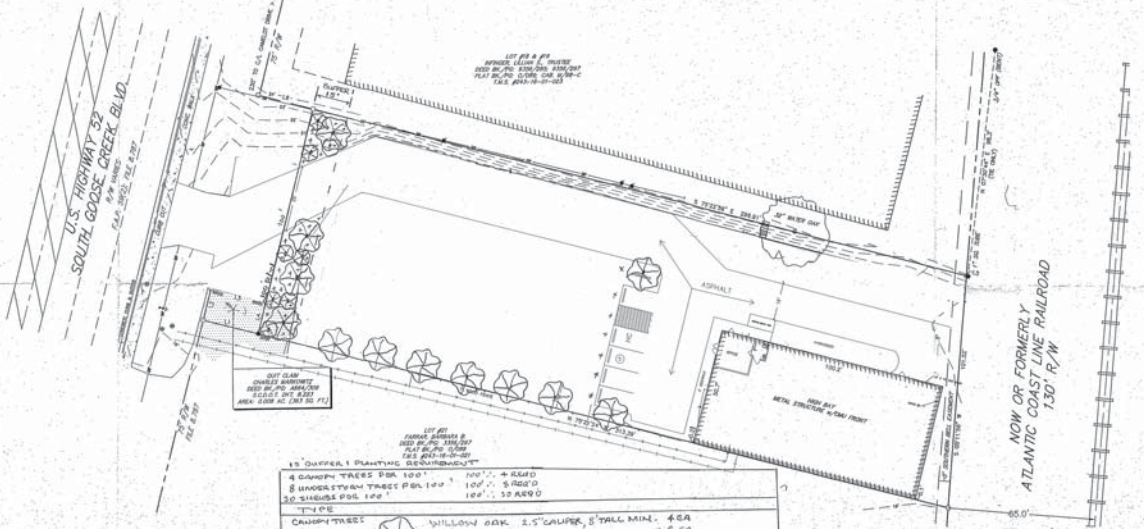
1. EXISTING LOT/BLK BOUNDARY AS OF 10/15/2016  
 2. BOUNDARY AS SHOWN BY SURVEY OF 10/15/2016  
 3. SITE PLAN AREA/FORM SUBJECT TO APPROVAL  
 AUG. 21, 2018

1	10/15/2016
2	10/15/2016
3	10/15/2016
4	10/15/2016
5	10/15/2016
6	10/15/2016
7	10/15/2016
8	10/15/2016
9	10/15/2016
10	10/15/2016



**GENERAL NOTES**

- 1) THIS IS NOT A FULL SIZE COPY OF THIS DOCUMENT UNLESS IT BEARS THE WORDS "ORIGINAL", "SCALE", AND THE BOUNDARY MARKS OF THE SURVEYOR'S INSTRUMENT.
- 2) THIS PLAN IS SUBJECT TO ANY AND ALL ORDINANCES, LAWS, RULES, AND REGULATIONS OF THE CITY OF GOOSE CREEK, SOUTH CAROLINA, AND ANY AND ALL ORDINANCES, LAWS, RULES, AND REGULATIONS OF ANY OTHER JURISDICTION.
- 3) THIS PROPERTY MAY BE SUBJECT TO UTILITY LOCATIONS (E.G. WATER, TELEPHONE, GAS, ETC.) WHICH MAY BE LOCATED IN THE SUBSURFACE OF THE PROPERTY AND ARE NOT SHOWN ON THIS PLAN. THE SURVEYOR HAS CONDUCTED A VISUAL SURVEY OF THE PROPERTY AND HAS FOUND NO UTILITY LOCATIONS. THE PLAN DOES NOT ADDRESS THE EXISTENCE OR NON-EXISTENCE OF UTILITIES NOR ANY SUBSEQUENT CONDITIONS OF ANY UTILITY.
- 4) THIS PROPERTY IS ZONED AS "R-1" (RESIDENTIAL SINGLE-FAMILY) BY THE CITY OF GOOSE CREEK, SOUTH CAROLINA. THE PROPERTY IS LOCATED IN PLANNING ZONE 12, MAP RECORDED OCTOBER 18, 2003.
- 5) DATE OF FIELD SURVEY: 6/9/2017.
- 6) WATER AND SEWER ARE PROVIDED BY BONSAI.
- 7) THIS PARCEL IS ZONED AS "R-1" BY THE CITY OF GOOSE CREEK.
- 8) VERTICAL DATUM IS NAD83. CONTOUR INTERVAL IS ONE FOOT.



EXISTING DRIVEWAY  
 10' TO 14' WIDE  
 TO 14' WIDE  
 10' WIDE DRIVEWAY

LOT #1 & #2  
 BOUNDARY AS SHOWN BY SURVEY OF 10/15/2016  
 LOT #1 & #2 COMB. C&G 87-10-03

15' SHADY CANOPY TREES PER 100' x 100' = 4 EACH	
8 UNDERSTORY TREES PER 100' x 100' = 5 EACH	
30 SHRUBS PER 100' x 100' = 30 EACH	
TOTAL = 79	
CAULIFLOR TREES	
WILLOW OAK, 2" CALIBER, 8' TALL MIN.	4 EA
+	8 EA
TOTAL	12 TOTAL
UNDERSTORY TREES	
THASCARA GRAPE VITICUL, 2" CALIBER, 5' TALL MIN.	5 EA
SHRUBS	X
LOROPETALUM 24" HIGH MIN	70 EA
	+ 7 EA
	37 TOTAL

NOTE: DROWN PINE BARK MULCH

- LEGEND**
- BOUNDARY
  - PROPOSED BOUNDARY
  - CONCRETE DRIVE
  - CONCRETE SIDEWALK
  - POINT OF IRON
  - SETBACK
  - MONUMENT FOUND (DUP. & TYPE ONLY)
  - MONUMENT NOT FOUND (DUP. & TYPE ONLY)
  - CONCRETE FOUND (NO MONUMENT)
  - UTILITY POLE
  - LIGHT POLE
  - WATER METER
  - SEWER METER
  - SEWER METER MANHOLE
  - SEWER METER BOX
  - WALKING SPRING WEL FOUND
  - CONCRETE MASONRY FOOT
  - SQUARE FEET (X AXIS) 30 FT. PER AREA
  - AC.



TOPOGRAPHIC SURVEY  
 LOT 20, CHIC PLANTATION  
 PALMETTO LAND BAYERS, LLC  
 SOUTH GOOSE CREEK BLVD., CITY OF GOOSE CREEK  
 BERKELEY COUNTY, SOUTH CAROLINA  
 JUNE 21, 2018

D. Scott Wilson Land Surveying, LLC  
 210 South Main Street  
 Florence, SC 29502  
 (843) 796-6867  
 dswilson@dsl.com

RECORDED: 12/23/18  
 P.L. 2018-0128  
 6/12/18

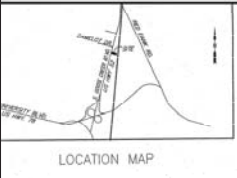
1 of 1





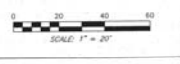
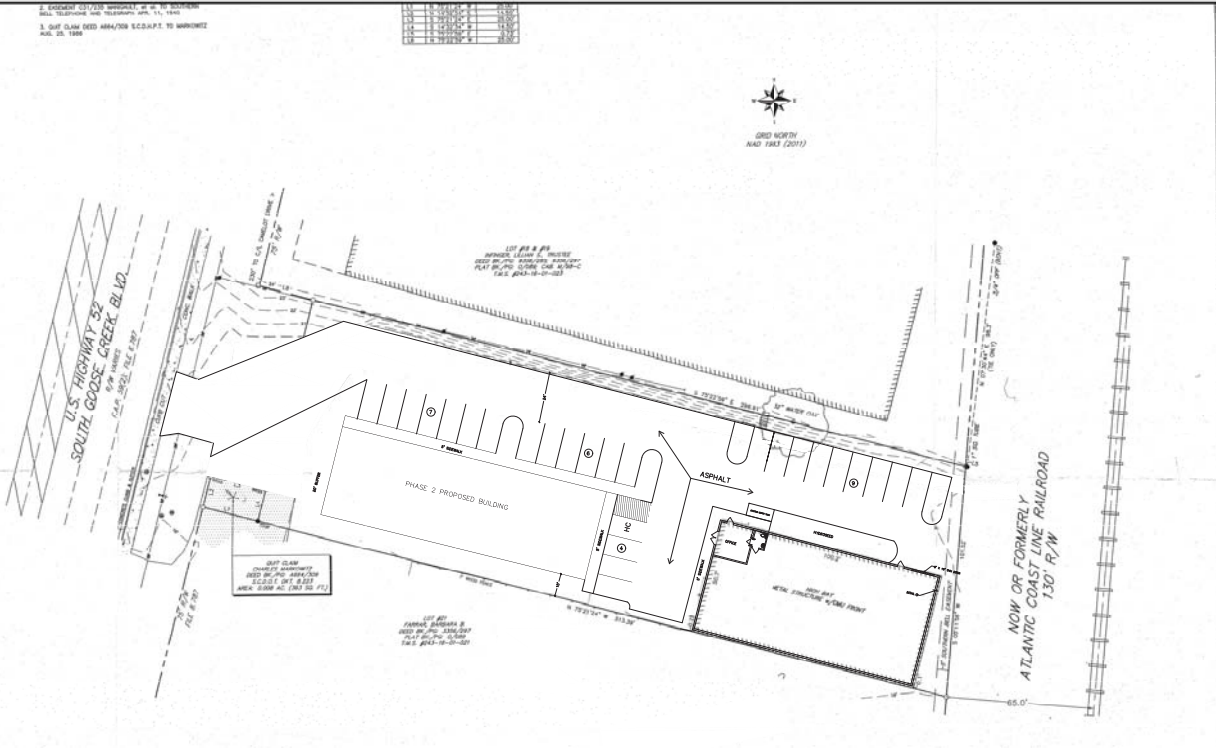
2. EXHIBIT TO THIS SURVEY IS TO BE KEPT BY THE SURVEYOR AND TELEPHONE APR. 11, 1945  
3. THIS PLAN BEING APPROVED BY THE CITY ENGINEER  
MAY 25, 2017

NO.	DESCRIPTION	DATE
1	REVISION	05/25/17
2	REVISION	05/25/17
3	REVISION	05/25/17
4	REVISION	05/25/17
5	REVISION	05/25/17
6	REVISION	05/25/17
7	REVISION	05/25/17
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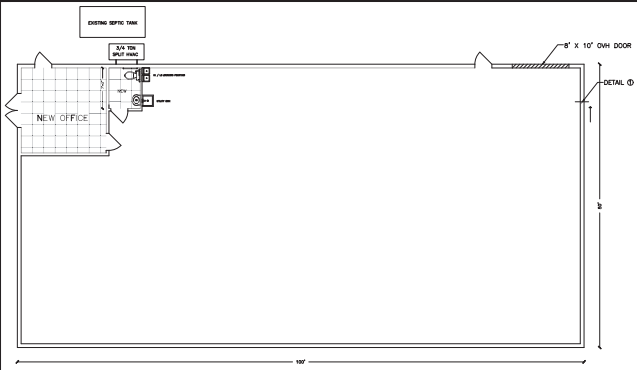


**GENERAL NOTES**

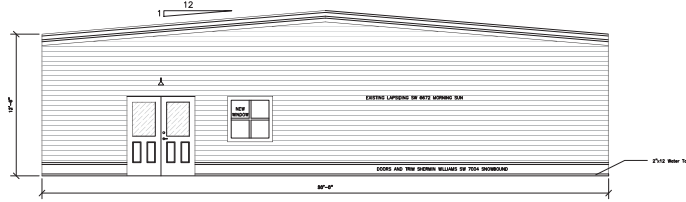
- THIS IS NOT A FULL SIZE COPY OF THIS DOCUMENT. IT IS A REDUCED COPY FOR INFORMATIONAL PURPOSES ONLY. THE ORIGINAL DRAWING IS THE AUTHORITY FOR ALL DIMENSIONS AND LOCATIONS.
- THIS PLAN DEPICTS A SURVEY AND TOPOGRAPHIC MAP OF THE PROPERTY. THE SURVEY IS BASED ON THE ORIGINAL SURVEY OF THE PROPERTY AND THE SURVEYOR'S FIELD NOTES AND PLANS.
- ALL PLAT AND DEED REFERENCES ARE FROM THE PUBLIC RECORDS OF THE COUNTY OF BERKELEY.
- THIS PROPERTY MAY BE SUBJECT TO VARIOUS UTILITY EASEMENTS AND RIGHTS. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS NOTED THE PRESENCE OF VARIOUS UTILITY EASEMENTS AND RIGHTS. THE SURVEYOR HAS NOTED THE PRESENCE OF VARIOUS UTILITY EASEMENTS AND RIGHTS AND HAS NOTED THE PRESENCE OF VARIOUS UTILITY EASEMENTS AND RIGHTS.
- ACCORDING TO THE PUBLIC RECORDS, THE PROPERTY IS LOCATED IN ZONE R. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS NOTED THE PRESENCE OF VARIOUS UTILITY EASEMENTS AND RIGHTS.
- DATE OF FIELD SURVEY: 5/2/2017
- WORK WAS DONE AND PROVIDED BY: [Name]
- THIS PLAN IS DATED AS OF THE DATE OF SURVEY.
- VERTICAL DATUM IS NAD83. CONTOUR INTERVAL IS 1.00 FEET.



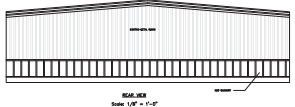
TOPOGRAPHIC SURVEY LOT 20, 21 & 22, PHASE 2 PALMETTO LAND BUILDERS, LLC SOUTH GOOSE CREEK BLVD., CITY OF GOOSE CREEK BERKELEY COUNTY, SOUTH CAROLINA JUNE 21, 2017	
D. Steve Wilson Land Surveying, LLC 210 South Main Street Summerville, SC 29486 (843) 796-5865 dswilson@sls.com	
PROJECT: 17231	DATE: 7/28/17
SHEET 2/2	



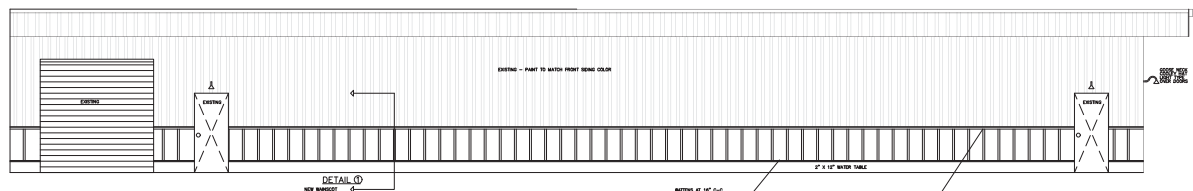
PLAN VIEW  
Scale: 1/8" = 1'-0"



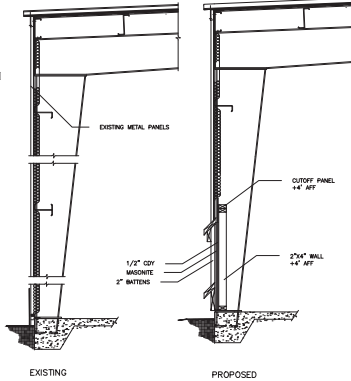
FRONT VIEW  
Scale: 1/4" = 1'-0"



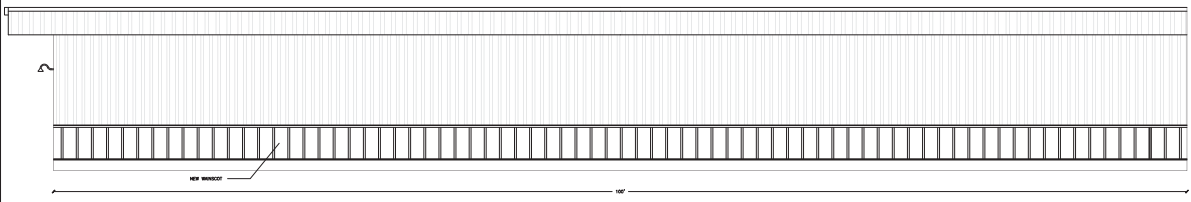
SCALE VIEW  
Scale: 1/8" = 1'-0"



LEFT SIDE VIEW  
Scale: 1/4" = 1'-0"



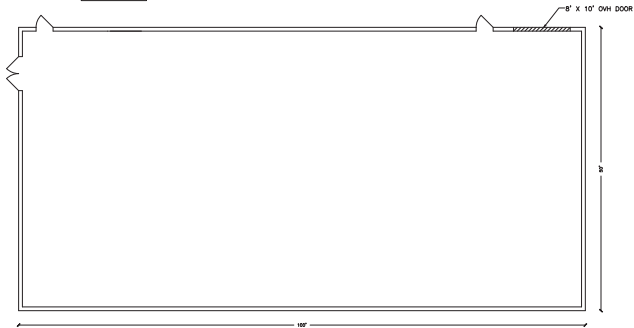
DETAIL D VIEW  
Scale: 1/2" = 1'-0"



RIGHT SIDE VIEW  
Scale: 1/4" = 1'-0"

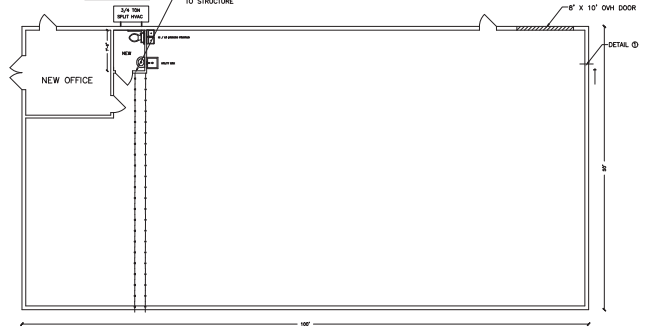
ATRILUM BUILDERS SUMMERVILLE, SC		
GOOSE CREEK V2.2		
DR BY: GEORGIU APOSTOLY		
1/26/2020	VARIES	A-1

EXISTING OFFICE 1440

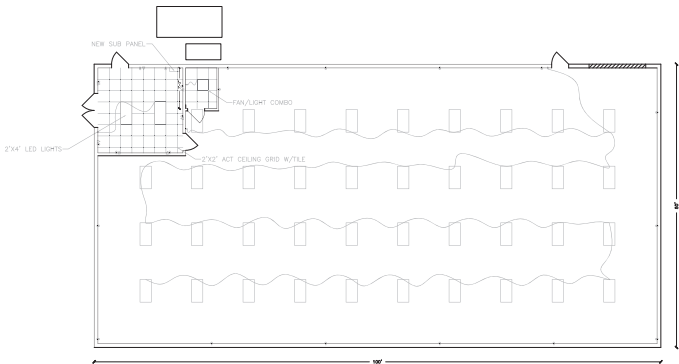


EXISTING  
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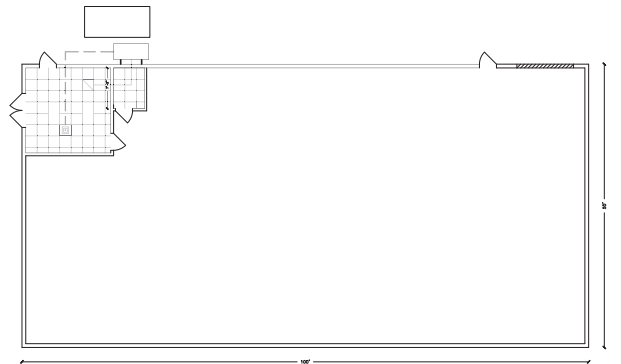
EXISTING OFFICE 1440



PLAN VIEW  
Scale: 1/8" = 1'-0"



ELECTRICAL  
Scale: 1/8" = 1'-0"



HVAC  
Scale: 1/8" = 1'-0"

ATRIUM BUILDERS SUMMERVILLE, SC		
GOOSE CREEK V2.2		
DR BY: GEORGIU APOSTOLY		
1/26/2020	VARIES	A-2















PAWN  
SHOP  
CASH  
LOANS



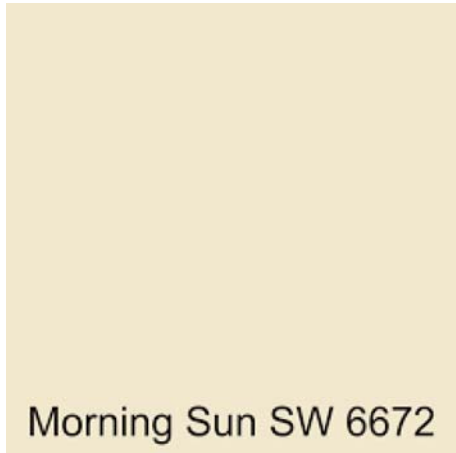
KICK



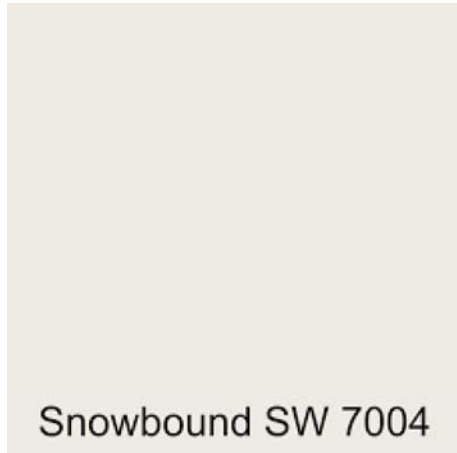
Kwik



PAWN  
SHOP  
CASH  
LOANS



Morning Sun SW 6672



Snowbound SW 7004



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MAJOR APPLICATION: NEW BUSINESS

**South Carolina Federal Credit Union**

82 Bridgetown Road

**Renovation, Elevations, Parking Lot, Landscaping**

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# Architectural Review Board

## APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

<b>Property Address:</b> 82 Bridgetown Rd, Goose Creek, SC		<b>TMS No.:</b> 243-00-00-017
<b>Review request:</b>	<b>For:</b>	<b>Preliminary meeting date requested:</b> June 15, 2020
<input type="checkbox"/> Conceptual	<input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final	<input type="checkbox"/> Repairs or repaint with no changes	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition

<b>Property Owner:</b> SC Federal Credit Union	<b>Daytime phone:</b>	
<b>Applicant:</b> Spivey Architects	<b>Daytime phone:</b> 843-795-9370	
<b>ARB Meeting Representative:</b> Brad Brown, RA	<b>Contact Information :</b> 843-532-1322	
<b>Applicant's mailing address:</b> 147 Wappoo Creek Dr.		
<b>City:</b> Charleston	<b>State:</b> SC	<b>Zip:</b> 29412
<b>Applicant's e-mail address:</b> bbrown@spiveyarchitects.com		
<b>Applicant's relationship:</b> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other		

**Materials/Colors Used:** *(specific color(s)/manufacture #'s listed: samples must be presented to Board  attached)*  
*(Example: Building Materials, Exterior Colors, Landscaping, Lighting)*

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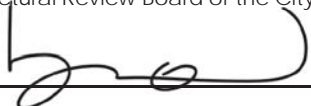
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**Scope of Work:** *(please give a detailed description)*

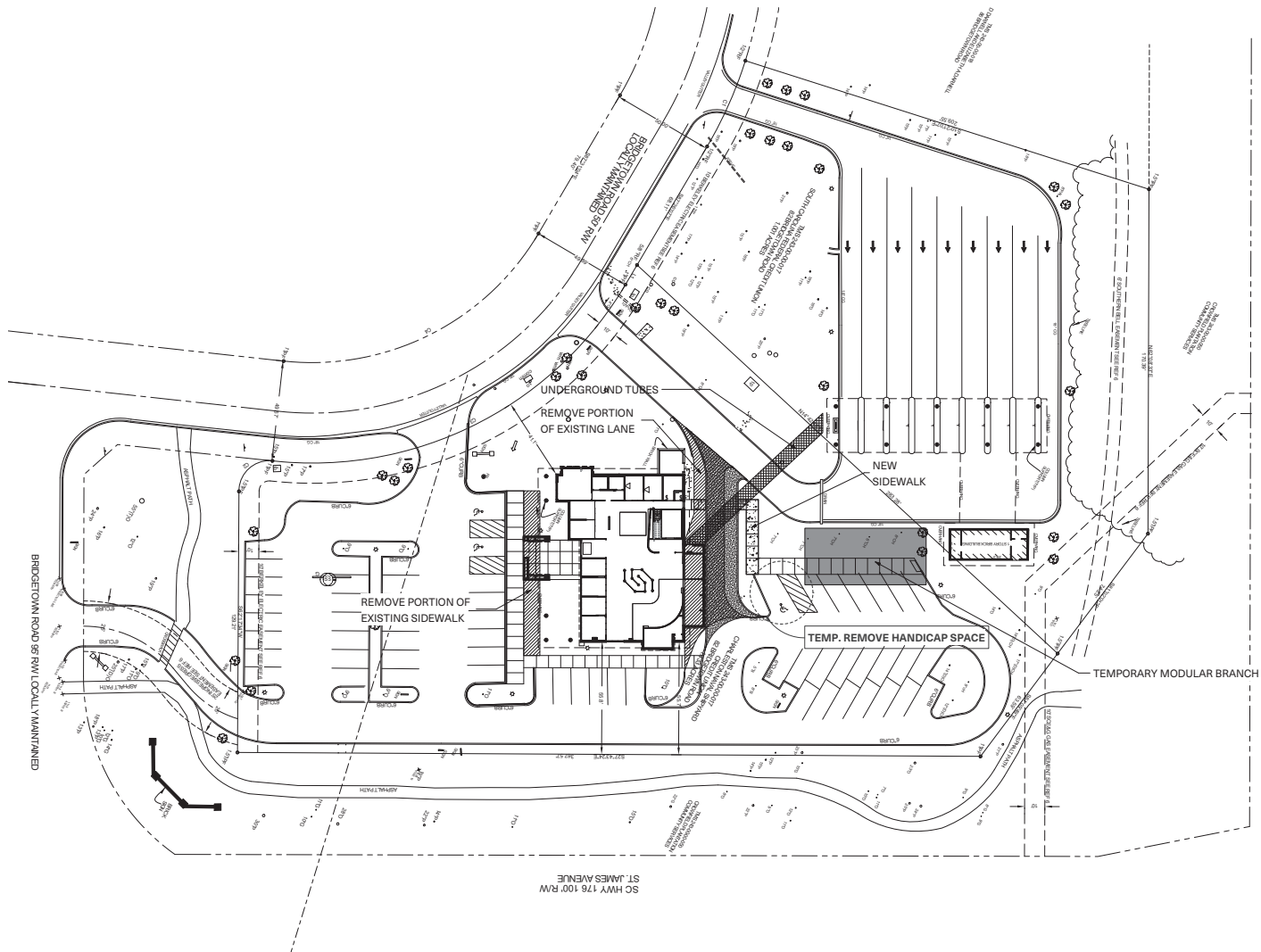
**This project is a renovation and addition to an existing SC Federal Credit Union branch building. The exterior work will include 4 "bump-out" stucco additions to the main building, the existing brick will remain and a new stucco base added around the building. New metal roofing will be installed on both the main building and the drive-thru structures. New landscaping will be installed around the building along with new asphalt topping, striping, and light poles in the parking areas. During construction a temporary modular branch will be used.**

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

**Applicant's signature:**  **Date:** 05-27-2020

**Print name legibly:** Brad Brown, RA

07/2020 8:58:58 PM THE DRAWINGS ARE THE PROPERTY OF SPIVEY ARCHITECTS AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF SPIVEY ARCHITECTS, INC.



Renovation of Branch for:  
**SCFCU-Goose Creek**

STATUS:  
**Design**

ORIG. ISSUED:  
**06-22-2020**

SA PROJECT #:  
**17105**

SHEET NAME:  
**Site Plan**

SHEET NUMBER:  
**AS100**

Renovation of Branch for:  
**SCFCU-Goose Creek**

**SC Federal Credit Union**  
 82 Bridgetown Road  
 Goose Creek, SC 29445

**SPIVEY ARCHITECTS**  
 843 795-9370 | www.spiveyarchitects.com  
 147 Progress Boulevard, Suite 100, Goose Creek, SC 29445

**NOT FOR CONSTRUCTION**

# SCFCU-GOOSE CREEK BRANCH

ARB SUBMITTAL 06-01-2020

## South Carolina Federal Credit Union

82 Bridgetown Road, Goose Creek, SC 29445

### CONTACT INFO:

Architectural: **Spivey Architects**  
Phone: **843-795-9370**  
Principal in Charge: Michael W. Spivey, AIA [mspivey@spiveyarchitects.com]  
Project Architect: Brad K. Brown, RA [bbrown@spiveyarchitects.com]

Landscape: **Outdoor Spacial Design**  
Phone: **843-733-3325**  
Project Land Architect: Evan Brandon, RLA [evan@osdla.com]



**SPIVEY ARCHITECTS**

147 Wappoo Creek Drive - Suite 304  
Charleston, South Carolina 29412  
843-795-9370 | [www.spiveyarchitects.com](http://www.spiveyarchitects.com)

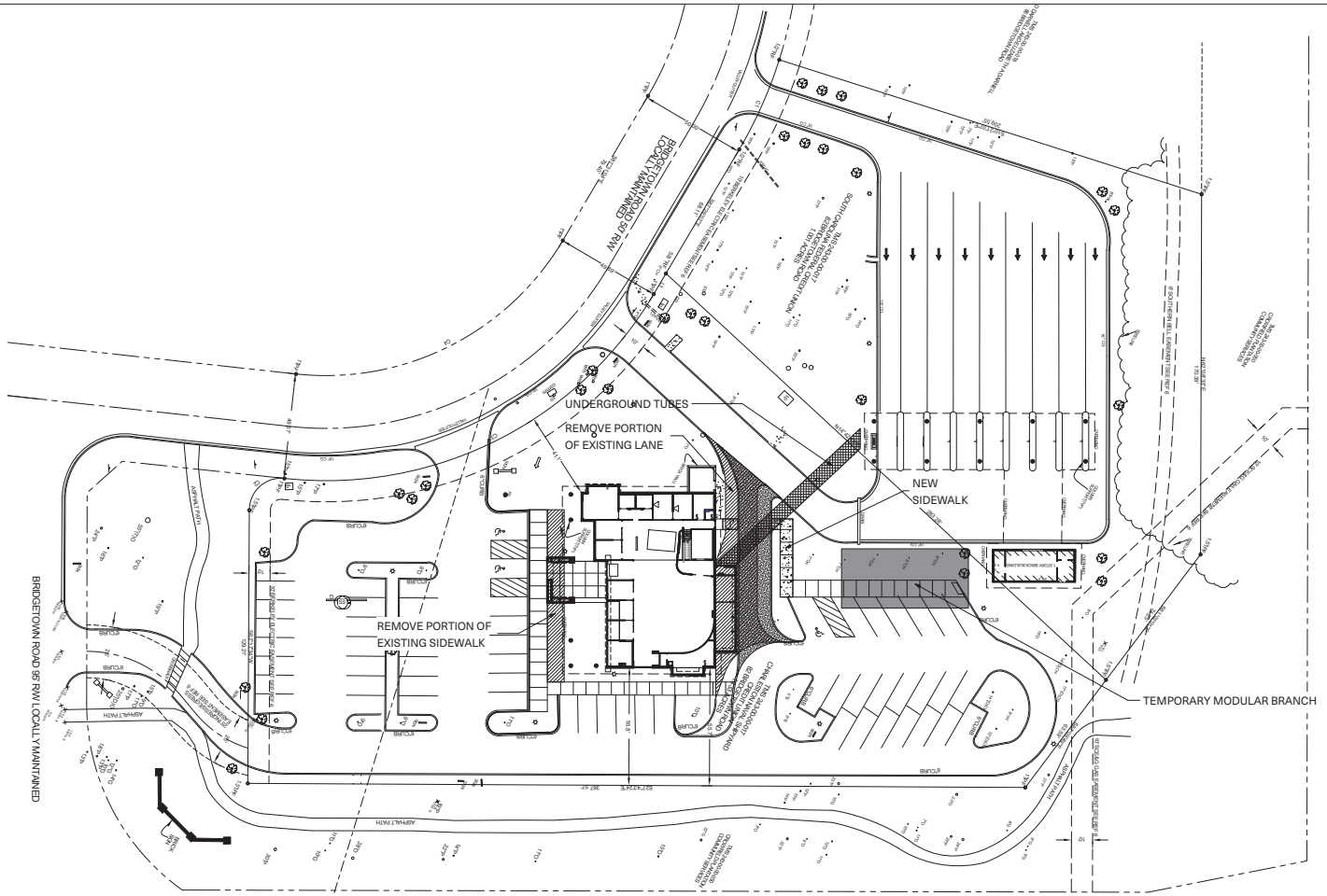
**SCFCU-Goose Creek**

SC Federal Credit Union  
82 Bridgetown Road  
Goose Creek, SC 29445

ARB  
**Cover Sheet**

05-29-2020

**A0**



**SPIVEY ARCHITECTS**

147 Wappoo Creek Drive - Suite 304  
 Charleston, South Carolina 29412  
 843-795-9370 | [www.spiveyarchitects.com](http://www.spiveyarchitects.com)

SC HWY 176 100' R/W  
 ST. JAMES AVENUE

**SCFCU-Goose Creek**

SC Federal Credit Union  
 82 Bridgetown Road  
 Goose Creek, SC 29446

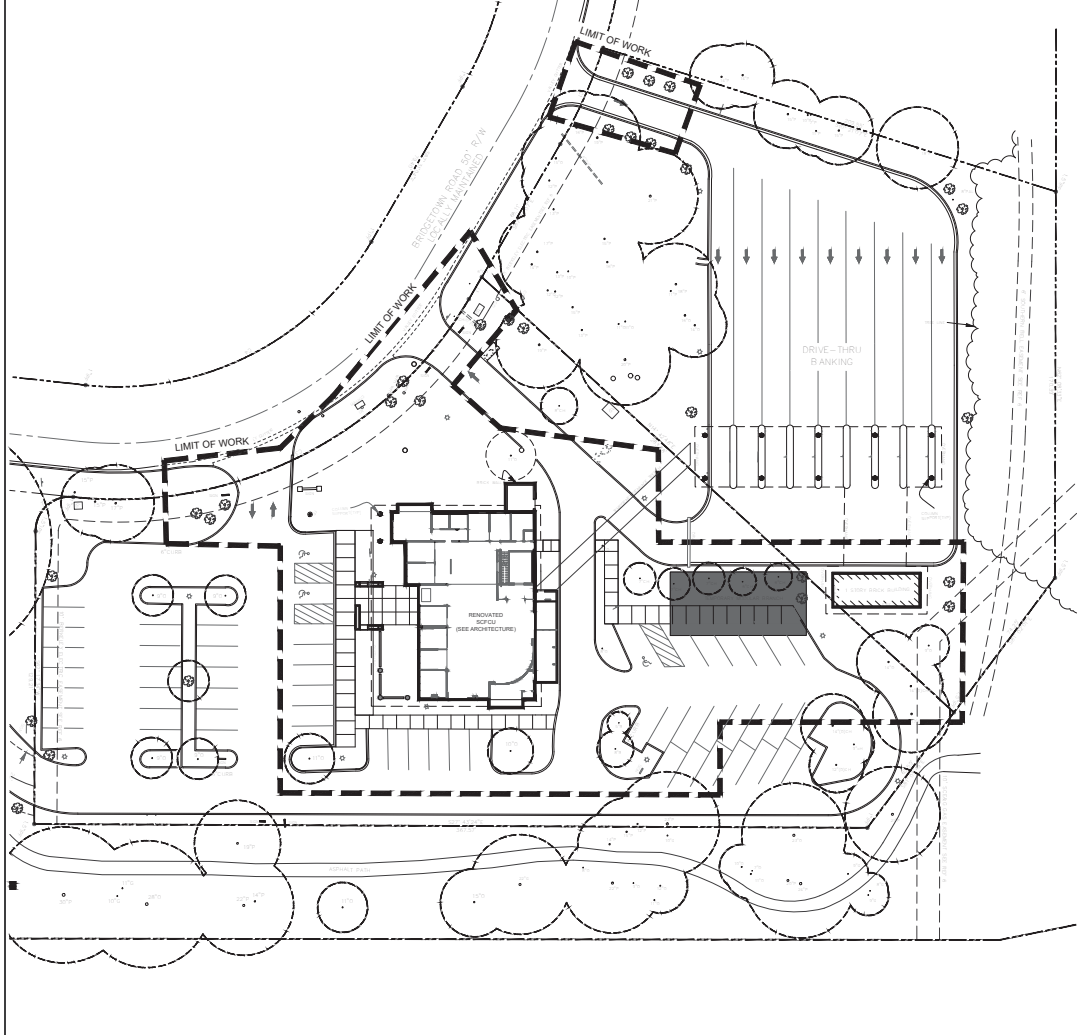
ARB  
**Site Plan**

05-29-2020

**A1**

Site (PRES)

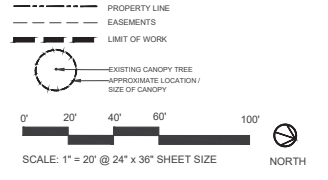
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**GENERAL NOTES FOR ALL WORK:**

1. BASE INFORMATION INCLUDING STREETS, RIGHT-OF-WAYS, LOT LINES, AND TOPO WERE OBTAINED FROM DRAWINGS PROVIDED BY SPIVEY ARCHITECTS. OUTDOOR SPATIAL DESIGN, LLC ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY INFORMATION.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL CODES. CONTRACTORS SHALL ACQUIRE AND PAY FOR ALL PERMITS, LICENSES, TAXES, AND FEES REQUIRED. ALL CONTRACTORS SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, SERVICES, TOOLS, AND MISCELLANEOUS ITEMS REQUIRED FOR A FULLY COMPLETE PROJECT.
3. ALL MATERIALS, WORKMANSHIP, AND EQUIPMENT SHALL BE GUARANTEED BY CONTRACTORS FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL COMPLETION AND ACCEPTANCE BY THE OWNER.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL CABLE LOCATE SERVICE TO LOCATE ALL EXISTING UNDERGROUND ELECTRICAL AND TELEPHONE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL MAKE THESE CONTACTS PRIOR TO BEGINNING WORK.
5. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS WHERE ADDITIONAL UNDERGROUND UTILITIES MAY EXIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES, BOTH KNOWN AND UNKNOWN. CONTRACTOR SHALL OBSERVE SAFETY PRACTICES WHILE WORKING NEAR VEHICULAR TRAFFIC.

**EXISTING LEGEND:**



1060 E. Montague Ave.  
Suite 315  
N. Charleston SC, 29405  
843.733.3325



**SCFCU - GOOSE CREEK**  
82 BRIDGETOWN RD.  
GOOSE CREEK, SC 29445

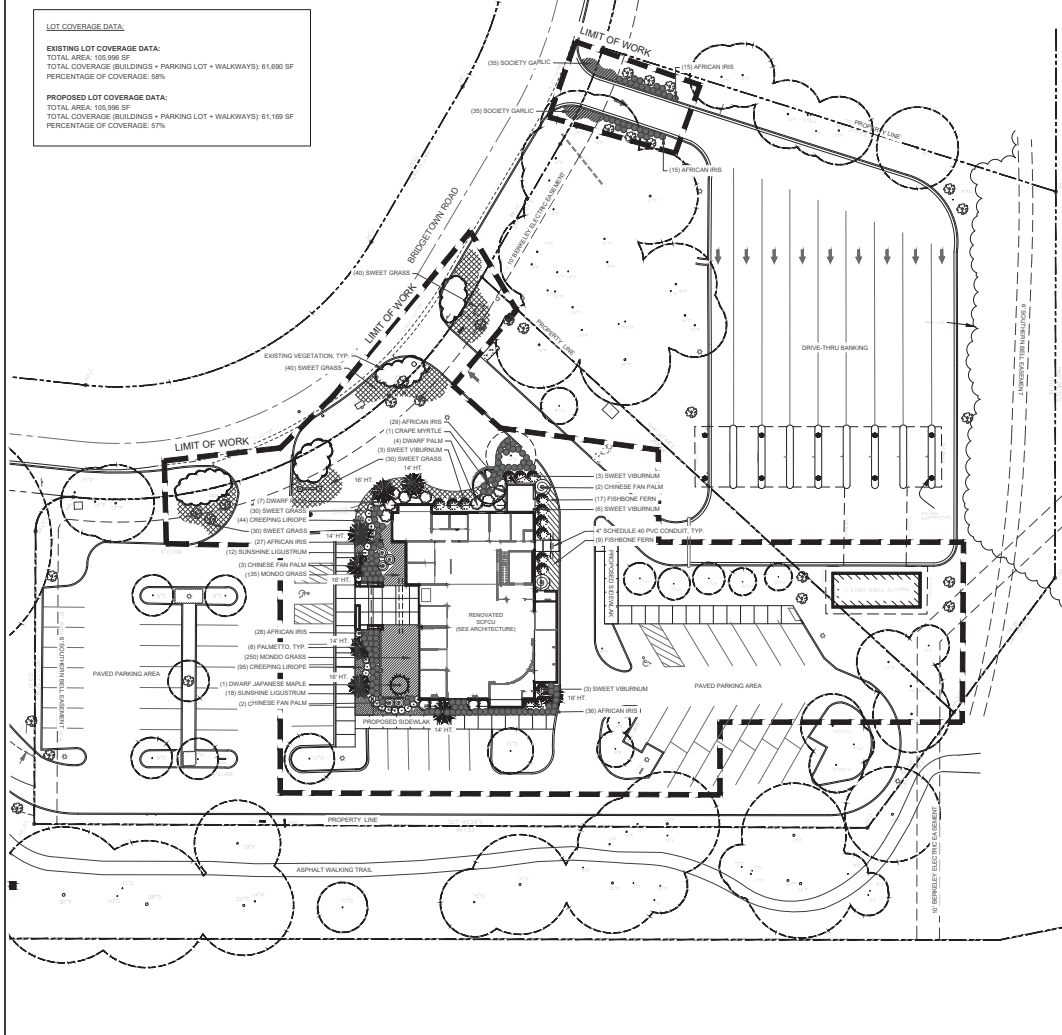
REVISIONS	DATES
PRELIMINARY	05.18.2020

DRAWN BY	JGK
REVISED BY	MLF
CHECKED BY	EWB

**L01**  
EXISTING  
CONDITIONS  
SHEET 1 OF 4

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**LOT COVERAGE DATA:**  
**EXISTING LOT COVERAGE DATA:**  
 TOTAL AREA: 105,996 SF  
 TOTAL COVERAGE (BUILDINGS + PARKING LOT + WALKWAYS): 61,690 SF  
 PERCENTAGE OF COVERAGE: 58%  
**PROPOSED LOT COVERAGE DATA:**  
 TOTAL AREA: 105,996 SF  
 TOTAL COVERAGE (BUILDINGS + PARKING LOT + WALKWAYS): 61,169 SF  
 PERCENTAGE OF COVERAGE: 57%



- GENERAL NOTES FOR ALL WORK:**
1. BASE INFORMATION INCLUDING STREETS, RIGHT-OF-WAYS, LOT LINES, AND TOPO WERE OBTAINED FROM DRAWINGS PROVIDED BY SPIVEY ARCHITECTS, OUTDOOR SPATIAL DESIGN, LLC. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY INFORMATION.
  2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL CODES. CONTRACTORS SHALL ACQUIRE AND PAY FOR ALL PERMITS, LICENSES, TAXES, AND FEES REQUIRED. ALL CONTRACTORS SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, SERVICES, TOOLS, AND MISCELLANEOUS ITEMS REQUIRED FOR A FULLY COMPLETE PROJECT.
  3. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL CABLE LOCATE SERVICE TO LOCATE ALL EXISTING UNDERGROUND ELECTRICAL AND TELEPHONE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL MAKE THESE CONTACTS PRIOR TO BEGINNING WORK.
  4. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS WHERE ADDITIONAL UNDERGROUND UTILITIES MAY EXIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES, BOTH KNOWN AND UNKNOWN. CONTRACTOR SHALL OBSERVE SAFETY PRACTICES WHILE WORKING NEAR VEHICULAR TRAFFIC.
  5. CONTRACTORS SHALL TAKE GREAT CARE TO PROTECT THE TRUNK AND BRANCHING STRUCTURE OF ALL TREES ALONG THE PROPERTY LINE AND IN THE RIGHT OF WAY. THEY SHALL AT ALL TIMES INSURE THAT NO MATERIALS, EQUIPMENT OR VEHICLES ARE STORED AT ANY TIME BELOW THE DRIP LINE OF A TREE'S CANOPY FOR THE DURATION OF THE ENTIRE PROJECT.

- IRRIGATION NOTES:**
1. ALL PLANT MATERIAL SHALL BE IRRIGATED.
  2. IRRIGATION SHALL BE INCLUDED IN THE CONTRACTORS BASE BID.
  3. CONTRACTOR TO COORDINATE WITH THE OWNER FOR LOCATION AND POWER SOURCE FOR IRRIGATION CLOCK, AND WATER SOURCE.
  4. ALL PLANT BEDS SHALL RECEIVE IN-LINE DRIP IRRIGATION SPACED NO GREATER THAN 4' APART, AND ALL SOOED AREAS SHALL RECEIVE OVERHEAD SPRAY IRRIGATION.
  5. SPRAY IRRIGATION SHALL NOT BE CAST ON ANY HARDSCAPE AND/OR SYSTEM SERVICES, PERMITS AND FEES AS NEEDED.
  6. CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR TEMPORARY IRRIGATION SYSTEM SERVICES, PERMITS AND FEES AS NEEDED.

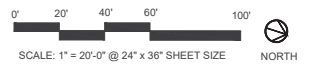
**HANDSCAPE LEGEND:**

===== (2) 4" SCHEDULE 40 PVC CONDUIT INSTALLED SIDE BY SIDE AT A MAX. OF 12" BELOW GRADE OR BELOW WALL FOOTERS.

NOTE:  
 CONTRACTOR TO PROVIDE (1) 4" CONDUIT (SCHEDULE 40) WITHIN THE ROW, CONDUIT TO BE 3" FROM THE EDGE OF THE STREET WITH AN INVERT OF 18" BELOW GRADE. CONDUIT TO EXTEND 24" BEYOND EITHER SIDE OF PAVING AND BE CAPPED ON EACH END.

**EXISTING LEGEND:**

--- PROPERTY LINE  
 - - - EASEMENTS  
 - - - LIMIT OF WORK  
 ○ EXISTING CANOPY TREE / APPROXIMATE LOCATION / SIZE OF CANOPY



THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT OF RECORD AND STAMPED "APPROVED FOR CONSTRUCTION". USE OF THIS DRAWING FOR QUANTITY TAKE-OFFS AND PRICING IS PRELIMINARY UNTIL ALL APPLICABLE PERMITS HAVE BEEN OBTAINED.

1060 E. Montague Ave.  
 Suite 315  
 N. Charleston SC, 29405  
 843.733.3325



# SCFCU - GOOSE CREEK

82 BRIDGETOWN RD.  
 GOOSE CREEK, SC 29445

REVISIONS	DATES
PRELIMINARY	05.18.2020

DRAWN BY	JGK
REVISIED BY	MLF
CHECKED BY	EWB

**L02**  
**PLANTING**  
**PLAN**  
 SHEET 2 OF 4

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**PLANT SCHEDULE:**

**TREES**

Quantity	Botanical Name	Common Name	Size	Remarks
8	Sabal Palmetto	Palmetto Tree	14' (4) / 16' (4)	Hurricane Cut
1	Lagerstroemia indica 'Natchez'	'Natchez' Crape Myrtle	10' HT.	Full, well formed
1	Acer palmatum 'Bloodgood'	'Bloodgood' Japanese Maple	8' HT.	Full, well formed

**SHRUBS**

Quantity	Botanical Name	Common Name	Size	Remarks
16	Sabal minor	Dwarf Palmetto	7 gal.	Full, well formed
7	Livistona chinensis	Chinese Fan Palm	7 gal.	Full, well formed
15	Viburnum odoratissimum	Sweet Viburnum	7 gal.	Full, well formed
30	Ligustrum sinense 'Sunshine'	Sunshine Ligustrum	3 gal.	Full, well formed

**GROUNDCOVERS, PERENNIALS & GRASSES**

Quantity	Botanical Name	Common Name	Size	Remarks
150	Diets iridioides	African Iris	3 gal.	As Shown
170	Muhlenbergia capillaris	Sweet Grass	1 gal.	Space 36" O.C.
26	Nephtolepis cordifolia	Fishbone Fern	1 gal.	Space 24" O.C.
70	Tulbaghia violacea	Society Garlic	1 gal.	Space 18" O.C.
385	Ophiopogon japonicus	Mondo Grass	1 gal.	Space 18" O.C.
139	Liriope spicata	Creeping Liriope	1 gal.	Space 18" O.C.

SOD - Contractor to sod areas damaged during construction

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT OF RECORD AND STAMPED "APPROVED FOR CONSTRUCTION." USE OF THIS DRAWING FOR QUANTITY TAKE-OFFS AND PRICING IS PRELIMINARY UNTIL ALL APPLICABLE PERMITS HAVE BEEN OBTAINED.



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GOOSE CREEK, SC 29445

REVISIONS	DATES
PRELIMINARY	05.18.2020

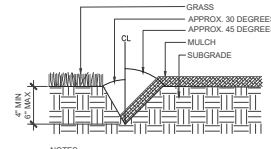
DRAWN BY	JGK
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CHECKED BY	EWB

**L03**  
**PLANTING SCHEDULE**  
SHEET 3 OF 4

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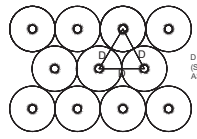
**GENERAL LANDSCAPE NOTES:**

1. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS, AND REVIEW PROPOSED PLANTINGS AND RELATED WORK PRIOR TO SUBMITTING BID.
2. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO CHECK THE QUALITY AND LOCATION OF ALL PLANT MATERIAL PRIOR TO PLANT INSTALLATION.
3. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES, CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS, CONTRACTOR TO VERIFY ALL PLANT COUNTS PRIOR TO BIDDING.
4. LANDSCAPE CONTRACTOR TO COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
5. WHERE EXISTING TREES AND/OR SIGNIFICANT SHRUB MASSINGS ARE FOUND ON SITE, WHETHER SHOWN ON THE DRAWINGS OR NOT, THEY SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED AND/OR ARE IN AN AREA TO BE GRADED. ANY QUESTIONS REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
6. ALL EXISTING TREES TO REMAIN TO BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD AND DAMAGED OR RUBBING BRANCHES.
7. NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF AND GRANTED BY THE LANDSCAPE ARCHITECT BY THE CONTRACTOR PRIOR TO INSTALLATION.
8. ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
9. CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER'S ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
10. WARRANTY FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE OWNER REPRESENTATIVE AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED. LANDSCAPE CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR THE OWNER'S ACCEPTANCE INSPECTION, REMOVE AND REPLACE DEAD PLANT MATERIAL IMMEDIATELY UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON. A LIMIT OF ONE REPLACEMENT OF EACH TREE AND SHRUB WILL BE REQUIRED EXCEPT FOR LOSSES CAUSED BY CONTRACTOR'S ERRORS.
11. LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER'S ACCEPTANCE. ACCEPTANCE OF GRADING AND SOD SHALL BE BY LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REPLACEMENT OF WASH-OUTS AND OTHER OPERATIONS NECESSARY TO KEEP MATERIAL IN A THRIVING CONDITION.
12. PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD AS REQUIRED. CONTACT LANDSCAPE ARCHITECT FOR APPROVAL OF LANDSCAPE MATERIAL PLACEMENT.
13. CONTRACTOR TO REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
14. OWNER OR LANDSCAPE ARCHITECT SHALL INSPECT LANDSCAPE INSTALLATION AND HAVE THE RIGHT TO REFLECT AND WITHHOLD PAYMENT ON ANY PLANT MATERIAL(S) OF DAMAGED OR POOR QUALITY NOT MEETING SPECIFICATIONS.
15. NO PLANTING TO BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
16. IF THE CONTRACTOR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS, OR ANY OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT MATERIAL ESTABLISHMENT, SURVIVAL, OR GUARANTEE, THEY SHALL BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
17. PRIOR TO INSTALLATION OF PLANT MATERIAL, CONTRACTOR SHALL SUBMIT SEVERAL SOIL SAMPLES OF EXISTING SOIL AND ADDITIONAL SOIL BROUGHT ON SITE TO CLEMSON EXTENSION. CONTRACTOR SHALL PROVIDE TEST RESULTS TO LANDSCAPE ARCHITECT AND VERIFY THAT SOIL CONDITIONS ARE OPTIMAL BEFORE ANY PLANT INSTALLATION COMMENCES.
18. ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. PLANT MATERIALS ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. REMOVE ALL TWINE, WIRE AND BURLAP FROM TOP 1/3 OF TREE TRUNKS.
19. ONE SHRUB PER TYPE AND SIZE IN EACH PLANTING BED AND EVERY TREE SHALL BE CLEARLY IDENTIFIED (COMMON OR LATIN NOMENCLATURE) WITH A PLASTIC TAG WHICH SHALL NOT BE REMOVED PRIOR TO OWNER ACCEPTANCE.
20. SEED AND/OR SOD ALL AREAS DISTURBED DUE TO GRADING AND CONSTRUCTION ACTIVITIES, WHERE SODSEED ABUTS PAVED SURFACES, FINISHED GRADE OF SODSEED, SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS ON SLOPES STEEPER THAN 3:1 OR N DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.
21. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING AROUND TREES AND SHRUBS. IMMEDIATELY MULCH WITH DOUBLE SHREDDED HARDWOOD MULCH AT A DEPTH OF NO LESS THAN 3 INCHES AND WATER ALL PLANTS AND TREES, COMPLETE WITHIN 16 HOURS OF INSTALLATION.
22. TREE PLANTINGS AND BED LINES SHALL BE STAKED BY CONTRACTOR FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO INSTALLATION.
23. CONTRACTOR TO INCLUDE IN HIS BASE BID ALL GRADING, PLANTING, MULCHING, HOSE BIBS AND IRRIGATION SYSTEM WHICH SHALL TIE INTO EXISTING SYSTEM (WHERE APPLICABLE).
24. CONTRACTOR TO PROVIDE 3" BEE'S FERRY COMPOST OR APPROVED EQUAL TO ALL BEDS AND FINE GRADE TO PROVIDE SMOOTH TRANSITION INTO EXISTING GRADES. GRADE TO PREVENT PONDING.
25. IF SEASONAL CONDITIONS NECESSITATE THE NEED FOR CONTAINER GROWN STOCK WHEN BALLED AND BURLAPPED PLANT MATERIAL AS SPECIFIED, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SUBSTITUTION.

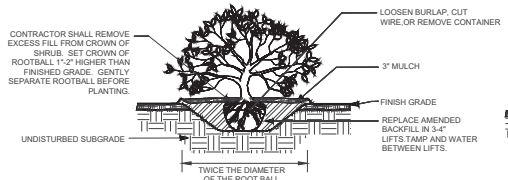


NOTES:  
1. EXCAVATE TRENCH BY HAND WITH SPADE. ADD EXCESS SOIL TO ADJACENT PLANT BED AFTER PULLING BACK EXISTING MULCH. RAKE SOIL AND SMOOTH BEFORE MULCHING.

**1 TRENCH EDGE**  
L04 NOT TO SCALE

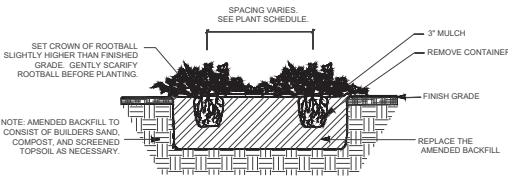


**2 SHRUB / GROUND COVER SPACING**  
L04 NOT TO SCALE



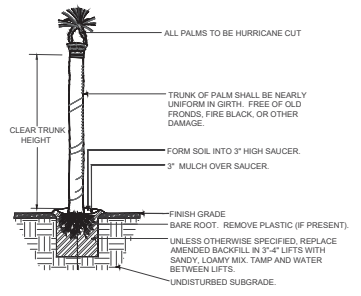
NOTE:  
1. AMENDED BACKFILL TO CONSIST OF BUILDERS SAND, COMPOST, AND SCREENED TOPSOIL, AS NECESSARY.  
2. WHERE SHRUBS ARE PLANTED IN BEDS, MULCH TO COVER ENTIRE BED.

**3 SHRUB INSTALLATION**  
L04 NOT TO SCALE

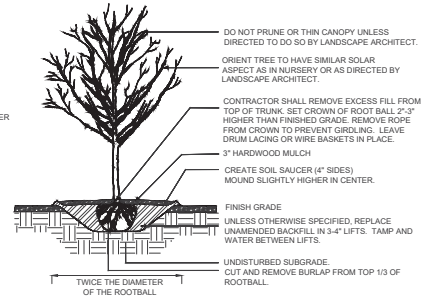


NOTE: AMENDED BACKFILL TO CONSIST OF BUILDERS SAND, COMPOST, AND SCREENED TOPSOIL AS NECESSARY.

**4 GROUND COVER INSTALLATION**  
L04 NOT TO SCALE



**5 PALM TREE INSTALLATION**  
L04



**5 TREE PLANTING DETAIL**  
L04 NOT TO SCALE

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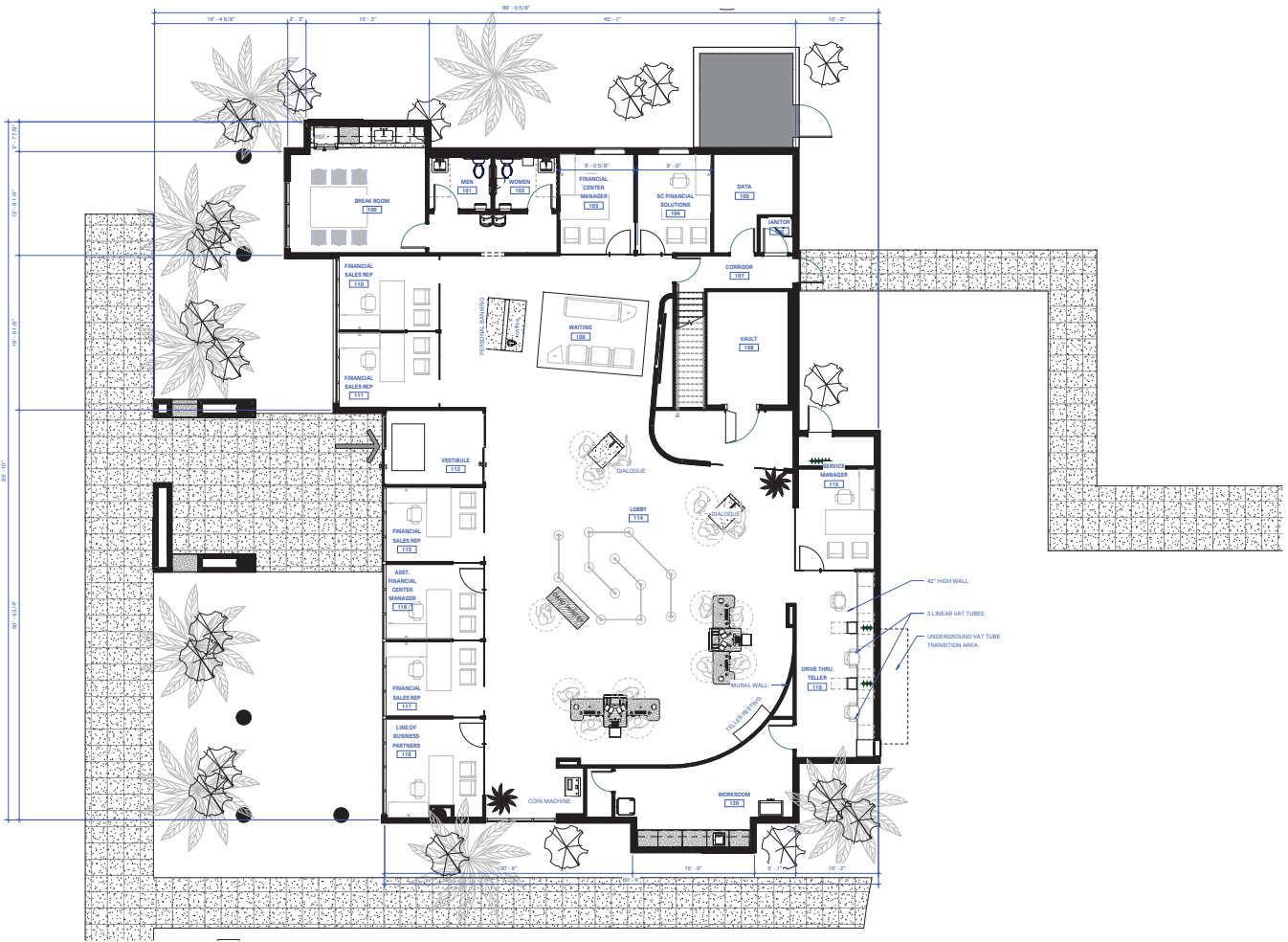
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REVISED BY	MLF
CHECKED BY	EWB

**L04**  
PLANTING  
DETAILS  
SHEET 4 OF 4







**North Elevation (PRES)**  
3/16" = 1'-0"



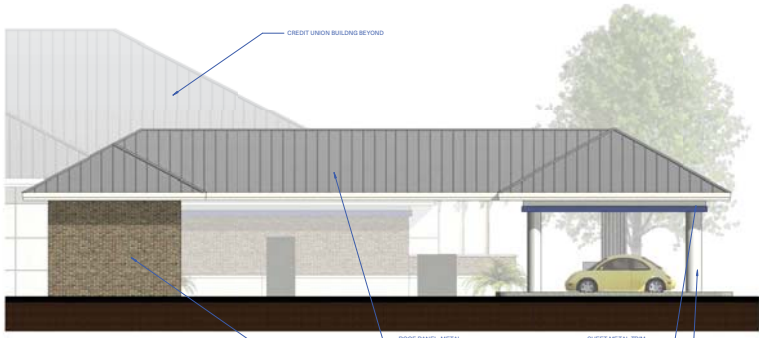
**West Elevation (PRES)**  
3/16" = 1'-0"



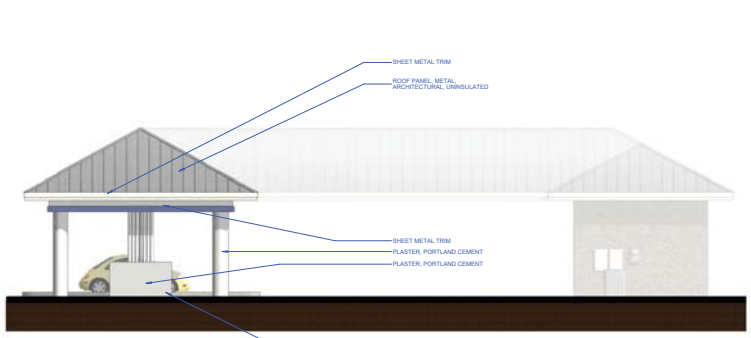
East Elevation (PRES)  
3/16" = 1'-0"



South Elevation (PRES)  
3/16" = 1'-0"



D-T North Elevation (PRES)  
3/16" = 1'-0"



D-T South Elevation (PRES)  
3/16" = 1'-0"



D-T West Elevation (PRES)  
3/16" = 1'-0"



D-T East Elevation (PRES)  
3/16" = 1'-0"



BEFORE

Front Entry 3D View 1



AFTER



BEFORE

Front Entry 3D View 2



AFTER



BEFORE

Bridgetown Rd 3D View



AFTER



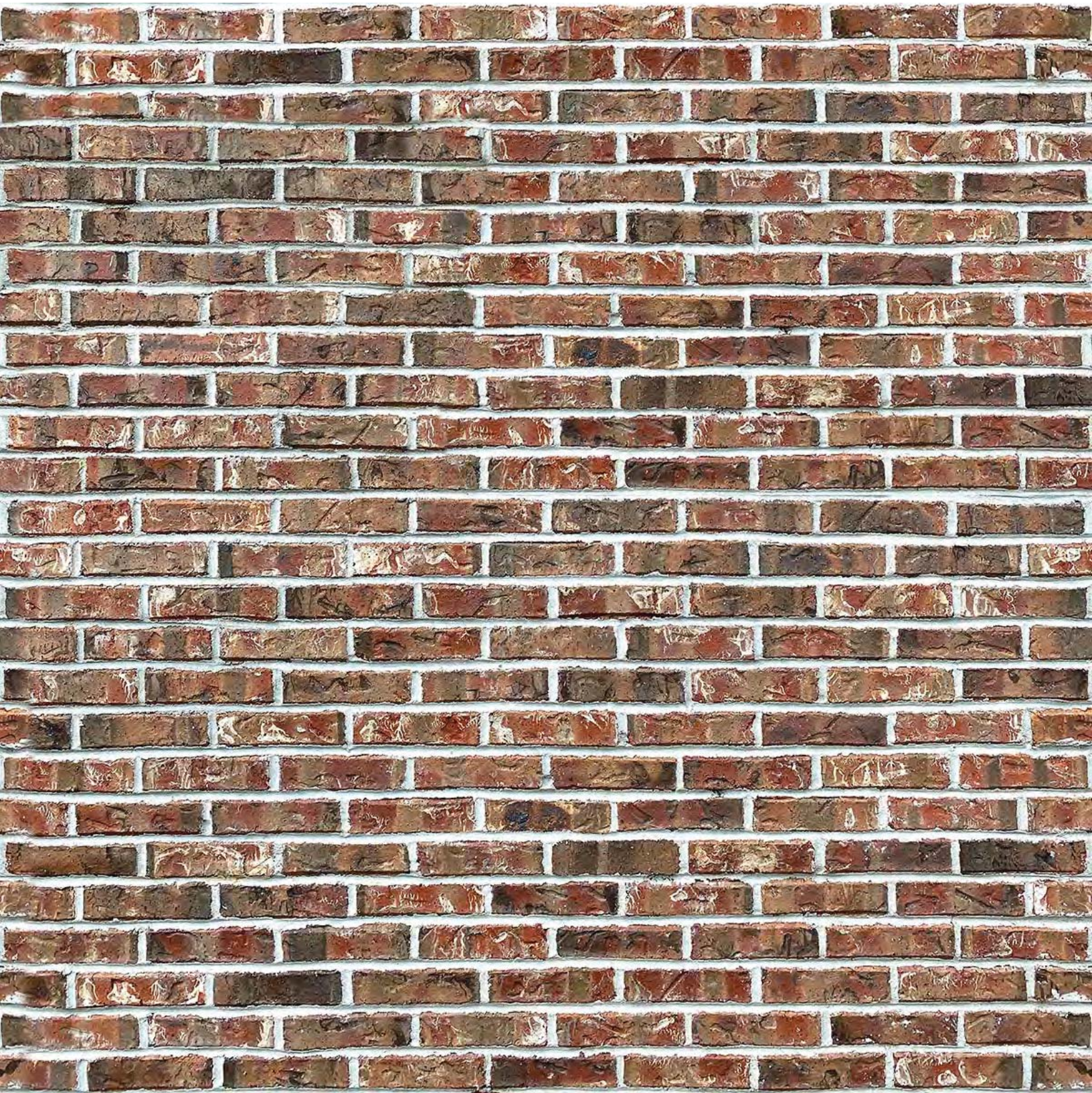
BEFORE

St. James Ave. 3D View



AFTER

# **BUILDING MATERIALS**





385 Sandpiper- Sandpebble Fine



**METAL ROOFING**  
Systems, Inc

**Charcoal Gray**

ROOF

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**METAL ROOFING**  
Systems, Inc

**Regal Blue**

BLUE TRIM

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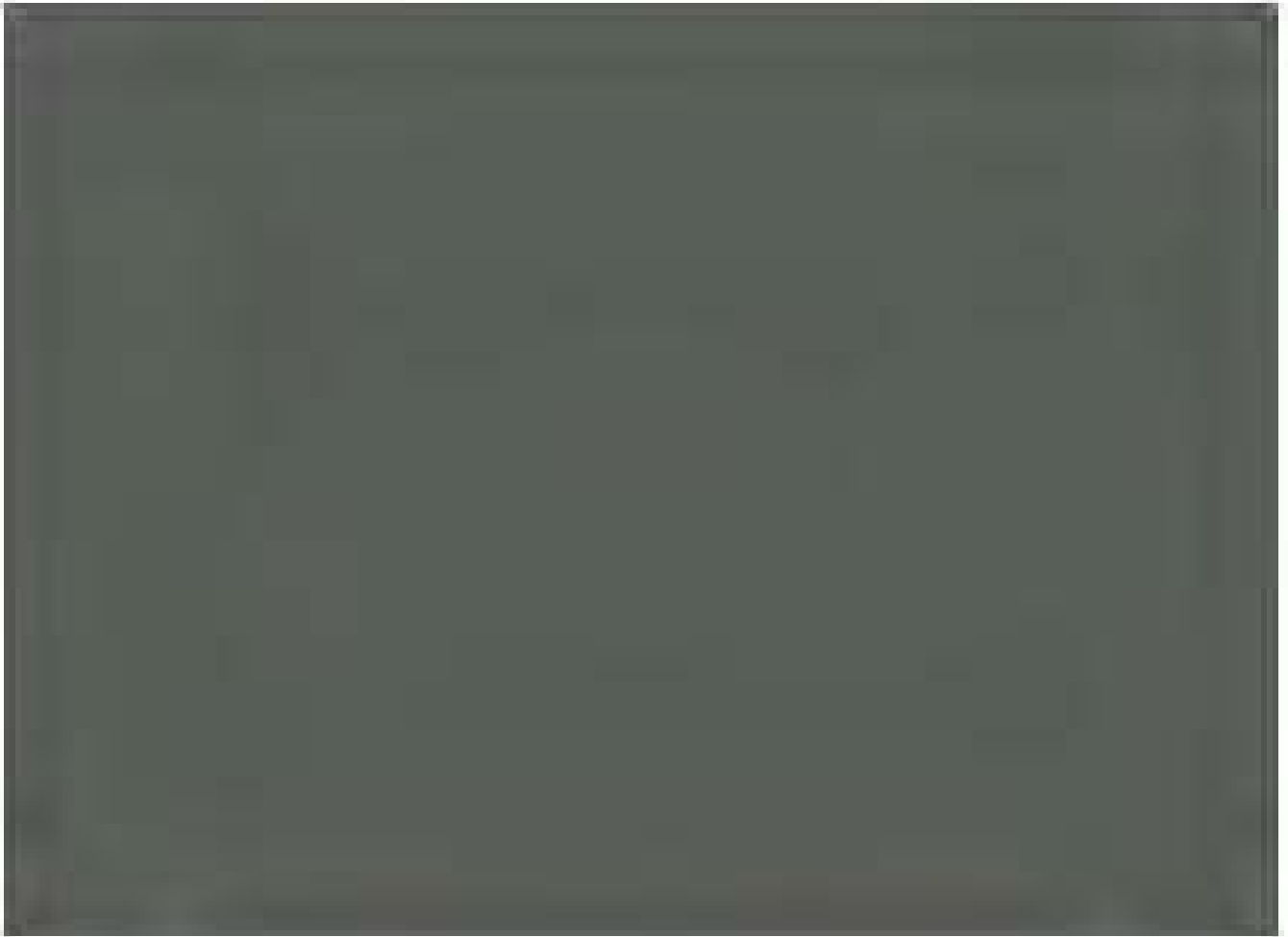


**METAL ROOFING**  
Systems, Inc

**Bone White**

*★  
EAST  
COOPER*

FASCIA, SOFFIT, ETC.



**CHARCOAL**

**GRAY**

**ROOF**

**BLUE TRIM**

**FASCIA,  
GUTTERS,  
SOFFIT, ETC**

**EXISTING  
BUILDING  
IMAGES**