



THE CITY OF
GOOSE CREEK

BERKELEY CO. **EST. 1961** SO. CAROLINA

ARCHITECTURAL REVIEW BOARD
MONDAY, September 16, 2019
6:30PM

MARGUERITE BROWN MUNICIPAL CENTER
CITY HALL COUNCIL CHAMBERS
519 N. GOOSE CREEK BLVD.
GOOSE CREEK, SOUTH CAROLINA

MEMORANDUM

TO: MEMBERS OF THE ARCHITECTURAL
REVIEW BOARD

FROM: BRENDA M. MONEER
PLANNING TECHNICIAN

DATE: August 5, 2019

SUBJECT: NOTIFICATION OF ARB MEETING

This is to remind everyone that the next meeting of the Architectural Review Board is scheduled for Monday, September 16, 2019, at 6:30 p.m. at City Hall.

Please review the enclosed packet. Should you have any questions or comments prior to Monday's meeting, please don't hesitate to contact myself (x.1116) or , Mark Brodeur, Planning Director (x.1118) at 843-797-6220.

We look forward to seeing you.



**CITY OF GOOSE CREEK
ARCHITECTURAL REVIEW BOARD
AGENDA**

MONDAY, SEPTEMBER 19, 2019, 6:30PM
MARGUERITE BROWN MUNICIPAL CENTER
CITY HALL COUNCIL CHAMBERS
519 N. GOOSE CREEK BLVD.

- I. **CALL TO ORDER** – Chairperson Sharon Clopton
- II. **ROLL CALL**
- III. **REVIEW OF MINUTES:** August 19, 2019
- IV. **OLD BUSINESS - Major Applications**
 - a) 105 Commerce - Parking Lot, Landscaping, Building Elevations, Materials, and Colors
 - NEW BUSINESS - Major Applications**
 - b) 114 Etiwan – Shopping Center -Site, Parking Lot, Landscaping, Building Elevations, Materials, and Colors
- V. **COMMENTS FROM THE BOARD**
- VI. **COMMENTS FROM STAFF**
- VII. **ADJOURNMENT**

**MINUTES
CITY OF GOOSE CREEK
ARCHITECTURAL REVIEW BOARD MEETING
MONDAY, August 19, 2019, 6:30 P.M.
MARGUERITE H. BROWN MUNICIPAL CENTER
519 N. GOOSE CREEK BOULEVARD**

I. Call to Order

Chairperson Sharon Clopton called the meeting to order at 6:30 p.m.

II. Roll Call

Present: Sharon Clopton, Ricky Dresel, Gary Becker, David Cantrill, Tom Risso, Lisa Burdick, Jen Wise
Absent: None
Staff Present: Mark Brodeur, Daniel Moore, Brenda Moneer

III. Review of Minutes from July 15, 2019

Board Member Becker stated he did not state that the back of the sign needs to be painted to match the rest of the building under Item five (5) of New Business. Upon reviewing the recording of the July 15, 2019 meeting (position 6:12), Board Member Becker did state what is written in the minutes. Board Member Becker stated a typographical error was made under Comments from Staff.

Motion: A motion was made to approve the minutes with amendments. **Moved by** Board Member Becker, **Seconded by** Board Member Risso.
Discussion: There was none.
Vote: All voted in favor, none opposed (7-0). Motion carried.

IV. New Business - Minor Applications

a) Charleston Nutrition-139 Red Bank Rd-Wall Mount Sign

A representative presented the application and color samples to the ARB. The applicant answered all inquiries.

Motion: A motion was made to approve the application as submitted. **Moved by** Board Member Risso, **Seconded by** Board Member Cantrill.
Discussion: There was none.

Vote: All voted in favor, none opposed (7-0). Motion carried.

b) House of Bliss Spa-5 S Alliance Dr-Wall Mount Sign

A representative presented the application and color samples to the ARB. The applicant answered all inquiries.

Motion: A motion was made to approve the application as submitted. **Moved by** Board Member Risso, **Seconded by** Board Member Cantrill.

Discussion: There was none.

Vote: All voted in favor, none opposed (7-0). Motion carried.

c) Millie's Garden – 105 Thomason Blvd – Wall Mount Sign

A representative presented the application and color samples to the ARB. The applicant answered all inquiries. Chairperson Sharon stated it will be required that the fascia is painted to match the rest of the building before the sign can be installed. The representative stated he will inform the landlord and stated he is concerned if one section is painted it will not look like the rest of the building.

Motion: A motion was made to approve the application as submitted contingent upon painting the fascia to the same color blue to match the entire front of the building. **Moved by** Board Member Risso, **Seconded by** Board Member Cantrill.

Discussion: Mrs. Moneer stated staff can send a letter to the landlord for the maintenance of the painting for the facade.

Vote: All voted in favor, none opposed (7-0). Motion carried.

d) First Baptist Church of Goose Creek – 141 St. James Ave - Signage

A representative presented the application and color samples to the ARB. The applicant answered all inquiries.

Motion: A motion was made to approve the application as submitted **Moved by** Board Member Risso, **Seconded by** Board Member Dresel.

Discussion: It was stated that the sign will not be backlit, and the typeface will be the same modern style.

Vote: All voted in favor, none opposed (7-0). Motion carried.

e) Parkers Kitchen-538 Red Bank Rd-Signage

A representative was not present to present the application to the ARB.

f) Tire Choice - 106 S Goose Creek Blvd - Exterior Paint and Signage

g) Tire Choice - 431 St James Ave - Exterior Paint and Signage

A representative presented the application and color samples to the ARB for item **f** and **g** on the agenda. The applicant answered all inquiries.

Motion: A motion was made to deny the application as presented for both items **f** and **g** on the agenda. **Moved by** Board Member Becker, **Seconded by** Board Member Risso

Discussion: Board Members discussed that the proposed sign looks great, but it does not go with the existing color of the building. It was not clear to the board if signage will be placed above the bay doors.

Roll Call Vote: Board Member Dresel voted in favor, Board Member Becker voted in favor, Board Member Cantrill voted in favor, Chairperson Clopton voted in favor, Board Member Risso voted in favor, Board Member Burdick opposed, Board Member Wise voted in favor. (6-1) Motion carried.

h) Skiff - 205 S Goose Creek Blvd - Exterior Paint and Signage

A representative presented the application and color samples to the ARB. The applicant answered all inquiries.

Motion: A motion was made to approve the application as submitted for choice one (1) contingent upon base landscaping, evergreen in nature, and including the address on the sign. **Moved by** Board Member Risso, **Seconded by** Board Member Wise.

Discussion: None

Vote: All voted in favor, none opposed (7-0). Motion carried.

V. Old Business - Major Application

i) Taco Bell - 104 S Goose Creek Blvd - Exterior Modifications to Previously Approved Building Elevations

A representative presented a request to modify a previously approved application for Taco Bell. The applicant is asking the board to approve stonework on the base of the columns and

exterior insulation and finish system (EIFS) on the base of the building. No material samples were provided.

- Motion:** A motion was made to deny the application as submitted until samples of materials are presented and documentation provided. **Moved by** Board Member Becker, **Seconded by** Board Member Dresel.
- Discussion:** Discussion regarding EIFS ensued.
- Vote:** All voted in favor, none opposed (7-0). Motion carried.

VI. New Business - Major Applications

j) 105 Commerce-Site - Parking Lot, Landscaping, Building Elevations, Materials, and Colors

This item was postponed until the next ARB meeting.

- Motion:** A motion was made to revisit the Tire Choice Applications. **Moved by** Board Member Risso, **Seconded by** Board Member Cantrill.
- Discussion:** None.
- Roll Call Vote:** All voted in favor, none opposed (7-0). Motion carried.

The representative stated she spoke with the person in charge of the two Tire Choice locations that are listed on the agenda. She stated it was confirmed that they are taking the signs down over the bays and the entire building will be painted blue and gray.

- Motion:** A motion was made to approve the applications for the signs as presented contingent upon the building be painted and the signs over the bays are removed. **Moved by** Board Member Becker, **Seconded by** Board Member Cantrill.
- Discussion:** None.
- Roll Call Vote:** All voted in favor, none opposed (7-0). Motion carried.

The board voted on Parker's Kitchen without a representative present and out of order.

- Motion:** A motion was made to approve the applications as submitted. **Moved by** Board Member Risso, **Seconded by** Board Member Wise.
- Discussion:** Board Member Burdick requested City Staff to verify if Diesel will be added to the monument sign. Mrs. Moneer stated she will verify.

Roll Call Vote: All voted in favor, none opposed (7-0). Motion carried.

VII. Comments from The Board

Board Member Becker stated the karate studio by Food Lion still has the beauty supply Sign above it. He stated the Food Lion Shopping Center frames are white and the board approved bronze. It was stated that Harvest Academy has an illegal banner. Mr. Moore stated she will send a letter.

VIII. Comments from Staff

Mrs. Moneer stated training will occur this week.

IX. Adjournment

Motion: A motion was made to adjourn at 7:28 pm. **Moved By:** Board Member Risso, **Seconded By:** Board Member Wise.

Discussion: There was none.

Vote: All voted in favor, none opposed (7-0). Motion carried.

Sharon Clopton, Chairperson

Date _____



ARB SCOPE OF WORK FORM/

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address: 105 Commerce Place Goose Creek, SC		TMS No.: 243-04-00-040
Review request:	For:	Preliminary meeting date requested:
<input type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	

Property Owner: Commerce Place Investors LLC	Daytime phone: 843-270-9402
Applicant: Chris Koepenick	Daytime phone:
ARB Meeting Representative: Chris Koepenick	Contact Information:
Applicant's mailing address: 530 Johnnie Dodds Blvd Suite 204	
City: Mt Pleasant	State: SC Zip: 29464
Applicant's e-mail address: chris@koepenickcp.com	
Applicant's relationship: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

Materials/Colors Used: (specific color(s)/manufacture #'s listed: samples must be presented to Board Attached)
 (Example: Building Materials, Exterior Colors, Landscaping, Lighting)

CECO Building Systems www.cecobuildings.com
 Color for Horizontal PBU Panel - Cobalt Blue Signature 200
 Color for Vertical PBR Panel - Ash Grey
 Knee Wall - Manor Grey Stone Veneer

Scope of Work: (please give a detailed description)

We are proposing to build a 6960 square foot pre-engineered metal building on this .83 acre parcel. The interior will have approximately 1200sf of office space with the balance being used for the Tenants inventory. There will be one 12x12' grade level roll up door. The roof will be a single slope starting at 14' and sloping down to 12'. Five store front style windows will provide an attractive entrance which will be very visible to Commerce Place.

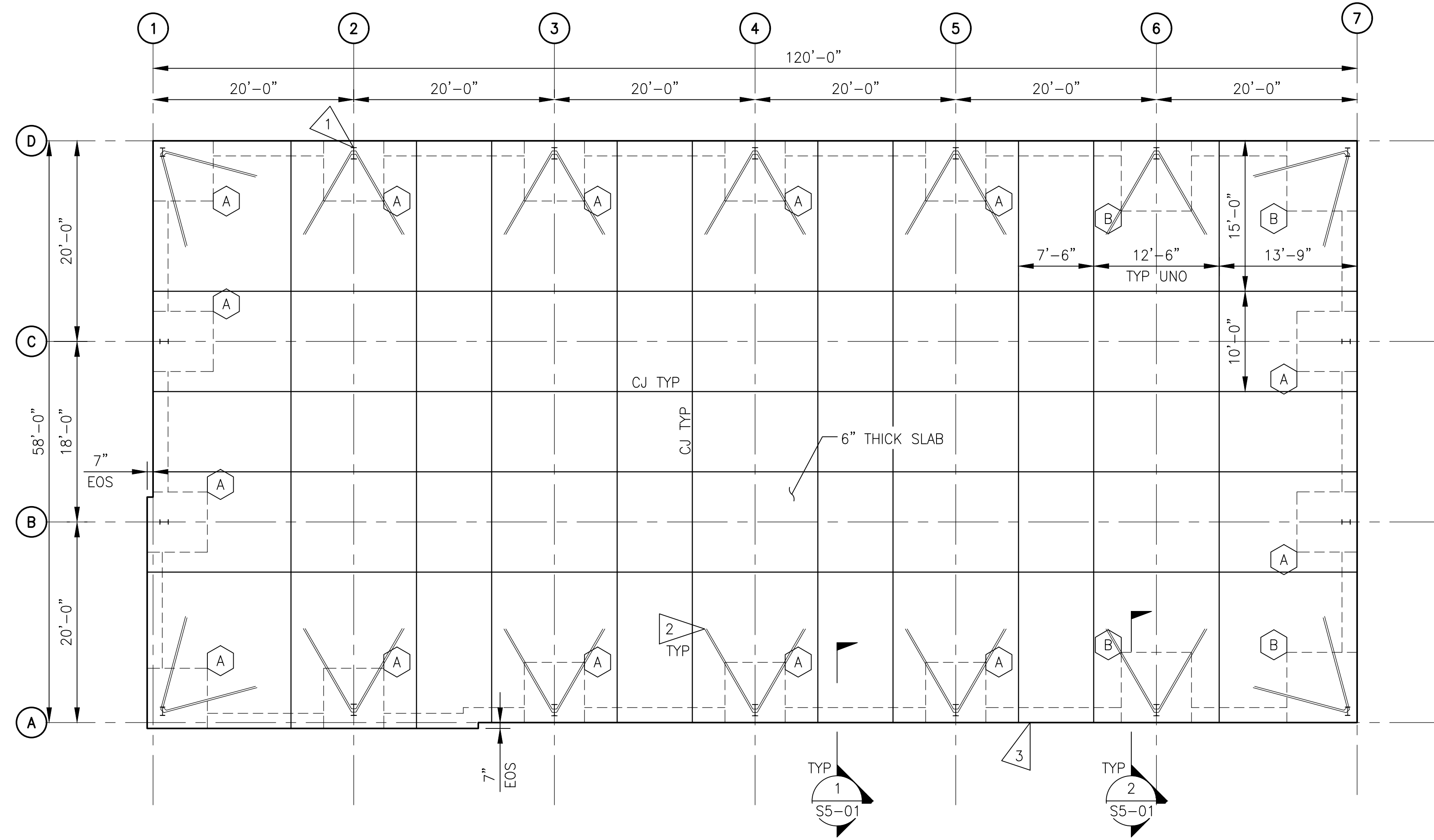
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature: Chris Koepenick **Date:** 8-28-19

Print name legibly: Chris Koepenick

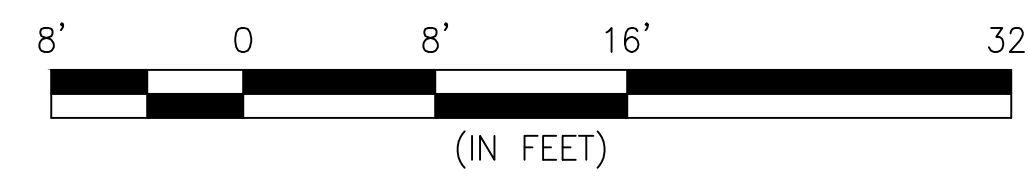


FILE NAME: 20190069s1-01.dwg
 USER NAME: Kimberly Stephens
 LAST UPDATE: 8/5/2019 5:31 PM
 PLOTTED: 8/26/2019 9:01 AM
 PATH: P:\Koepenick Commercial Properties\20190069 - 7,000 Sqft Warehouse - Commerce Place Drawings\Structural



CONCRETE SLAB ON COMPACTED
 BACKFILL ON VAPOR BARRIER WITH
 W/6x6 - W4.0xW4.0 WWF
 (SEE PLAN FOR SLAB THICKNESS)

FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"



GENERAL NOTES:

1. FOR DESIGN CRITERIA AND GENERAL NOTES REFER TO DRAWING S0-01 THRU S0-03

LEGEND

CJ DENOTES CONTROL JOINT.
 REFER TO DET 5/S5-01.

A DENOTE FOUNDATION TYPE. SEE SCHEDULE.

EOS DENOTES EDGE OF SLAB

CONSTRUCTION NOTES:

1 REFER TO PEMB MANUFACTURER'S DRAWING FOR ANCHOR BOLT AND BASEPLATE DETAILS (SEE DET 6/S5-01 FOR ANCHOR BOLT EMBED)

2 (2) REBAR HAIRPINS @ EA. COLUMN SEE DET 4/S5-01

3 COORDINATE ALL DOOR OPENINGS w/ PEMB DRAWINGS. SEE SECTION 3/S5-01 FOR OPTIONAL EDGE ANGLE

LOC
 LIVE OAK CONSULTANTS
 Engineers, Project Managers & Planners
 PO Box 60490
 North Charleston, SC 29419
 MAIN: (843) 529-9428
 FAX: (800) 915-0341
 www.LiveOakConsultants.com
 Email: Info@LiveOakConsultants.com

SOUTH CAROLINA
 LIVE OAK CONSULTANTS LLC
 No. 15299
 08/26/19
 CLARK P. SMITH
 NO. 3886

CLIENT:



Koepenick Commercial Properties, LLC
 530 Johnnie Dodds Blvd, Suite 204,
 Mount Pleasant, SC 29464

0 08/26/2019 KLS

ISSUED FOR CONSTRUCTION

REV. DATE REV. BY

REVISION INFORMATION

PROJ. MANAGER: GRU
 DESIGNED BY: CPS
 DRAWN BY: MES
 APPROVED BY: CPS
 SCALE: 1/8" = 1'-0"
 PROJ. NUMBER: 20190069
 CAD FILE: 20190069S1-01.DWG

DRAWING TITLE:

**105 COMMERCE PLACE
 GOOSE CREEK, SC
 STRUCTURAL
 FOUNDATION PLAN**

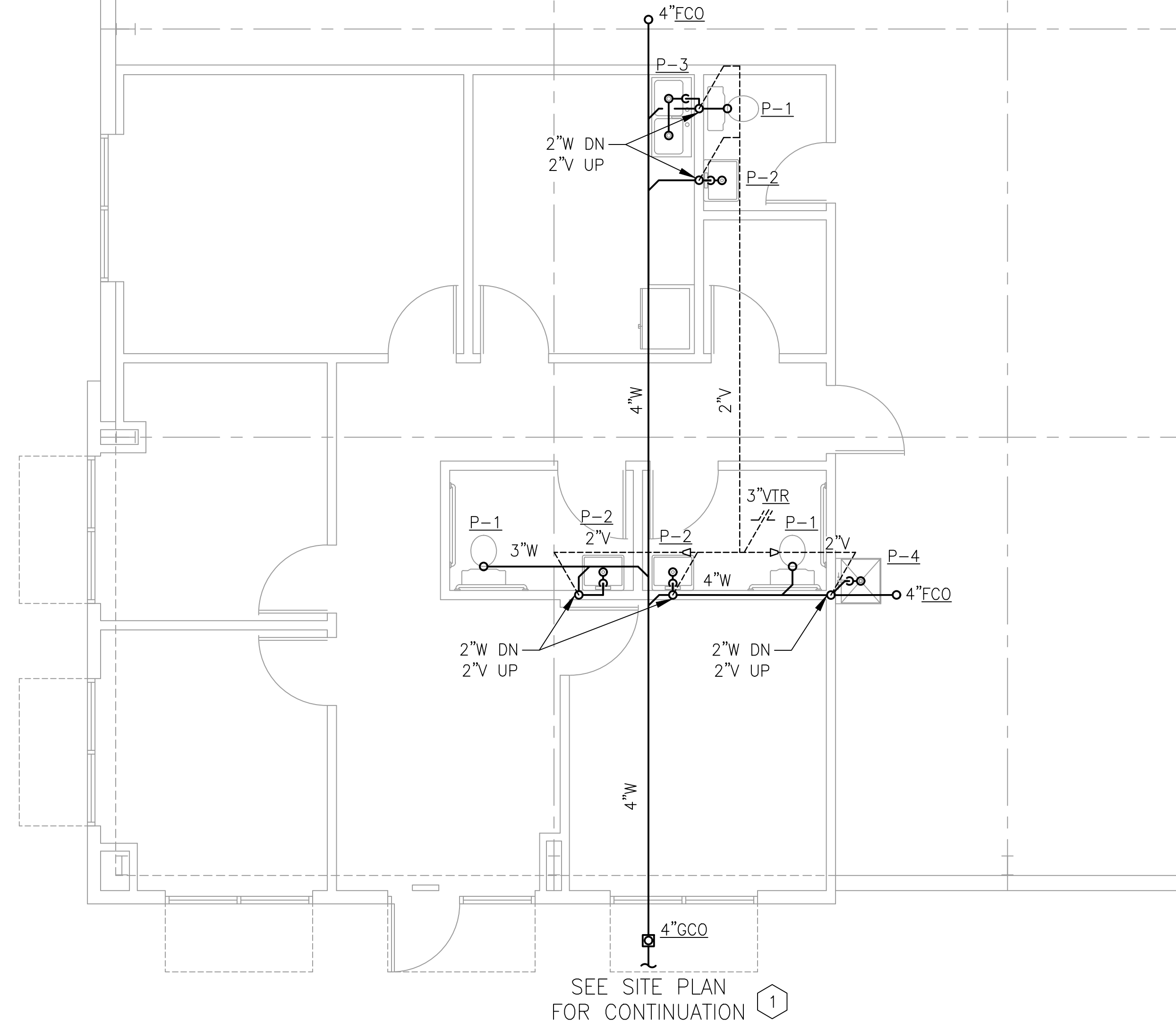
DRAWING NO.:

S1-01

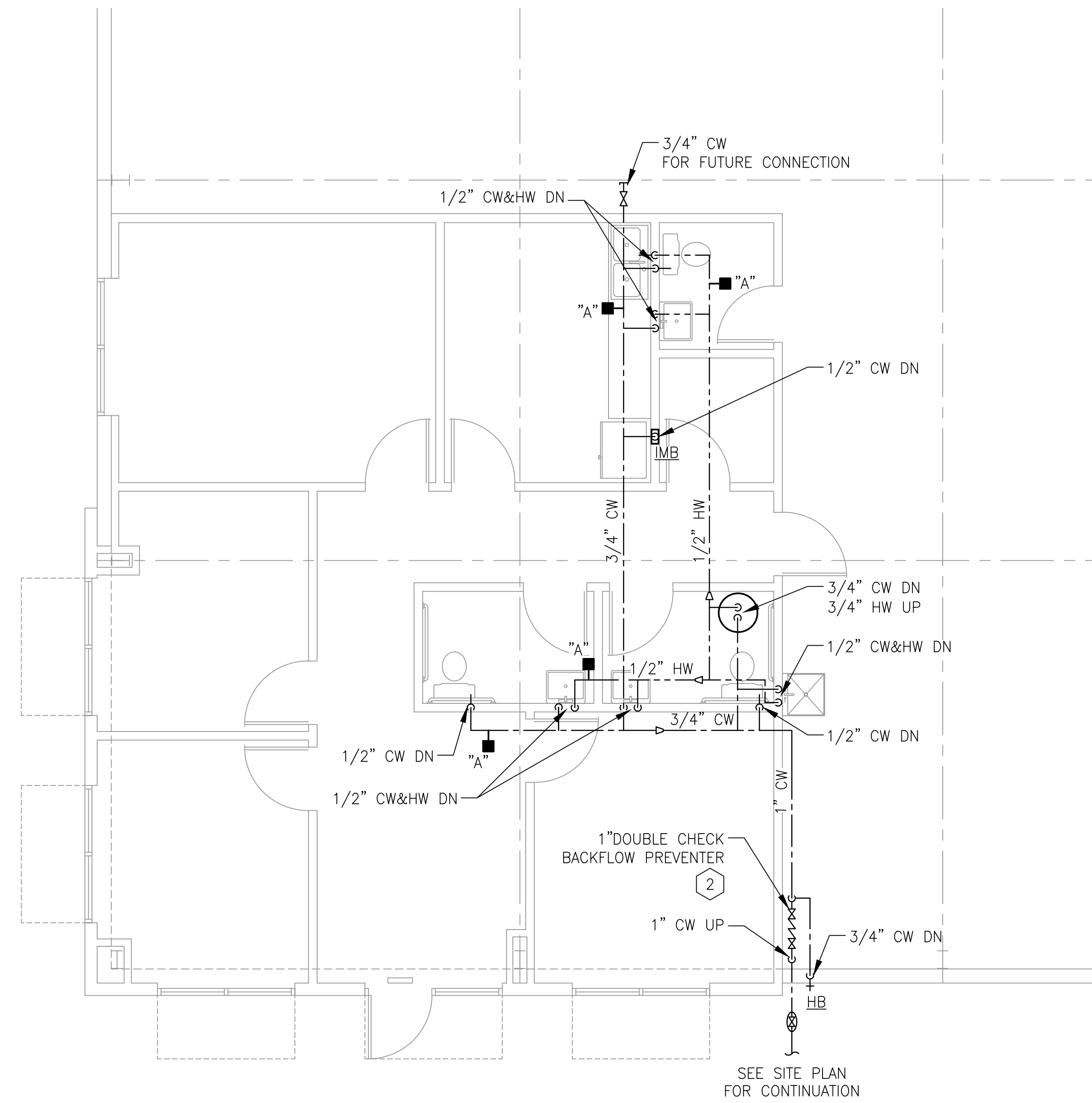
STRUCTURAL FOUNDATION SCHEDULE				
MARK	SIZE (LxW)	THICKNESS	REINFORCING	COMMENTS
TYPE A	6'-0"x6'-0"	2'-0"	(8) #6 EQ SP EW TOP (8) #6 EQ SP EW BOT	SEE DET 2/S5-01
TYPE B	7'-0"x7'-0"	2'-0"	(8) #6 EQ SP EW TOP (10) #6 EQ SP EW BOT	SEE DET 2/S5-01

COPYRIGHT 2019 - ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF LIVE OAK CONSULTANTS, LLC AND IS NOT TO BE COPIED OR USED FOR ANY PURPOSE OTHER THAN THE SPECIFIC PROJECT IDENTIFIED HEREIN WITHOUT THE WRITTEN CONSENT OF LIVE OAK CONSULTANTS, LLC.

FILE NAME: 20190069p4-01.dwg
 USER NAME: Kimberly Stephens
 LAST UPDATE: 8/16/2019 11:26 AM
 PLOTTED: 8/26/2019 9:05 AM
 PATH: P:\Koepenick Commercial Properties\20190069 - 7,000 Sqft Warehouse - Commerce Place\Drawings\Mechanical



SANITARY SEWER PLAN
 SCALE: 1/4"=1'-0"



DOMESTIC WATER PLAN
 SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. SLOPE ALL WASTE PIPING 1/4" PER FOOT.

KEYED NOTES:

- 1 COORDINATE THE INVERT ELEVATION OF THE PIPES WITH THE CIVIL PLANS.
- 2 MOUNT THE BACKFLOW PREVENTER AT 24" A.F.F.

LOC
 LIVE OAK CONSULTANTS
 Engineers, Project Managers & Planners
 PO Box 60490
 North Charleston, SC 29419
 MAIN: (843) 529-9428
 FAX: (800) 915-0341
 www.LiveOakConsultants.com
 Email: Info@LiveOakConsultants.com



CLIENT:



Koepenick Commercial Properties, LLC
 530 Johnnie Dodds Blvd, Suite 204,
 Mount Pleasant, SC 29464

REV.	DATE	REV. BY
0	08/26/2019	KLS

ISSUED FOR CONSTRUCTION
 REVISION INFORMATION

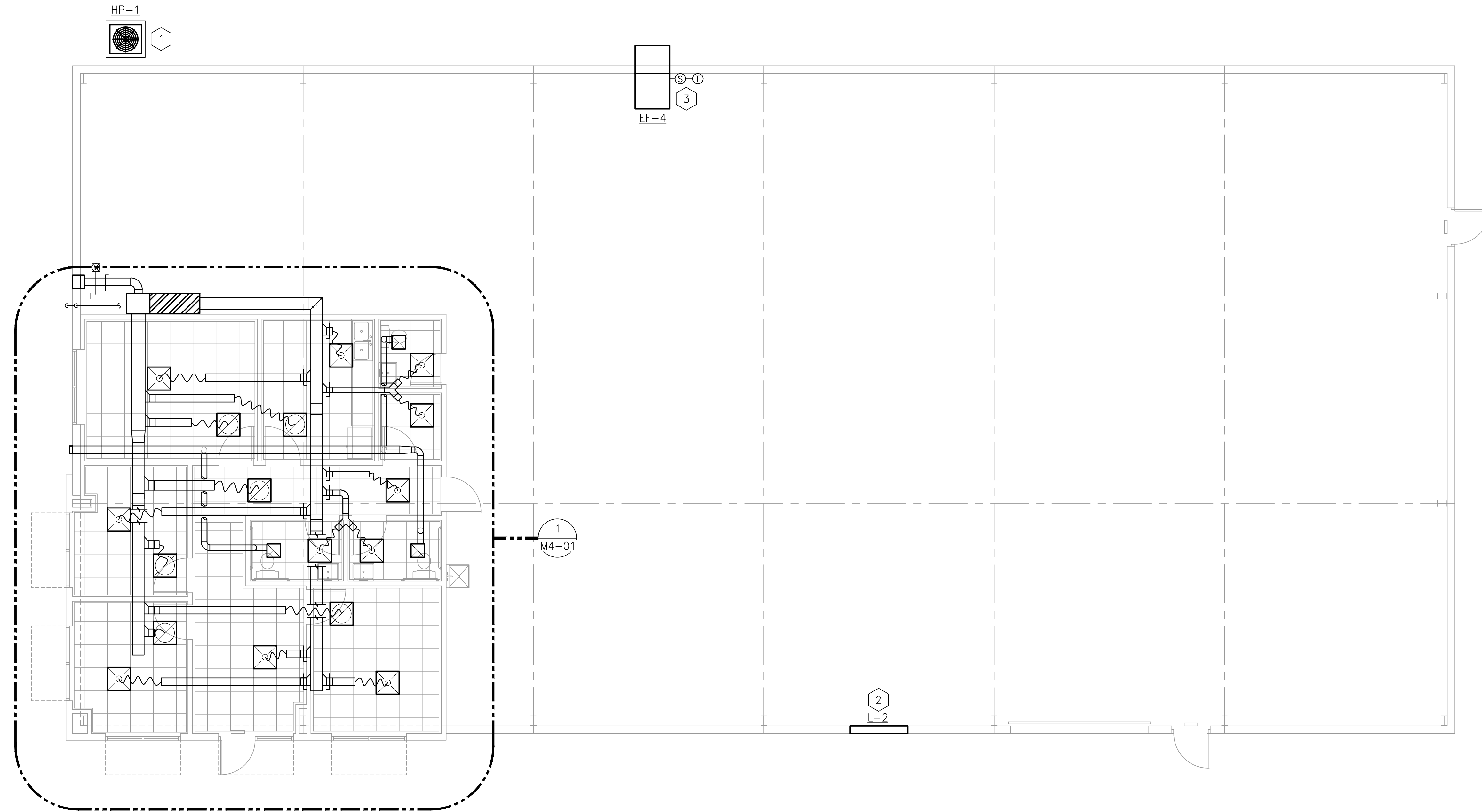
PROJ. MANAGER: G. ULMER
 DESIGNED BY: P. GEE
 DRAWN BY: P. GEE
 APPROVED BY: G. ULMER
 SCALE: AS SHOWN
 PROJ. NUMBER: 20190069
 CAD FILE:

DRAWING TITLE:
**105 Commerce Place
 Goose Creek, SC**
**ENLARGED
 PLUMBING PLANS**

DRAWING NO.:
P4-01

COPYRIGHT 2018 - ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF LIVE OAK CONSULTANTS, LLC AND IS NOT TO BE COPIED OR USED FOR ANY PURPOSE OTHER THAN THE SPECIFIC PROJECT IDENTIFIED HEREIN WITHOUT THE WRITTEN CONSENT OF LIVE OAK CONSULTANTS, LLC.

FILE NAME: 20190069m1-01.dwg
 USER NAME: Kimberly Stephens
 LAST UPDATE: 8/26/2019 9:03 AM
 PLOTTED: 8/26/2019 10:32 AM
 PATH: P:\Koepenick Commercial Properties\20190069 - 7,000 Sqft Warehouse - Commerce Place Drawings\Mechanical



MECHANICAL PLAN
 SCALE: 3/16"=1'-0"

KEYED NOTES:

- ① SET HP ON 4" THICK CONCRETE PAD.
- ② THE BOTTOM OF THE LOUVER SHALL BE AT 12" A.F.F.
- ③ THE BOTTOM OF THE EXHAUST FAN SHALL BE AT 10'-0" A.F.F.

LOC
 LIVE OAK CONSULTANTS
 Engineers, Project Managers & Planners
 PO Box 60490
 North Charleston, SC 29419
 MAIN: (843) 529-9428
 FAX: (800) 915-0341
 www.LiveOakConsultants.com
 Email: Info@LiveOakConsultants.com

SOUTH CAROLINA
 LIVE OAK CONSULTANTS
 LLC
 NO. 3886

SOUTH CAROLINA
 PROFESSIONAL ENGINEER
 Gerald R. Ulmer
 No. 18377
 08/26/19
 GERALD R. ULMER

CLIENT:

KOEPENICK
 Commercial Properties LLC

Koepenick Commercial
 Properties, LLC
 530 Johnnie Dodds Blvd, Suite 204,
 Mount Pleasant, SC 29464

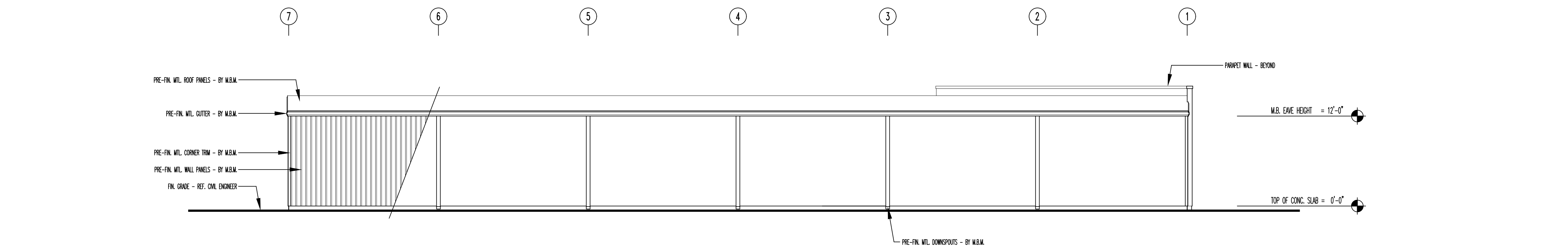
0	08/26/2019	KLS
ISSUED FOR CONSTRUCTION		
REV.	DATE	REV. BY
REVISION INFORMATION		
PROJ. MANAGER:	G. ULMER	
DESIGNED BY:	G. ULMER	
DRAWN BY:	P. GEE	
APPROVED BY:	G. ULMER	
SCALE:	AS SHOWN	
PROJ. NUMBER:	20190069	
CAD FILE:		

DRAWING TITLE:
**105 Commerce Place
 Goose Creek, SC**

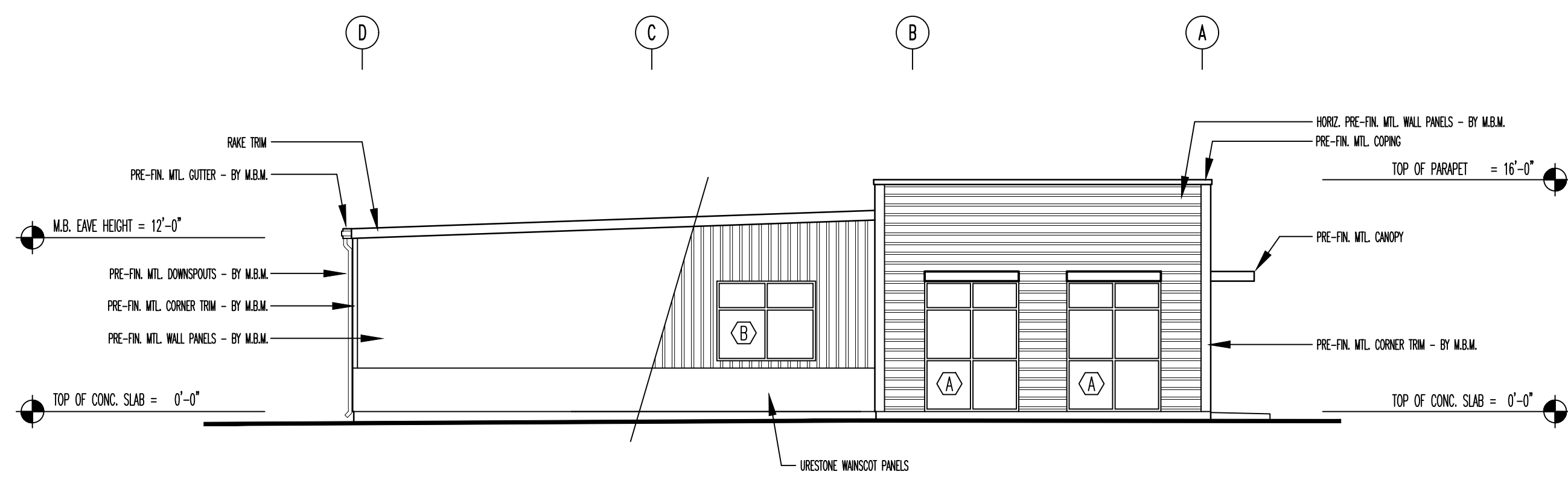
MECHANICAL PLAN

DRAWING NO.:
M1-01

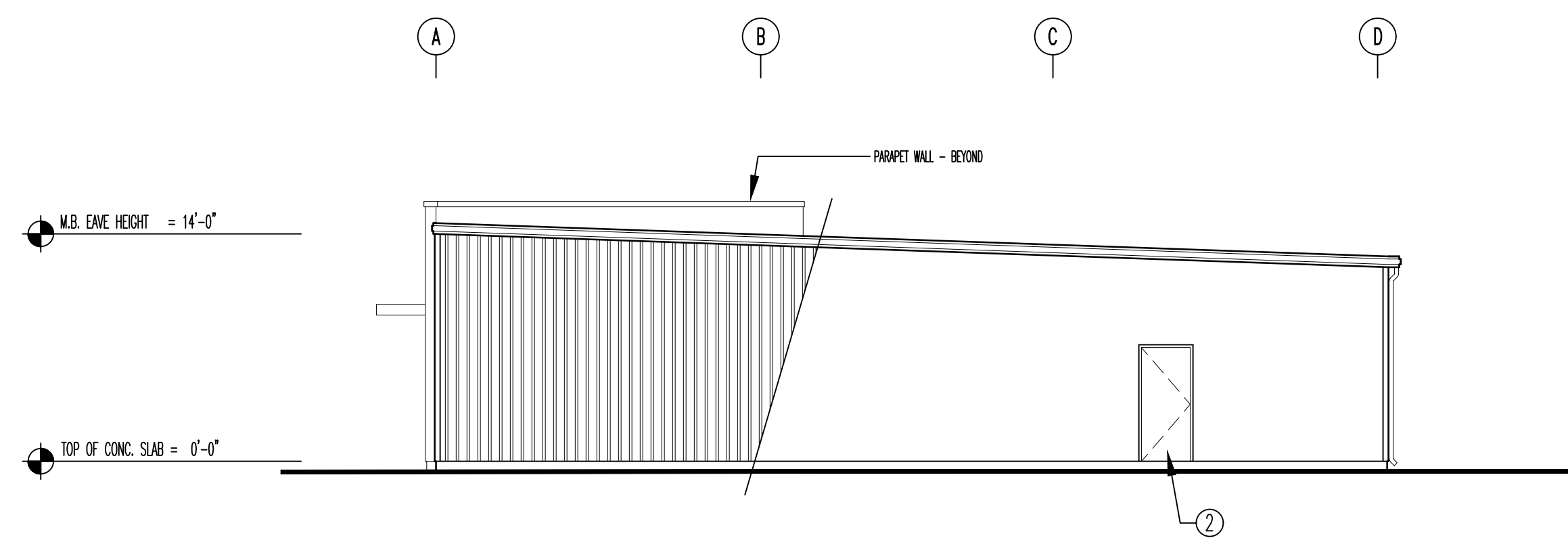
COPYRIGHT 2018 - ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF LIVE OAK CONSULTANTS, LLC AND IS NOT TO BE COPIED OR USED FOR ANY PURPOSE OTHER THAN THE SPECIFIC PROJECT IDENTIFIED HEREIN WITHOUT THE WRITTEN CONSENT OF LIVE OAK CONSULTANTS, LLC.



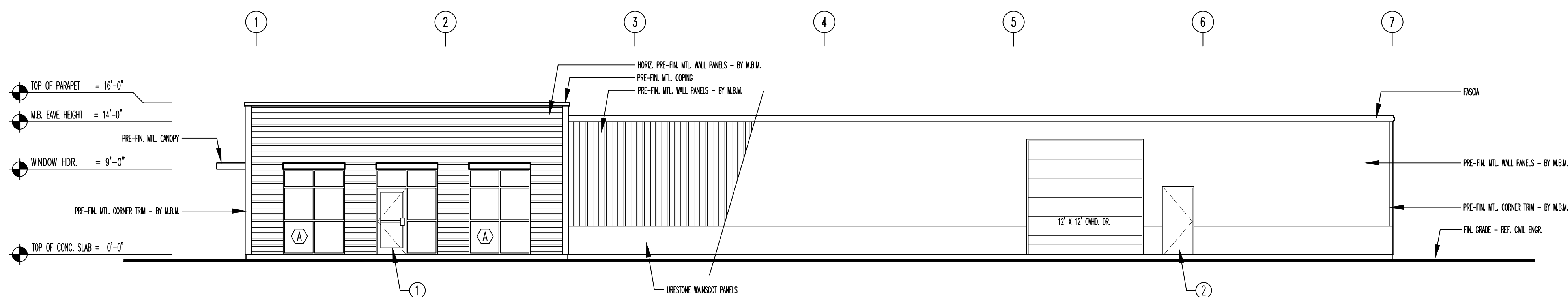
03 Rear Elevation
SCALE 1/8" = 1'-0"



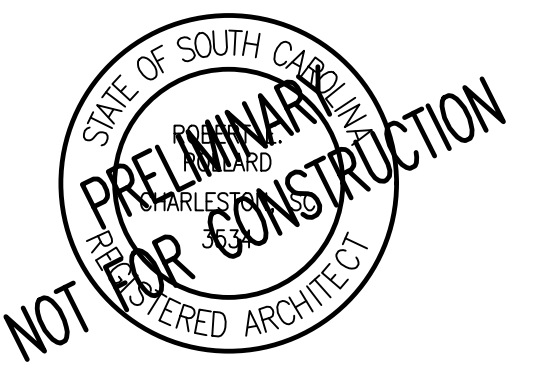
02 Left Side Elevation
SCALE 1/8" = 1'-0"



04 Right Side Elevation
SCALE 1/8" = 1'-0"



01 Front Elevation
SCALE 1/8" = 1'-0"



SHELTER ARCHITECTURE, LLC

RESIDENTIAL+COMMERCIAL+RENOVATION

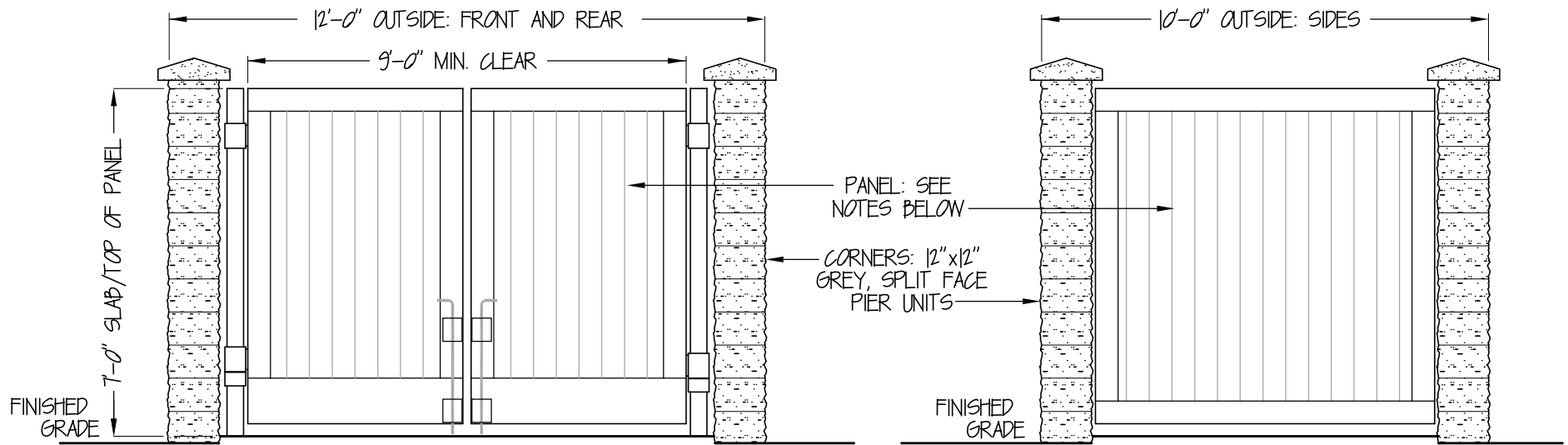
P.O. BOX 32036
CHARLESTON, SOUTH CAROLINA 29407

843-766-5136 OFFICE

rpollard002@comcast.net EMAIL

© SHELTER ARCHITECTURE, LLC 2019

THESE DRAWINGS REMAIN THE PROPERTY OF SHELTER ARCHITECTURE, LLC AND MAY NOT BE ALTERED OR REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM SHELTER ARCHITECTURE, LLC. ALL RIGHTS RESERVED.



FRONT VIEW

SIDE VIEW

ENCLOSURE NOTES:

1. ALL COLORS, MATERIALS AND STYLES TO MATCH AND BE COORDINATED WITH MAIN BUILDING. COLUMNS SHALL BE SPLIT FACE GREY PIER BLOCK.
2. PANELS SHALL BE EITHER GALVALUM MATERIAL MATCHING BUILDING OR 1x6 TONGUE & GROOVE RECESSED PANEL. ALL PANELS SHALL BE "RECESSED" WITH 1x6 FRAME BOARDS (1x2 AT BOTTOM GATE PANELS) STAINED TO MATCH BUILDING COLOR.
3. ALL WOOD FINISH TO BE TWO COATS STAIN. COLOR TO MATCH MAIN BUILDING.
4. GATE LATCHES BETWEEN OPPOSING DOORS AND SINGLE DOORS / GROUND SHALL BE APPROVED BY OWNER PRIOR TO ORDER OR MANUFACTURE.
5. SLAB SHALL BE REINFORCED MIN. 6" THICK WITH THICKENED EDGES OF 8" THICK.
6. TOP OF PANELS SHALL BE 7'-0" HIGH FROM TOP OF SLAB.

WASTE & RECYCLING ENCLOSURE DETAIL - N.T.S.

105 Commerce Place Commercial Building
 Koepenick Commercial Properties, LLC
 City of Goose Creek, SC 29445 Berkeley County TMS # 243-04-00-040

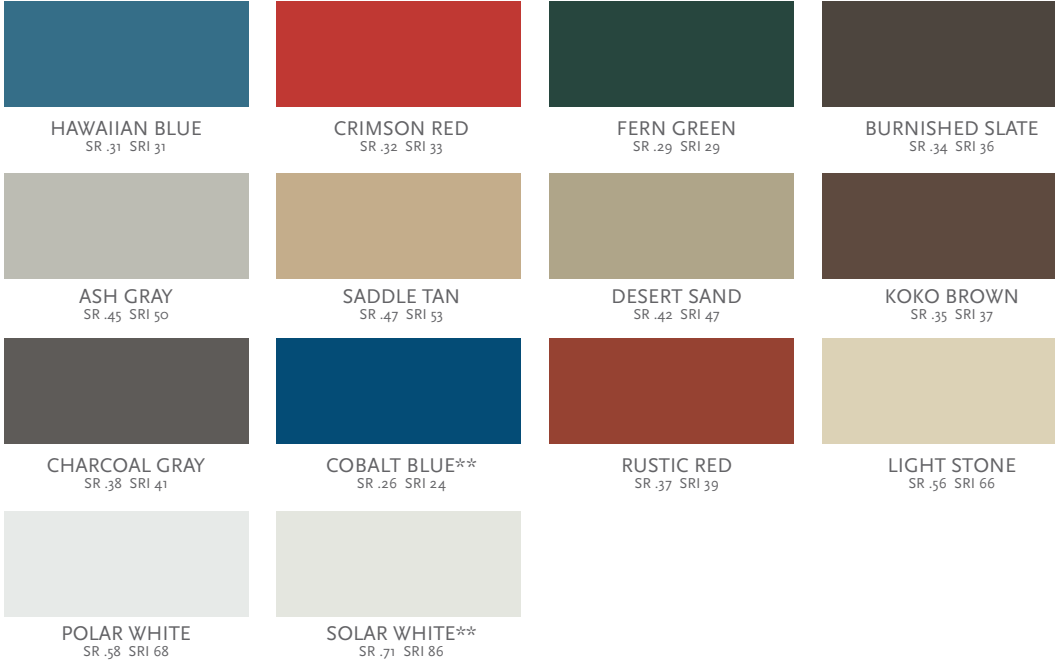
COLOR CHART



SIGNATURE® 200

STANDARD COLORS
26 AND 24 GAUGE MATERIAL

Siliconized Polyester
Polar White is a Straight Polyester.

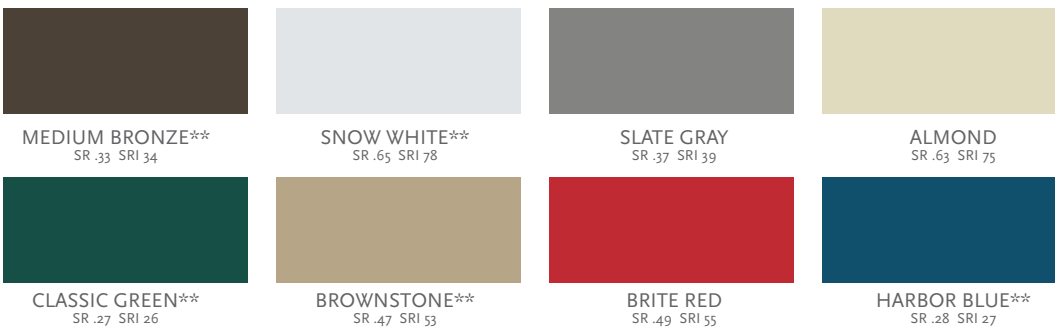


- Final color selection should be made from actual color chips.
- For the most current information available, visit our website at www.cecobuildings.com.
- All products are available in smooth or embossed finish.
- Trim is available in all colors.
- A 40-year limited paint warranty is available upon written request. Please review our sample warranty for complete performance attributes and terms and conditions.
- All colors shown are Energy Star Qualified through our Energy Star partner MBCI.

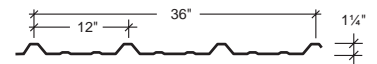
SIGNATURE® 300

STANDARD COLORS
26 AND 24 GAUGE MATERIAL

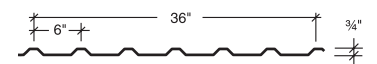
70% PVDF
Resin-based Coating or Finish, Low Gloss



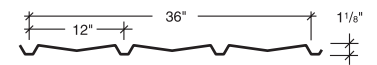
“PBR” PANEL



“PBU” PANEL



“AVP” PANEL



** Minimum quantities and/or extended lead times required for 24 gauge. Please inquire.

Signature® is a registered trademark of NCI Building Systems. PVDF-Polyvinylidene Fluoride.



SIGNATURE® 200

STANDARD COLORS
24 GAUGE MATERIAL

Siliconized Polyester
Polar White is a Straight Polyester.



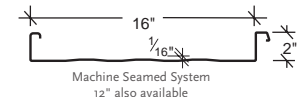
SIGNATURE® 300

STANDARD COLORS
24 GAUGE MATERIAL

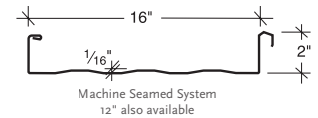
70% PVDF
Resin-based Coating or Finish, Low Gloss



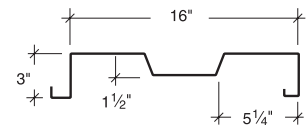
BATTENLOK® HS



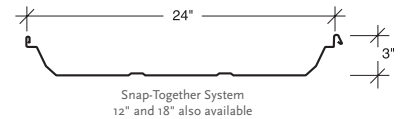
SUPERLOK®



SHADOWRIB™



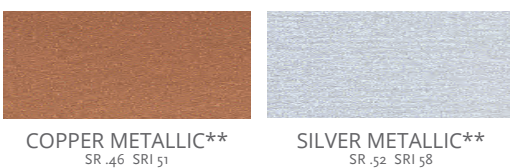
ULTRA-DEK®



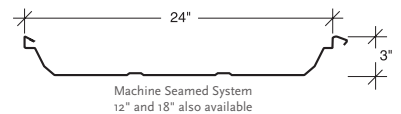
SIGNATURE® 300 METALLIC

24 GAUGE MATERIAL

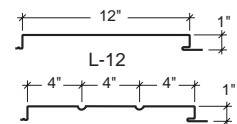
70% PVDF
Resin-based Coating or Finish, Low Gloss



DOUBLE-LOK®



ARTISAN® SERIES



L-12 (with Beads)
L-8 & L-10 also available

Metallic coatings are directional. Panels and trim must be installed oriented in the same direction to prevent perceived shade variances. Please inquire for special pricing.

** Minimum quantities and/or extended lead times required for 24 gauge. Please inquire.

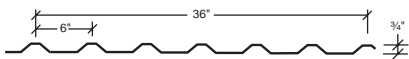
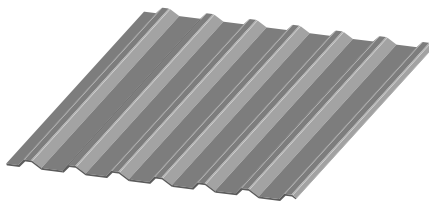
Signature® is a registered trademark of NCI Building Systems. PVDF-Polyvinylidene Fluoride.



ENERGY STAR® Qualified



The PBU panel is an exposed fastener system for wall applications. PBU can be installed directly over purlins or joists. PBU offers the versatility of being used in both vertical and horizontal applications to give designers a contemporary appearance for their building project. PBU is recommended for 1:12 or greater roof slopes.



Features and Benefits:

- Numerous UL 580 ratings are available, as well as UL 790, Class A for external fire, roof assembly for UL 263 for internal fire and the UL 2218 Class 4 impact rating.
- PBU carries Florida approval.

Product Specifications:

Applications: Wall

Coverage Widths: 36"

Rib Spacing: 6" on center

Rib Height: 3/4"

Slope: Minimum 1:12

Panel Attachment: Exposed Fastening System

Gauges: 26 (Standard); 29, 24, 22 (Optional)

Finishes: Smooth (standard); Embossed (optional)

Coatings: Galvalume Plus®, Signature® 200, Signature® 300

CATEGORY	CHARACTERISTIC	TEST METHOD	PURPOSE	RESULT
Environmental	Air leakage	ASTM E283	Determines the air leakage rates of exterior windows, curtain walls, and doors under specified air pressure differences across the specimen	0.0067 cfm/ft ² at 1.57 psf static pressure
	Water Penetration	ASTM E331	Determines the resistance of exterior windows, curtain walls, skylights, and doors to water penetration when water is applied under uniform static air pressure difference	No uncontrolled water penetration through the panel joints at a static pressure of 6.24 psf
	Impact Resistance	UL 2218	Determines Impact Resistance of prepared Roof Covering Materials	Class 4 Rating
Fire Resistance	Room Fire Performance	UL 790	Standard for Standard Test Methods for Fire Tests of Roof Coverings	See Class A Fire Rating Data Sheet
	Room Fire Performance	UL 263	Standard for Fire Tests of Building Construction and Materials	For use in Design Nos. P225, P227, P230, P237, P265, P268, P508, P510, P512, P701, P711, P720, P722, P726, P731, P734, P801, P815, P819.
Structural	Uplift Resistance	AISI S100	Provides a standard procedure to evaluate or confirm structural performance under uniform static air pressure difference	See Section Properties and Allowable Load Table Section
	Gravity Loads	AISI S100	North American Specification for the Design of Cold-Formed Steel Structural Members	See Section Properties and Allowable Load Table Section
Roof Listings	Roof Performance - Underwriters Laboratories	UL 580	Determines the uplift resistance of roof assemblies consisting of the roof and roof coverings materials	Class 90 Rating - Construction Number 12 and 39.
	Roof Performance - Florida Approval	UL 580 FM 4471 UL 790	Florida product approval is the approval of products and systems, which comprise the building envelope and structural frame, for compliance with the structural requirements of the Florida Building Code.	See FL# 11868.2
	Roof Performance - Texas Department of Insurance	UL 580	TWIA provides windstorm and hail insurance in areas exposed to hurricanes and currently provides windstorm and hail coverage in the following 14 "first tier" Texas coastal counties: Aransas, Brazoria, Calhoun, Cameron, Chambers, Galveston, Jefferson, Kenedy, Kleberg, Matagorda, Nueces, Refugio, San Patricio and Willacy.	See RC-408



Architectural Review Board

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address: Etiwan Drive, Goose Creek		TMS No.:
Review request:	For:	Preliminary meeting date requested:
<input type="checkbox"/> Conceptual	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input checked="" type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final	<input type="checkbox"/> Repairs or repaint with no changes	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition

Property Owner: Dennis Rush	Daytime phone:	
Applicant: John E. Gardner, Architect	Daytime phone: (843) 670-0351	
ARB Meeting Representative: John E. Gardner, Architect	Contact Information: (843) 670-0351	
Applicant's mailing address: 244 Avinger Road		
City: Huger	State: SC	Zip: 29450
Applicant's e-mail address: lonesomecreekgus@gmail.com		
Applicant's relationship:	<input type="checkbox"/> Owner	<input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other

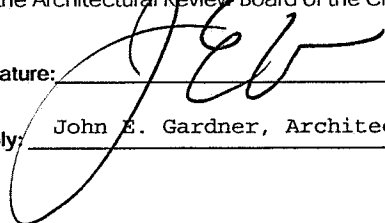
Materials/Colors Used: *(specific color(s)/manufacture #'s listed: samples must be presented to Board attached)*
(Example: Building Materials, Exterior Colors, Landscaping, Lighting)

See color sample and noted elevations

Scope of Work: *(please give a detailed description)*

To construct a 15000 square foot commercial center on Etiwan Drive.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature:  **Date:** 6 SEP 19

Print name legibly: John E. Gardner, Architect



ETIWAN CENTER . GOOSE CREEK, SC

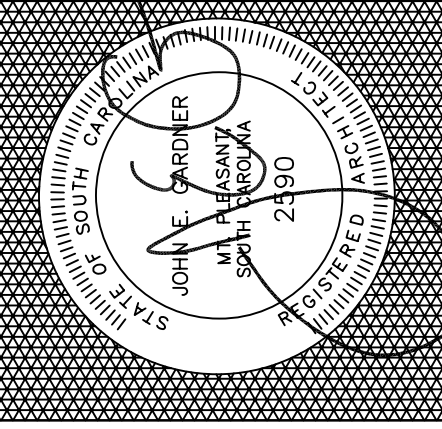
8-27-19

A NEW RETAIL CENTER

114 ETIWAN DRIVE

GOOSE CREEK, SOUTH CAROLINA

DESIGN CODE	INDEX OF DRAWINGS				
2015 INTERNATIONAL BUILDING CODE	T1	TITLE SHEET			
2015 International Building Code 2015 South Carolina Fire Code 2015 South Carolina Plumbing Code 2015 South Carolina Mechanical Code 2009 South Carolina Energy Conservation Code 2014 National Electrical Code (NFPA 70). 2017 ANSI 117.1 Accessible Code		CIVIL	ARCHITECTURAL		
		C0	TITLE SHEET AND NOTES	A1	LIFE SAFETY PLAN & CODE INFORMATION
		C1	TOPOGRAPHIC SURVEY	A2	OVERALL BUILDING FLOOR PLAN
		C2	DEMOLITION & EROSION CONTROL PLAN	A3	ENLARGED FLOOR PLAN, RESTROOM FINISH SCHEDULE, ADA REQUIREMENTS
		C3	NEW SITE PLAN	A4	STOREFRONT AND DOOR SCHEDULE
		C4	GRADING AND DRAINAGE PLAN		DUMPSTER ENCLOSURE
		C5	UTILITY PLAN	A5	EXTERIOR ELEVATIONS
		C6	CONSTRUCTION DETAILS	A6	ELEVATION DETAILS
		C7	CONSTRUCTION DETAILS	A7	SECTION A/A7
		C8	CONSTRUCTION DETAILS	A8	SECTION A/A8
		C9	CONSTRUCTION DETAILS	A9	SECTION A/A9
	C10	GCDPW STANDARD DETAILS	A10	SECTION A/A10	
	C11	CONSTRUCTION DETAILS	A11	SECTION A/A11	
	L1	LANDSCAPE PLAN	A12	SECTION A/A12	
	L2	PLANTING SCHEDULE & DETAILS	A13	SECTION A/A13	
		STRUCTURAL	A14	WALL SECTION AT REAR WALL	
	S1	STRUCTURAL NOTES		ELECTRICAL	
	S2	FOUNDATION PLAN	E001	ELECTRICAL NOTES	
	S3	FRAMING PLAN	E101	TYPICAL LIGHTING AND POWER PLAN	
	S4	FOUNDATION SECTION	E201	BUILDING POWER PLAN AND SCHEDULES	
				MECHANICAL	
			m1	MECHANICAL FLOOR PLAN	
			M2	MECHANICAL NOTES & COMCHECK	
			P1	DWV PLAN	
			P2	WATER PLAN	
DESIGN TEAM					
ARCHITECT:	JOHN E. GARDNER, ARCHITECT 244 AVINGER ROAD HUGER, SOUTH CAROLINA 29409 (843) 670-0351				
MECHANICAL AND PLUMBING ENGINEER:	STEVE MEREK 104 OTRANTO CLUB CIRCLE HANAHAN, S.C. 29410 (843) 534-6264				
ELECTRICAL ENGINEER:	BILL DEAN, P.E. DEAN ENGINEERING, LLC 1232 PASTURE VIEW DRIVE HANAHAN, SC 29410 (843) 743-9731				
STRUCTURAL ENGINEER:	RICK LAMBERT 1845 W. CANNING DRIVE MT. PLEASANT, S.C. (843) 822-7426				
CIVIL ENGINEER:	FORSBERG ENGINEERING & SURVEYING, INC. 1587 SAVANNAH HIGHWAY, SUITE 'B' CHARLESTON, SOUTH CAROLINA (843) 571-2622				



JOHN E. GARDNER
ARCHITECT

1574 EAST ASHLEY AVENUE
FOLLY BEACH, SOUTH CAROLINA
(843) 670-0351
EMAIL: lonesomecreekgus@gmail.com

NEW RETAIL CENTER
114 ETIWAN DRIVE

GOOSE CREEK, SOUTH CAROLINA

DATE 3 SEP 19
SHEET

T1

ETIWAN DRIVE

BILLIARDS OF CHARLESTON

TMS#243-04-00-065

GOOSE CREEK, BERKELEY COUNTY, SC

CONTACT INFORMATION

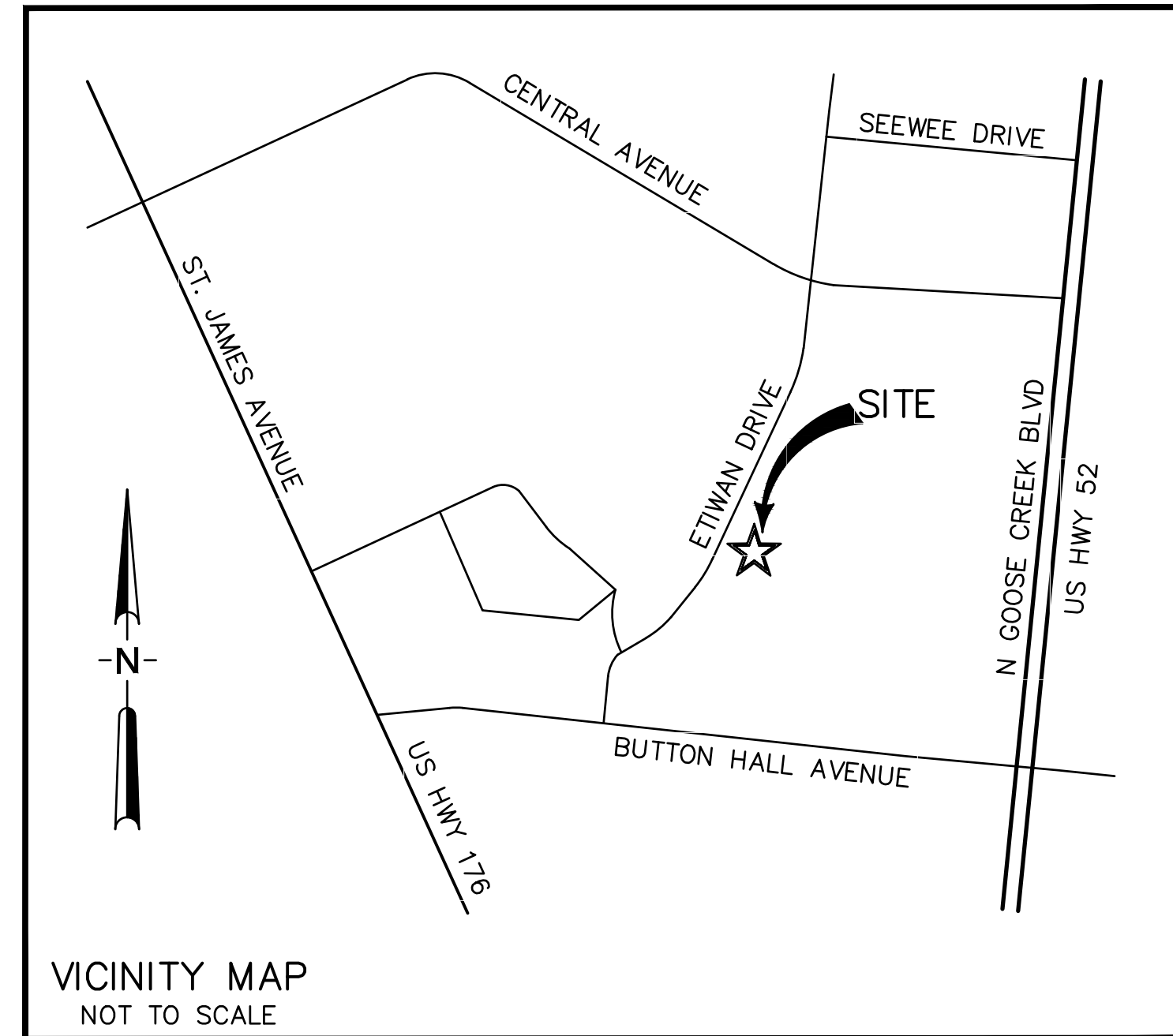
OWNER / DEVELOPER:
IM ALL IN LLC
111 STOWMARKET DR.
GOOSE CREEK, SOUTH CAROLINA 29445

CONTACT: MR. DENNIS RASH
TEL: 843-553-9595

CIVIL ENGINEER:
FORSBERG ENGINEERING & SURVEYING, INC.
ATTN: GADSDEN A. LINTON III
P.O. BOX 30575 CHARLESTON, SOUTH CAROLINA 29407
TEL: 843-571-2622

NOTES:

- 1) THE TMS NUMBERS ARE 243-04-00-065 (BERKELEY COUNTY)
- 2) TOTAL TRACT AREA IS 2.296 ACRES.
- 3) THE PROPERTY IS ZONED GC (GENERAL COMMERCIAL).



CONSTRUCTION SEQUENCE

ITEMS MUST OCCUR IN THE ORDER LISTED; ITEMS CANNOT OCCUR CONCURRENTLY UNLESS SPECIFICALLY NOTED.

1. RECEIVE NPDES COVERAGE FROM DHEC
2. PRE-CONSTRUCTION MEETING (ON-SITE IF MORE THAN 10 DISTURBED AND NON-LINEAR)
3. NOTIFY DHEC EOC REGIONAL OFFICE OR OCRM OFFICE 48 HOURS PRIOR TO BEGINNING LAND-DISTURBING ACTIVITIES
4. INSTALLATION OF CONSTRUCTION ENTRANCE(S)
5. CLEARING & GRUBBING ONLY AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS
6. INSTALLATION OF PERIMETER CONTROLS (E.G., SILT FENCE)
7. CLEARING & GRUBBING ONLY IN AREAS OF BASINS/TRAPS/PONDS
8. INSTALLATION OF BASINS/ TRAPS/ PONDS AND INSTALLATION OF DIVERSIONS TO THOSE STRUCTURES (OUTLET STRUCTURES MUST BE COMPLETELY INSTALLED AS SHOWN ON THE DETAILS BEFORE PROCEEDING TO NEXT STEP; AREAS DRAINING TO THESE STRUCTURES CANNOT BE DISTURBED UNTIL THE STRUCTURES AND DIVERSIONS TO THE STRUCTURES ARE COMPLETELY INSTALLED)
9. CLEARING & GRUBBING OF SITE OR DEMOLITION (SEDIMENT & EROSION CONTROL MEASURES FOR THESE AREAS MUST ALREADY BE INSTALLED)
10. ROUGH GRADING
11. INSTALLATION OF STORM DRAIN SYSTEM AND PLACEMENT OF INLET PROTECTION AS EACH INLET IS INSTALLED
12. FINE GRADING, PAVING, ETC.
13. PERMANENT/ FINAL STABILIZATION
14. REMOVAL OF TEMPORARY SEDIMENT & EROSION CONTROL MEASURES AFTER ENTIRE AREA DRAINING TO THE STRUCTURE IS FINALLY STABILIZED (THE DEPARTMENT RECOMMENDS THAT THE PROJECT OWNER/ OPERATOR HAVE THE SWPPP PREPARED OR REGISTRATION EQUIVALENT APPROVE THE REMOVAL OF TEMPORARY STRUCTURES.)
15. PERFORM AS-BUILT SURVEYS OF ALL DETENTION STRUCTURES AND SUBMIT TO DHEC OR MS4 FOR ACCEPTANCE.
16. SUBMIT NOTICE OF TERMINATION (NOT) TO DHEC AS APPROPRIATE.

CONSTRUCTION/DEMOLITION DELIVERY ROUTE:

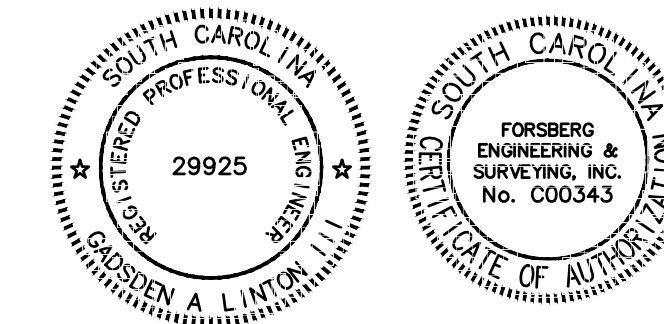
CONSTRUCTION TRAFFIC SHALL ACCESS THE SITE BY ETIWAN DRIVE. EXIT INTERSTATE I-26 TO HWY 78 EASTBOUND, FOLLOW HWY 78 TO RIVERS AVE (HWY 52) NORTHBOUND, FOLLOW HWY 52 NORTH UNTIL YOU REACH BUTTON HALL AVE. TURN LEFT ON TO BUTTON HALL AVE. REMAIN STRAIGHT UNTIL YOU REACH ETIWAN DRIVE ON THE RIGHT. THE SITE AND CONSTRUCTION ENTRANCE WILL BE ON THE RIGHT AFTER THE FIRE STATION. VEHICLES WILL BE ENTERING AND EXITING FROM THIS ENTRANCE.

SHEET INDEX:

- C0 - COVER SHEET
- C001 - BOUNDARY SURVEY
- C1 - EXISTING CONDITIONS SURVEY
- C2 - EROSION CONTROL AND DEMOLITION
- C201- TREE PROTECTION PLAN
- C3 - NEW SITE PLAN
- C4 - GRADING AND DRAINAGE PLAN
- C5 - UTILITY PLAN
- C6 - CONSTRUCTION DETAILS
- C7 - CONSTRUCTION DETAILS
- C8 - CONSTRUCTION DETAILS
- C9 - CONSTRUCTION DETAILS
- C10 - CONSTRUCTION DETAILS
- L1 - LANDSCAPING PLAN
- L2 - LANDSCAPING PLAN

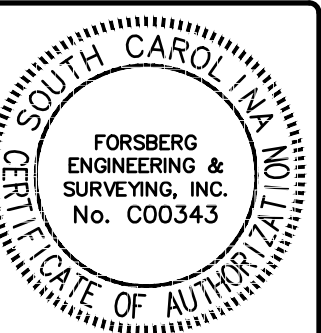
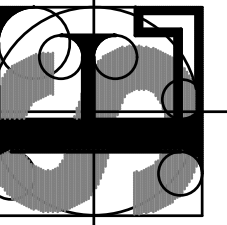
CONSIDERABLE EFFORT HAS BEEN MADE TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES. SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN FROM UTILITY RECORDS. THIS PLAN DOES NOT WARRANT THAT UTILITIES ARE SHOWN ACCURATELY NOR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO BEGINNING DIGGING OPERATIONS. CALL PALMETTO UTILITIES PROTECTION SERVICE AT 1-888-721-7877 A MINIMUM OF 3 WORKING DAYS BEFORE DIGGING. ANY UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ADDITIONALLY, THE CONTRACTOR SHALL CONFIRM THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING NEW CONSTRUCTION.

THE SOUTH CAROLINA STATE LAW REQUIRES THAT EXCAVATORS GIVE A 72-HOUR NOTICE (3 WORKING DAYS EXCLUDING WEEKENDS AND HOLIDAYS), FOR THE LOCATORS TO GET OUT TO MARK THE AREA. AFTER A TICKET HAS BEEN PROCESSED, YOU WILL KNOW WHEN YOU ARE LEGALLY FREE TO PROCEED WITH THE DIGGING WORK AND WHICH UTILITIES IN THE AREA P.U.P.S. WILL BE NOTIFYING FOR YOU. ANY UTILITIES THAT P.U.P.S. DOES NOT NOTIFY, YOU WILL BE RESPONSIBLE FOR NOTIFYING DIRECTLY. THE UTILITY COMPANIES ASK THAT YOU LEAVE A 2 1/2 FEET MARGIN ON EACH SIDE OF A MARKED UTILITY LINE. ALSO NOTE THAT YOUR REQUEST IS GOOD FOR 15 WORKING DAYS AFTER IT HAS BEEN PROCESSED BY OUR SYSTEM.



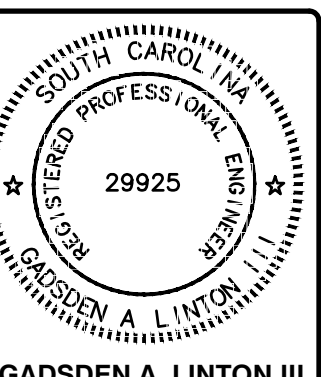
GADSDEN A. LINTON, P.E No. 29925

FORSBERG ENGINEERING AND SURVEYING, INC.
1867 SAVANNAH HIGHWAY SUITE B
P.O. BOX 30575
CHARLESTON, SOUTH CAROLINA 29417
(843) 571-2622 FAX (843) 571-9760
CIVIL ENGINEERING AND SURVEYING AND LAND PLANNING



COVER SHEET
ETIWAN DRIVE

TOWN OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA



GADSDEN A. LINTON III

DATE
JANUARY 15, 2019

DRAWN/CHECKED
CLH/TL

LAST REVISED
MARCH 12, 2019

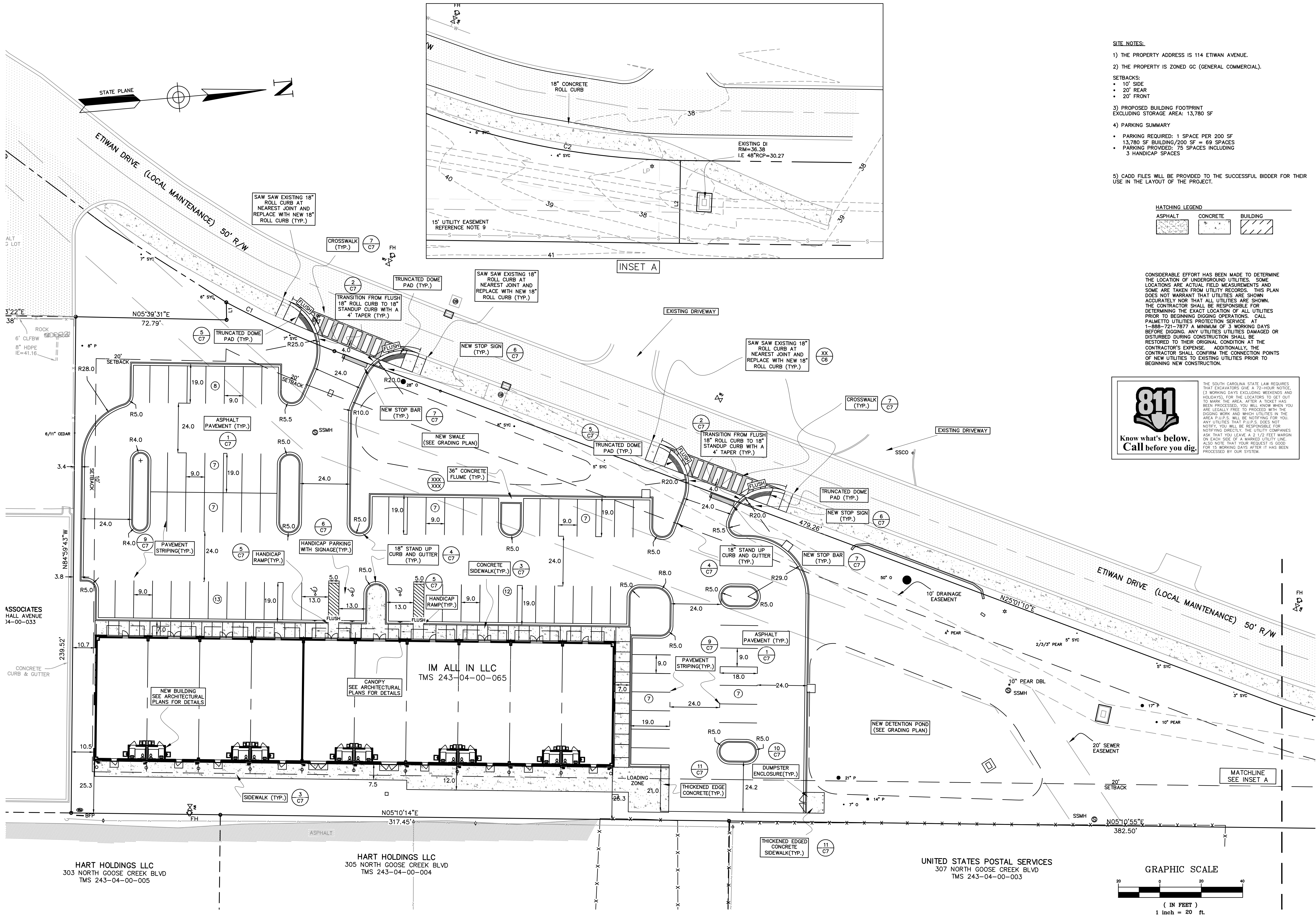
APPROVED
TL

SCALE
1"=20'

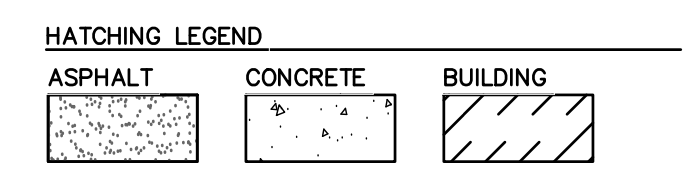
PROJECT NO.
152-3

SHEET NUMBER

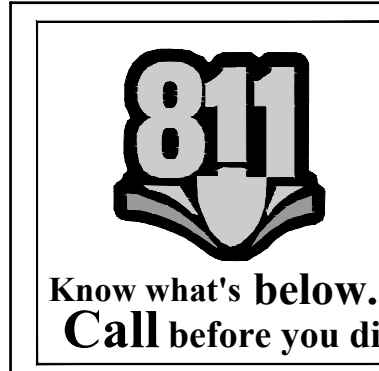
C0
OF



- SITE NOTES:**
- 1) THE PROPERTY ADDRESS IS 114 ETIWAN AVENUE.
 - 2) THE PROPERTY IS ZONED GC (GENERAL COMMERCIAL).
- SETBACKS:**
- 10' SIDE
 - 20' REAR
 - 20' FRONT
- 3) PROPOSED BUILDING FOOTPRINT EXCLUDING STORAGE AREA: 13,780 SF**
- 4) PARKING SUMMARY**
- PARKING REQUIRED: 1 SPACE PER 200 SF
 - 13,780 SF BUILDING/200 SF = 69 SPACES
 - PARKING PROVIDED: 75 SPACES INCLUDING 3 HANDICAP SPACES
- 5) CADD FILES WILL BE PROVIDED TO THE SUCCESSFUL BIDDER FOR THEIR USE IN THE LAYOUT OF THE PROJECT.

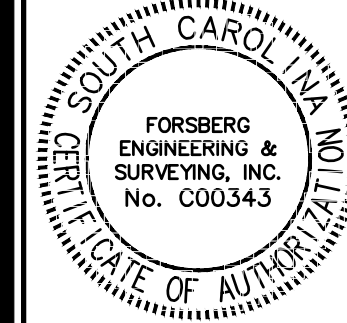
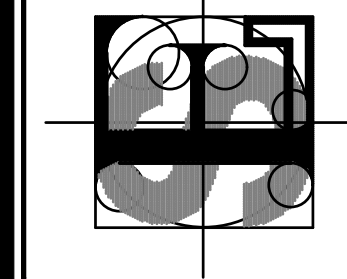


CONSIDERABLE EFFORT HAS BEEN MADE TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES. SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN FROM UTILITY RECORDS. THIS PLAN DOES NOT WARRANT THAT UTILITIES ARE SHOWN ACCURATELY NOR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO BEGINNING DIGGING OPERATIONS. CALL PALMETTO UTILITIES PROTECTION SERVICE AT 1-888-721-7877 A MINIMUM OF 3 WORKING DAYS BEFORE DIGGING. ANY UTILITIES UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ADDITIONALLY, THE CONTRACTOR SHALL CONFIRM THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING NEW CONSTRUCTION.

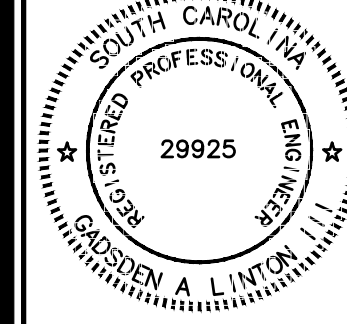


THE SOUTH CAROLINA STATE LAW REQUIRES THAT EXCAVATORS GIVE A 72-HOUR NOTICE (3 WORKING DAYS EXCLUDING WEEKENDS AND HOLIDAYS), FOR THE LOCATORS TO GET OUT TO MARK THE AREA. AFTER A TICKET HAS BEEN PROCESSED, YOU WILL KNOW WHEN YOU ARE LEGALLY FREE TO PROCEED WITH THE DIGGING WORK AND WHICH UTILITIES IN THE AREA P.U.P.S. WILL BE NOTIFYING FOR YOU. ANY UTILITIES THAT P.U.P.S. DOES NOT NOTIFY, YOU WILL BE RESPONSIBLE FOR NOTIFYING DIRECTLY. THE UTILITY COMPANIES ASK THAT YOU LEAVE A 2 1/2 FEET MARGIN ON EACH SIDE OF A MARKED UTILITY LINE. ALSO NOTE THAT YOUR REQUEST IS GOOD FOR 15 WORKING DAYS AFTER IT HAS BEEN PROCESSED BY OUR SYSTEM.

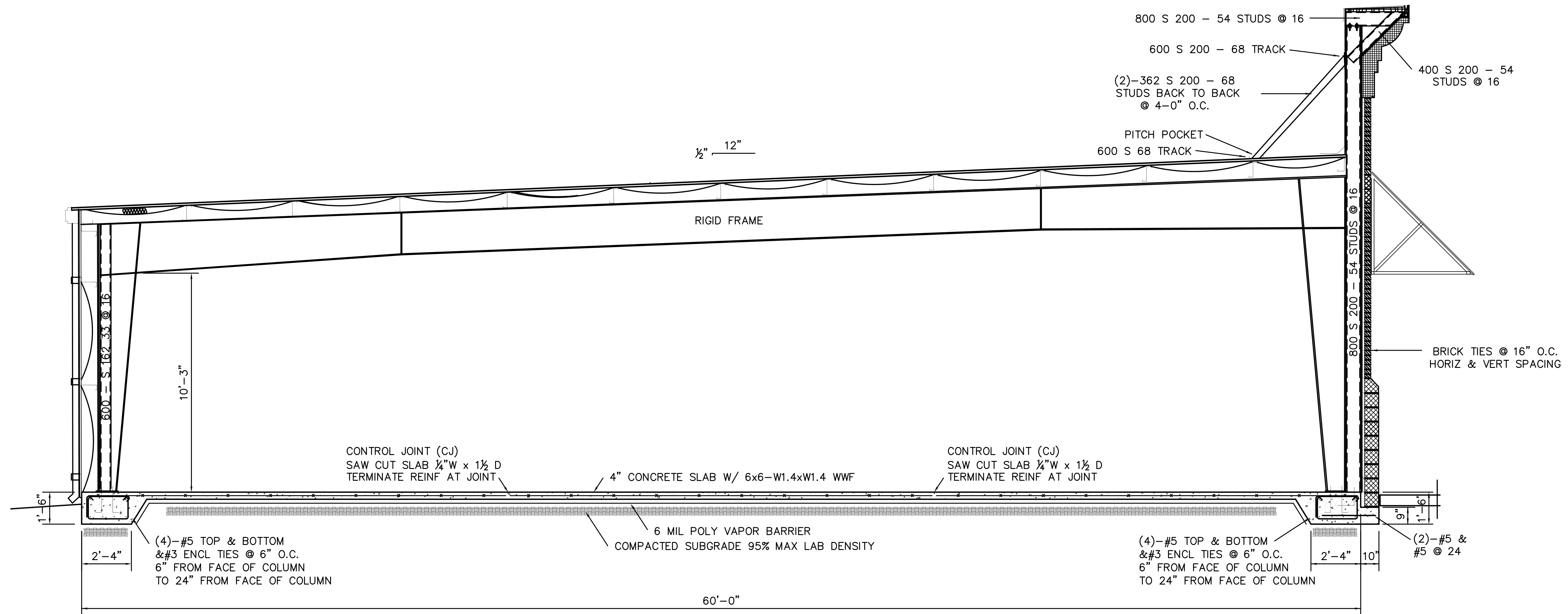
FORSBERG ENGINEERING AND SURVEYING, INC.
 1587 SAVANNAH HIGHWAY SUITE B
 P.O. BOX 30575
 CHARLESTON, SOUTH CAROLINA 29417
 (843) 571-2622 FAX (843) 571-4780
 CIVIL ENGINEERING, SURVEYING AND LAND PLANNING



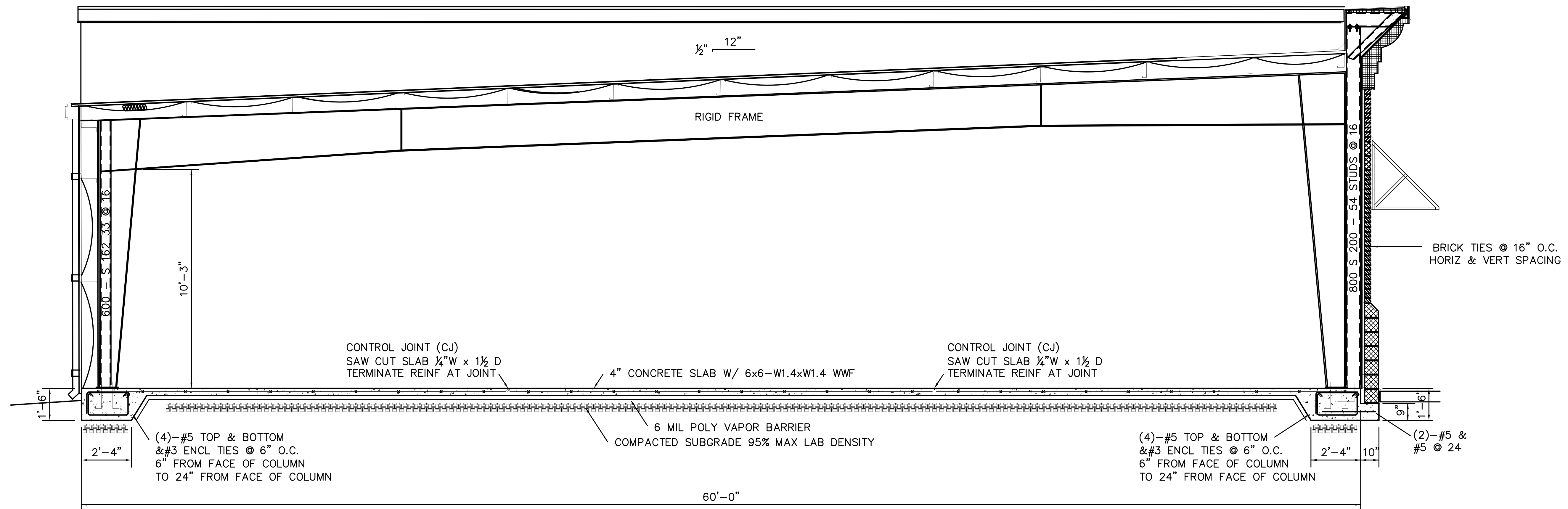
NEW SITE PLAN
 ETIWAN DRIVE
 TOWN OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA



DATE	JANUARY 15, 2019
DRAWN/CHECKED	CLH/TL
LAST REVISED	MARCH 12, 2019
APPROVED	TL
SCALE	1"=20'
PROJECT NO.	152-3
SHEET NUMBER	C3

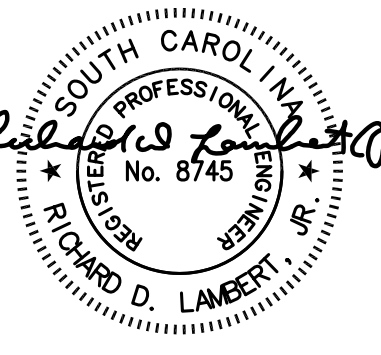
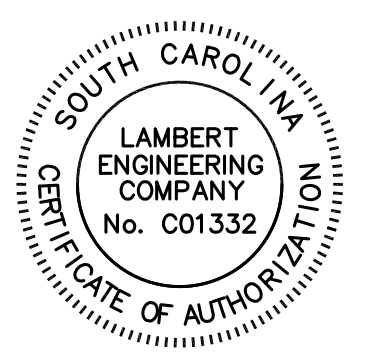
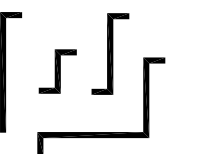


BUILDING SECTION - AT HIGH PARAPET
SCALE: 3/8"=1'-0"



BUILDING SECTION - TYPICAL
SCALE: 3/8"=1'-0"

LAMBERT ENGINEERING CO.
1845 W CANNING DRIVE
MT. PLEASANT, S.C. 29466
(843) 822-7426

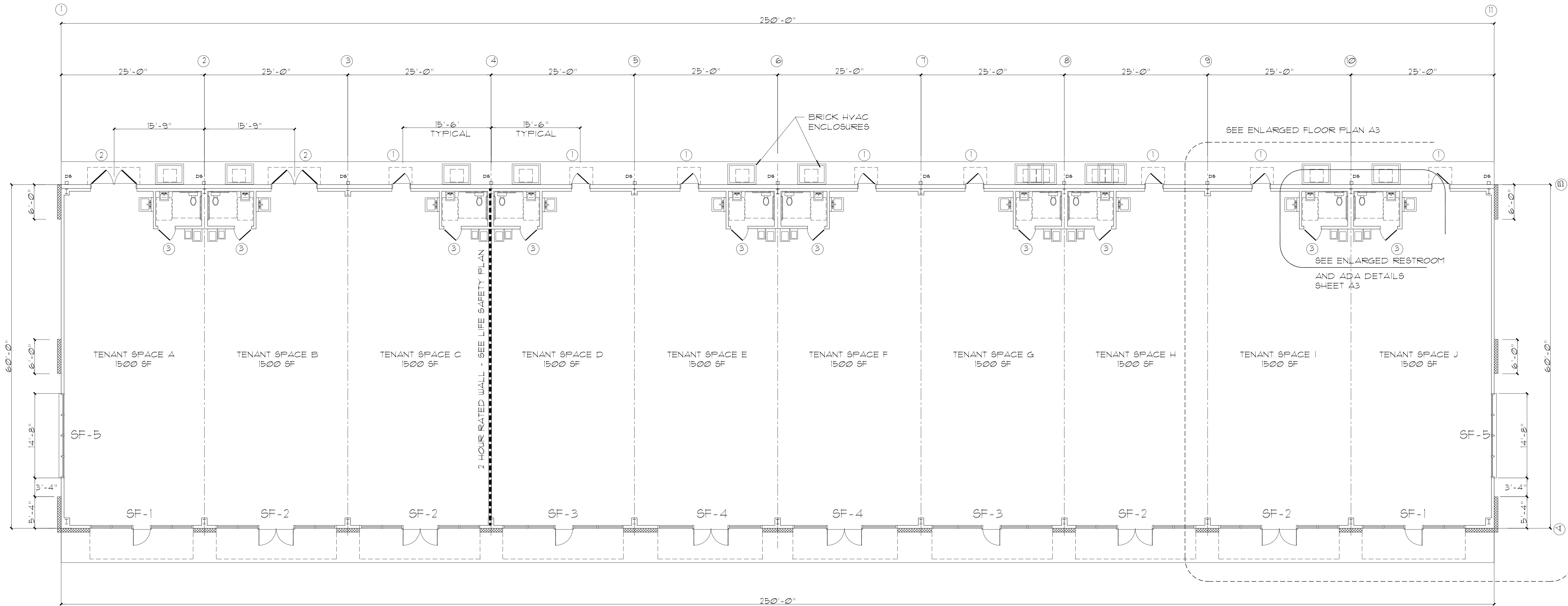
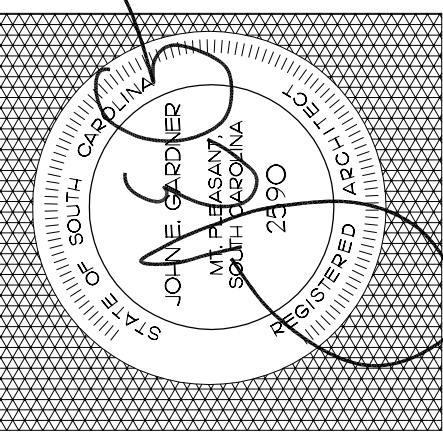


FOUNDATION
PLAN

GOOSE CREEK CENTER
ETIWAN DRIVE
GOOSE CREEK, SC

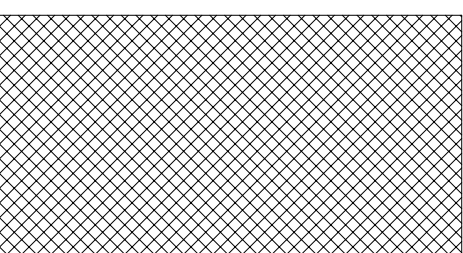
PROJECT NO:
FILE:
DRAWN BY: RDL
DATE: 3/6/2019
REVISIONS:

S-4



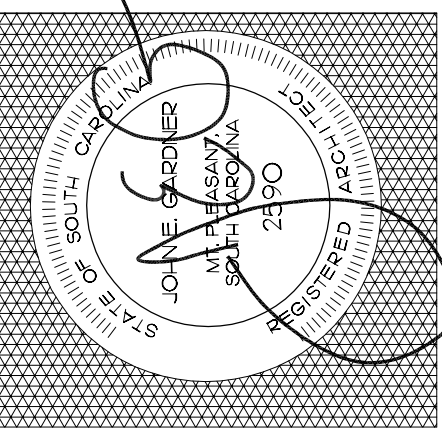
OVERALL BUILDING PLAN

SCALE: 1/8" = 1'-0"



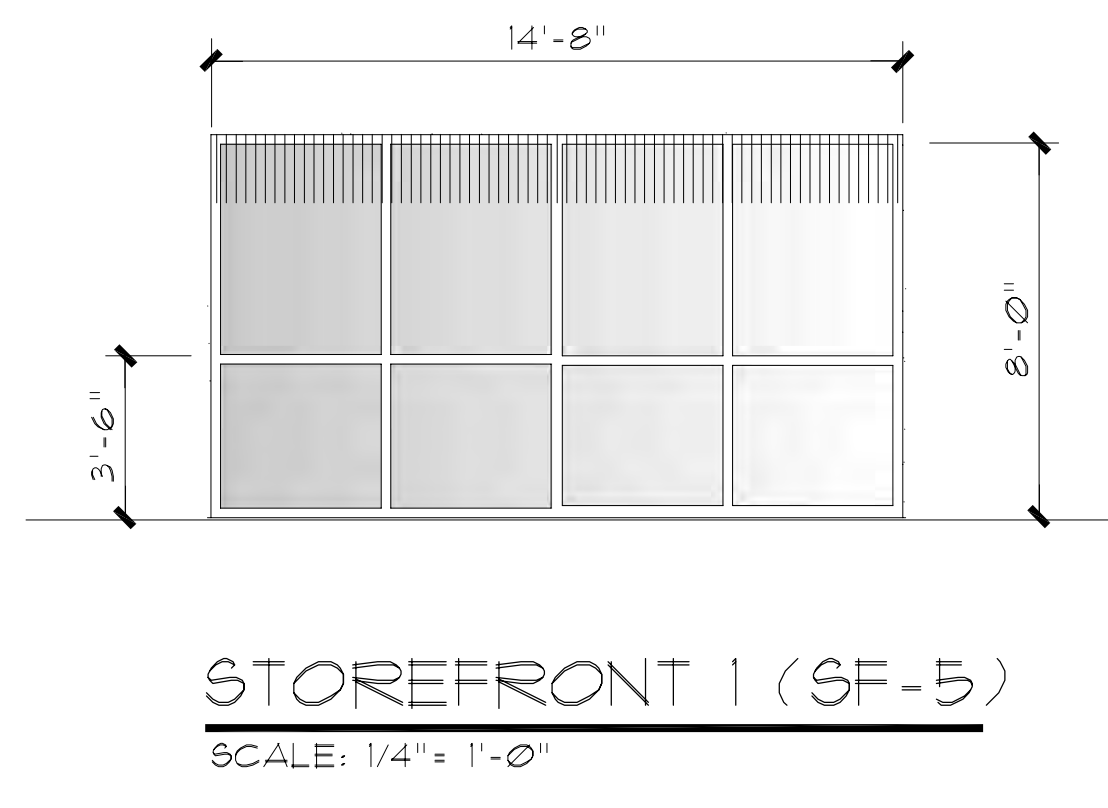
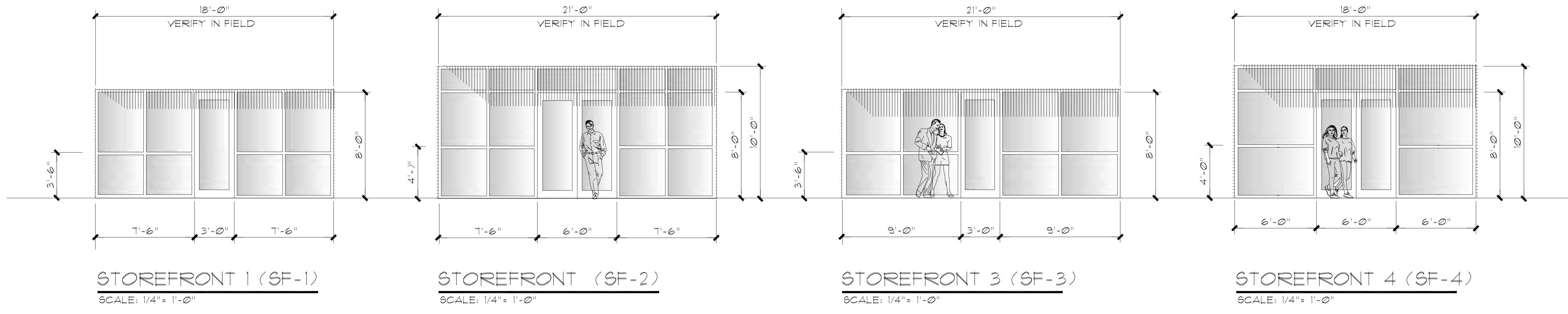
DATE 3 SEP 19
SHEET

A2

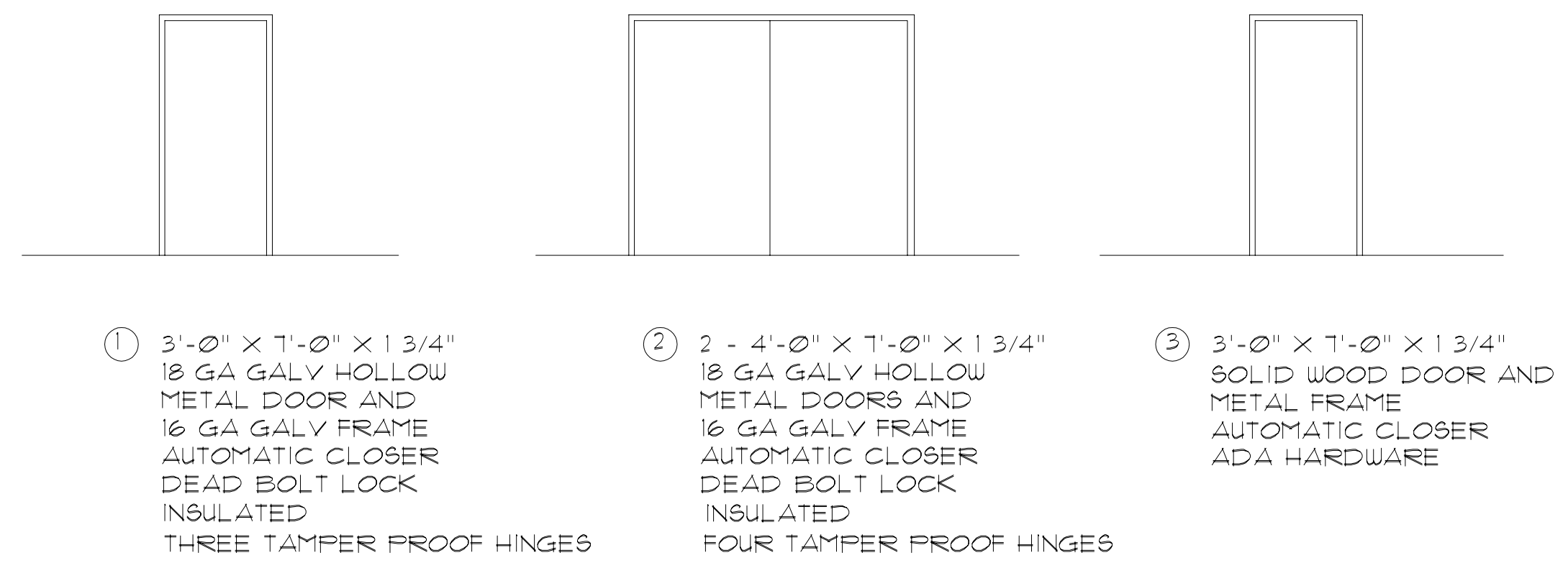


JOHN E. GARDNER
ARCHITECT

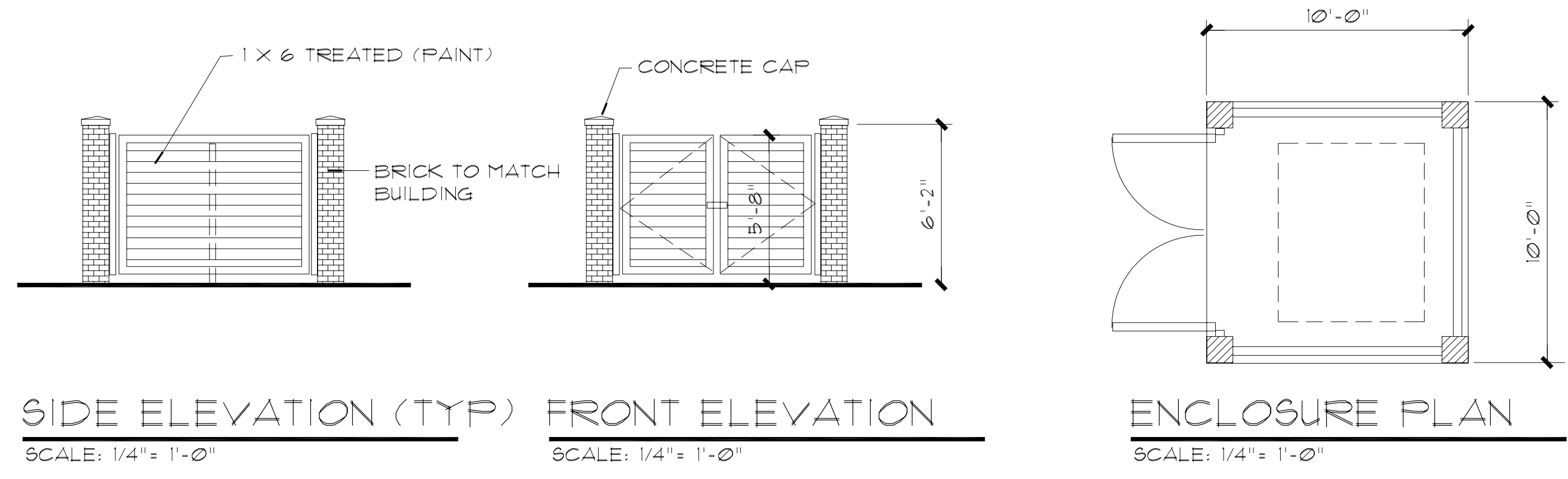
1514 EAST ASHLEY AVENUE
FOLLY BEACH, SOUTH CAROLINA
(843) 610-0351
EMAIL: lonesomecreekus@gmail.com



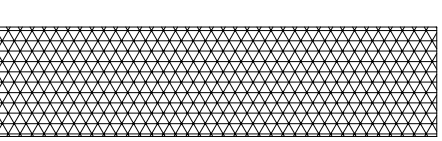
- NOTES:**
1. STOREFRONT ALUMINUM TO BE CLEAR ANODIZED.
 2. GLAZING TO BE INSULATED, LOW E, IMPACT GLAZING.
 3. FRAMING TO BE 2 1/2" X 5" TO WITHSTAND 140 MPH WIND LOADING.
 4. ALL DOORS TO HAVE AUTOMATIC CLOSERS.



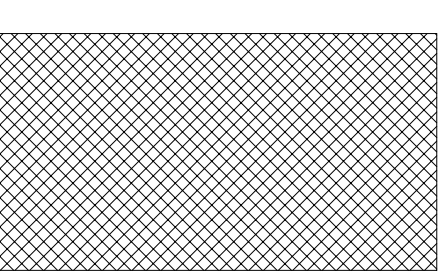
STOREFRONT AND DOOR SCHEDULE



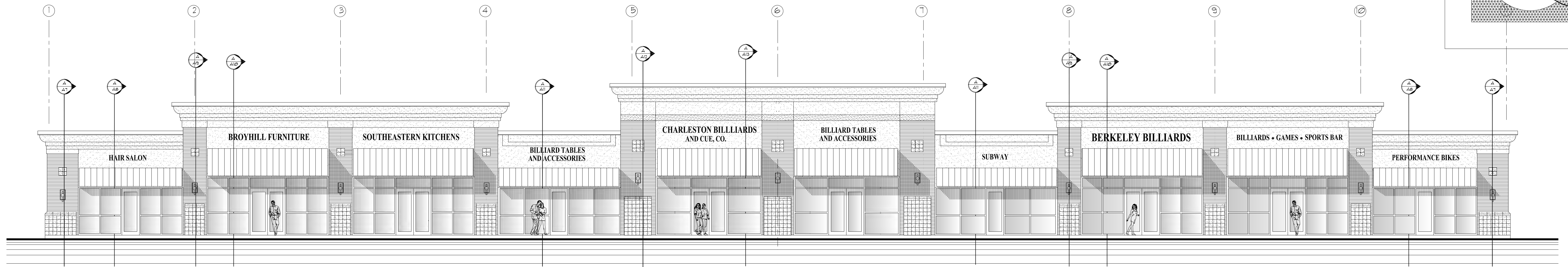
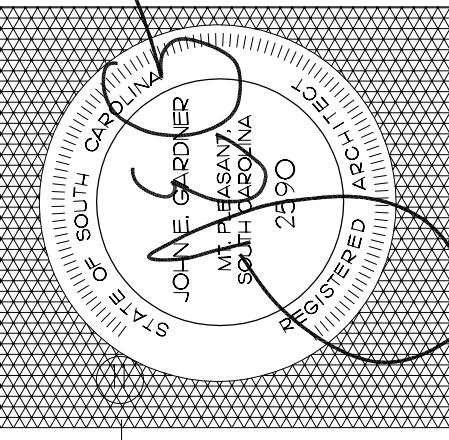
DUMPSTER ENCLOSURE



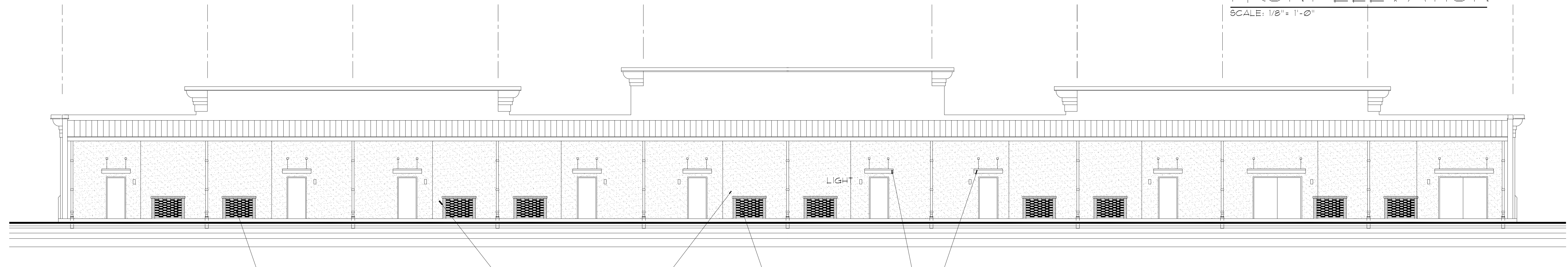
NEW RETAIL CENTER
114 ETIWAN DRIVE
GOOSE CREEK, SOUTH CAROLINA



DATE	3 SEP 19
SHEET	A4



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



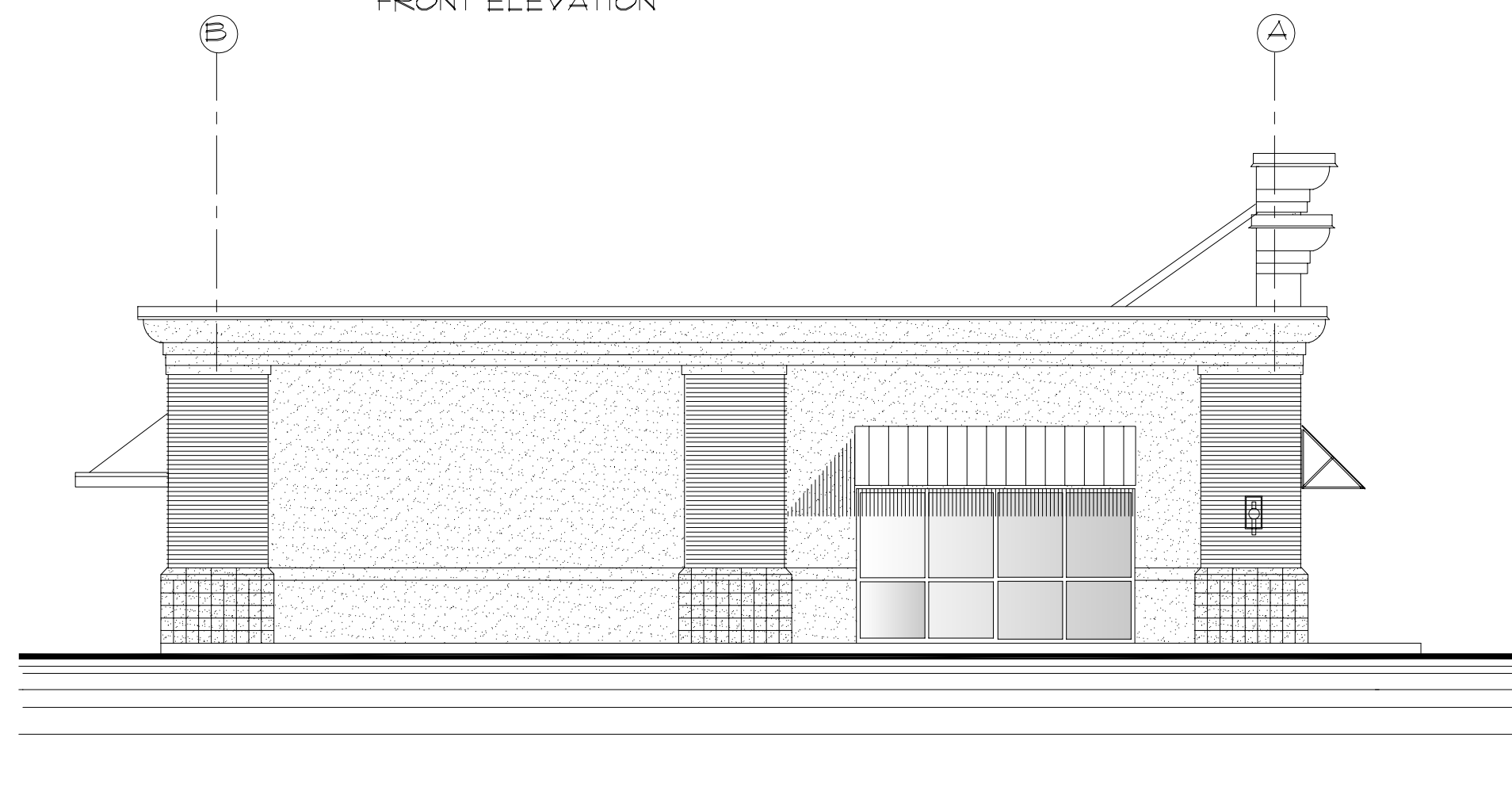
REAR ELEVATION
SCALE: 1/8" = 1'-0"

BRICK ENCLOSURES
AROUND HVAC UNITS
BRICK TO MATCH
FRONT ELEVATION

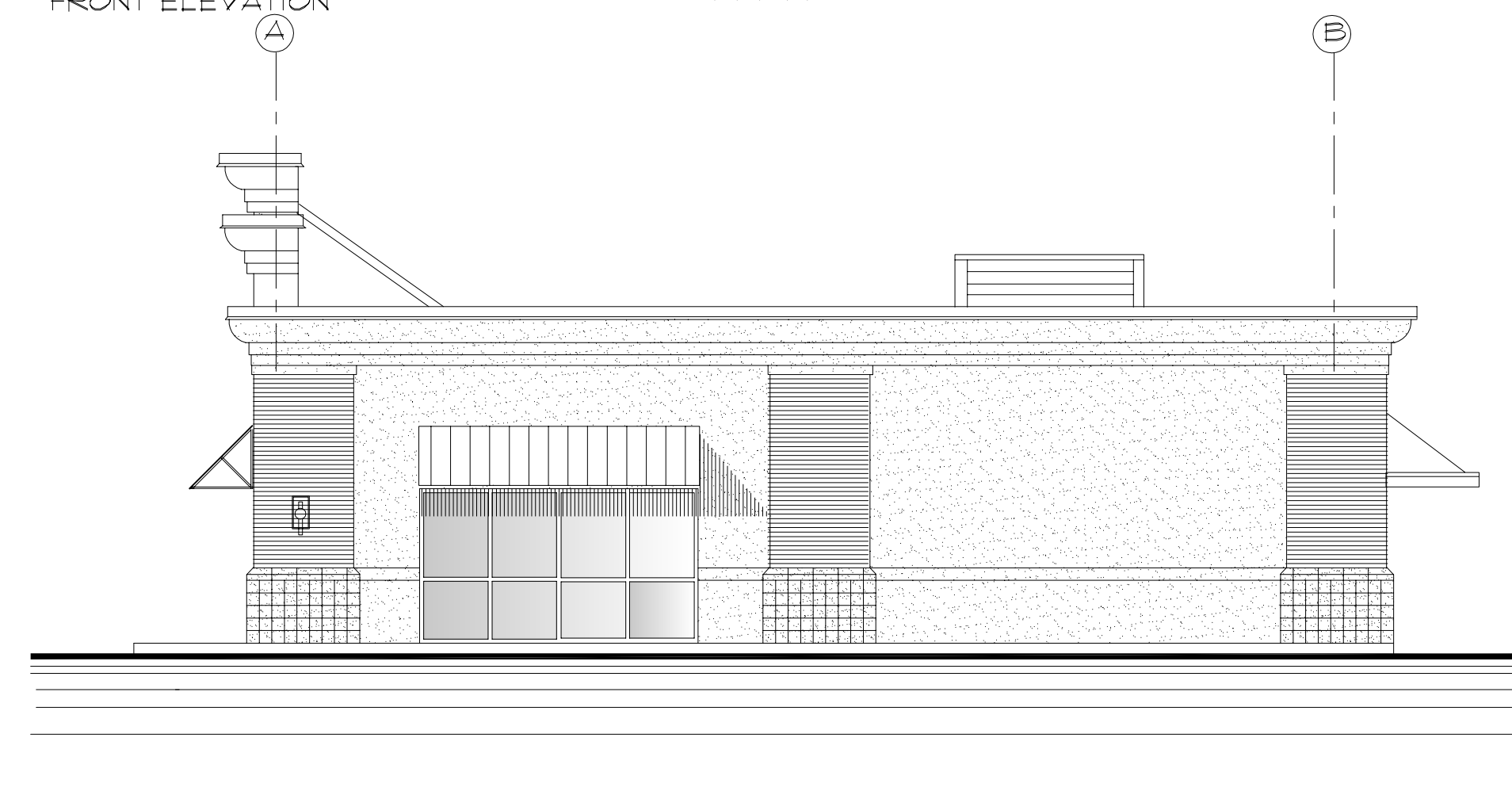
STUCCO

BRICK ENCLOSURES
AROUND HVAC UNITS
BRICK TO MATCH
FRONT ELEVATION

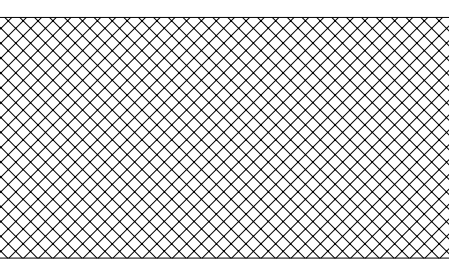
ALL REAR AWINGS BY
THE METAL BUILDING
SUPPLIER



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

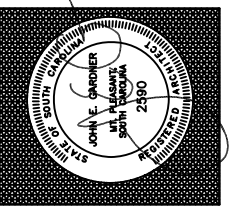


RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



DATE 3 SEP 19
SHEET

A5



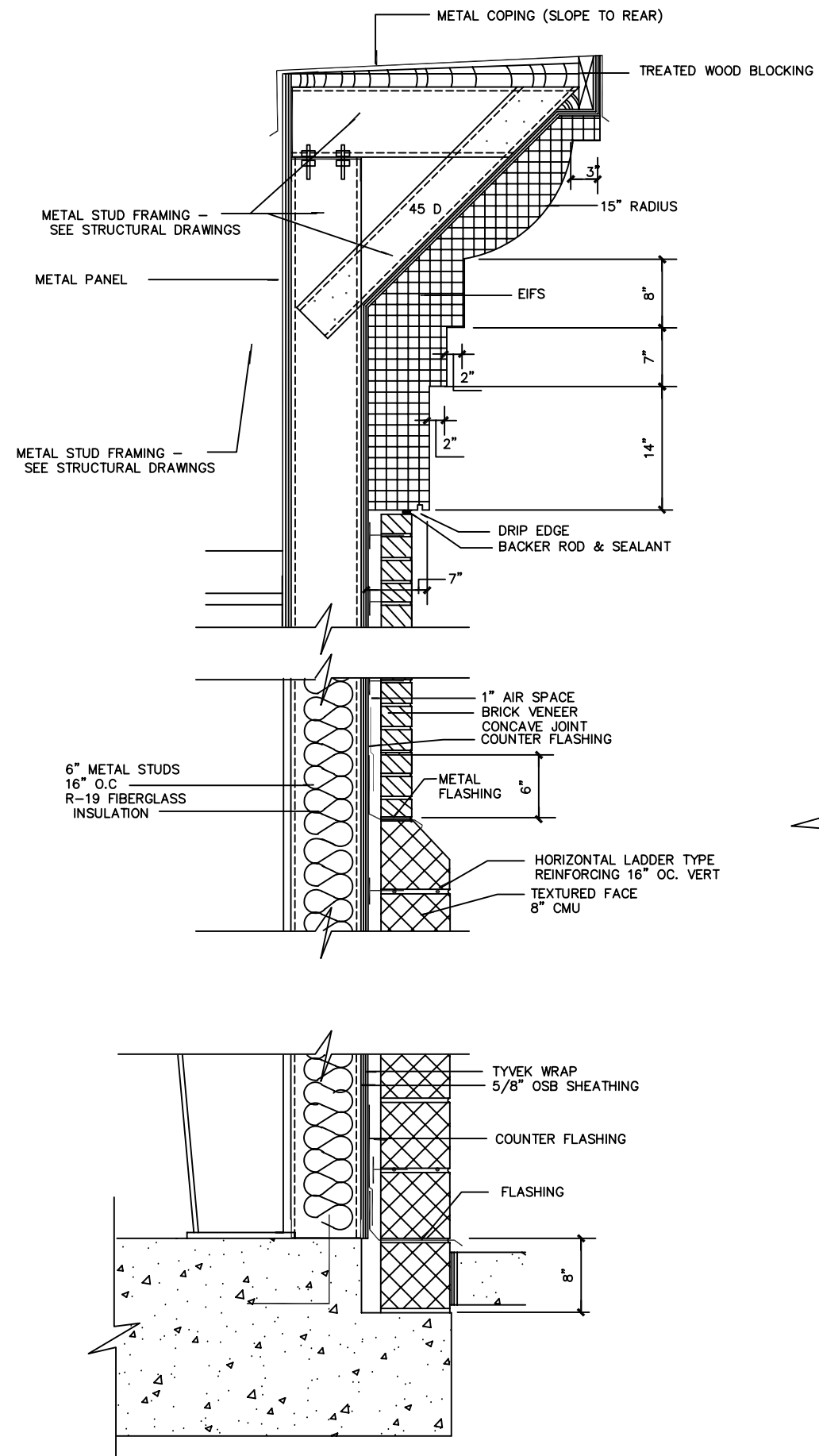
JOHN E. GARDNER
ARCHITECT

1574 EAST ASHLEY AVENUE
FOLLY BEACH, SOUTH CAROLINA
(843) 670-0351
EMAIL: ionesomecreekus@gmail.com

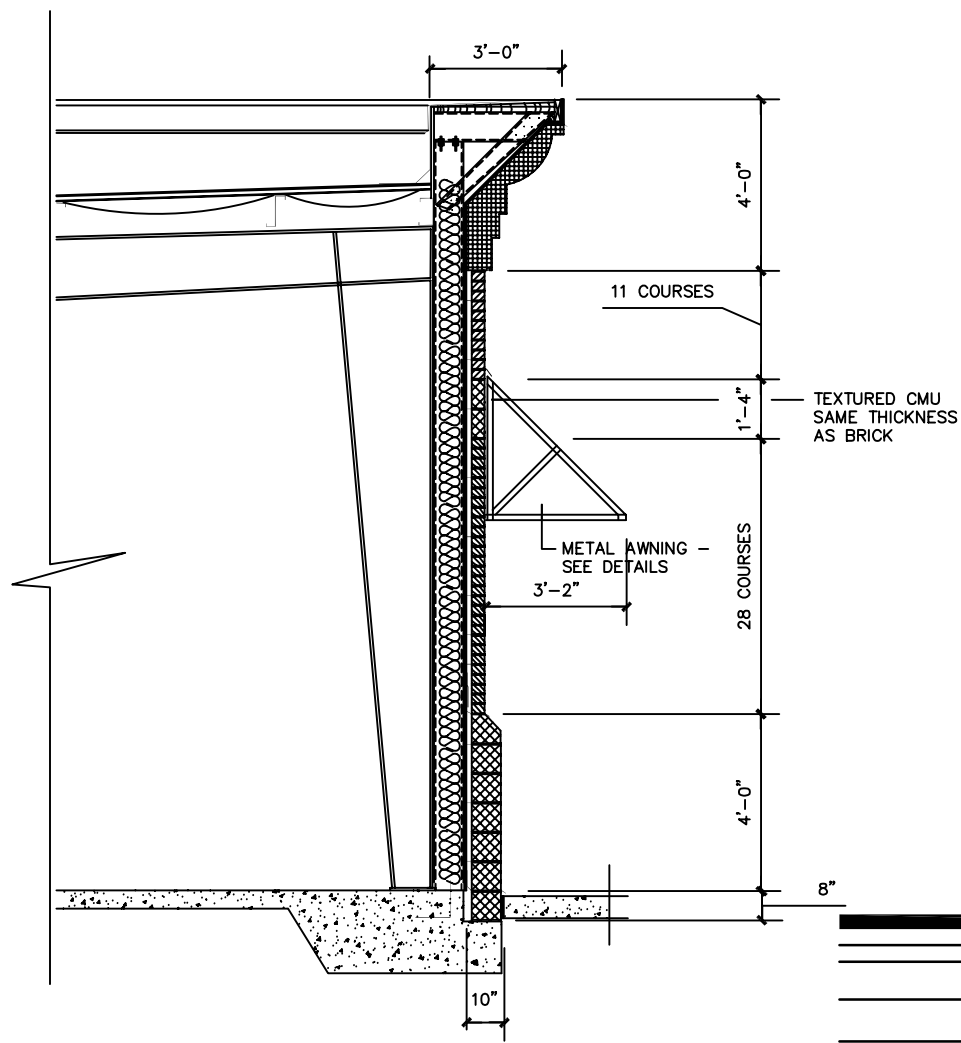
NEW RETAIL CENTER
114 ETIWAN DRIVE

GOOSE CREEK, SOUTH CAROLINA

DATE	3 SEP 19
SHEET	A7

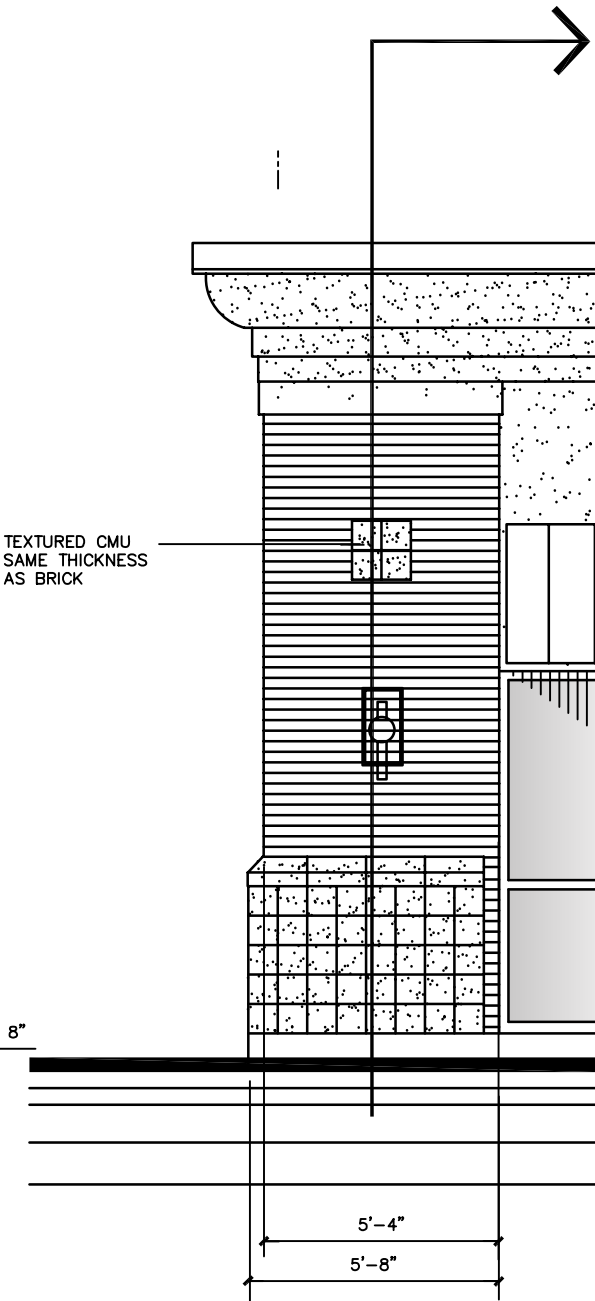


ENLARGED DETAILS
SCALE: 1 1/2" = 1'-0"

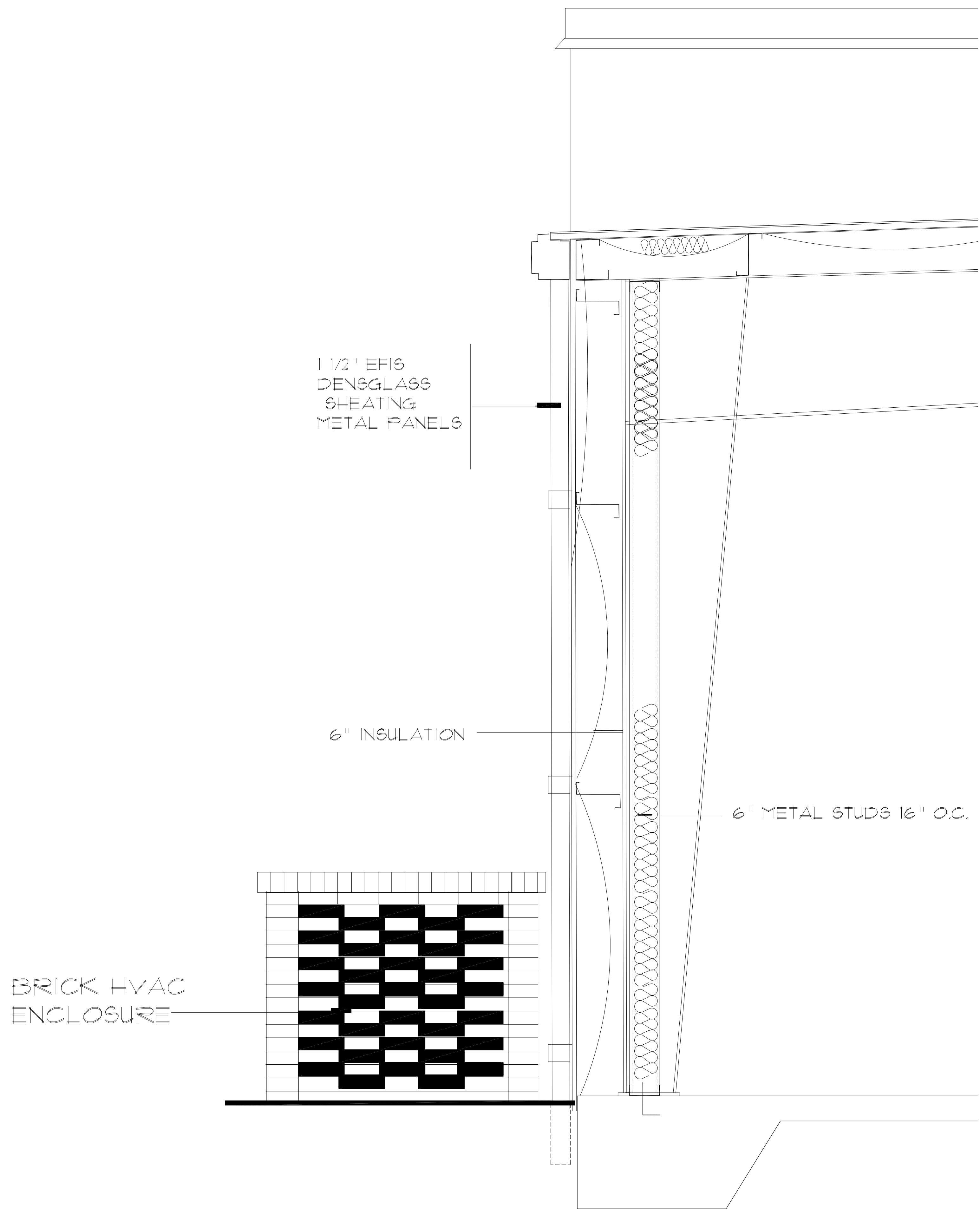


WALL SECTION
SCALE: 1/2" = 1'-0"

A
A5



PARTIAL ELEVATION
SCALE: 1/2" = 1'-0"



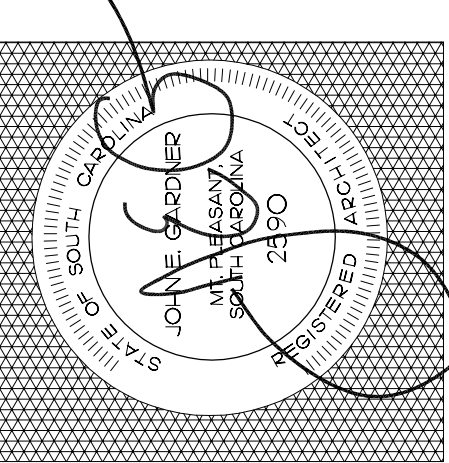
1 1/2" EFIS
DENSGLASS
SHEATHING
METAL PANELS

6" INSULATION

6" METAL STUDS 16" O.C.

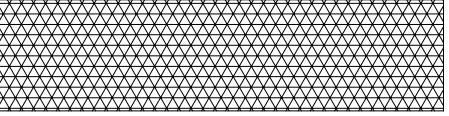
BRICK HVAC
ENCLOSURE

SECTION AT REAR WALL



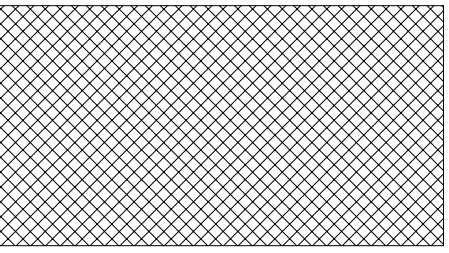
JOHN E. GARDNER
ARCHITECT

1574 EAST ASHLEY AVENUE
FOLLY BEACH, SOUTH CAROLINA
(843) 670-0351
EMAIL: lonesomecreekgus@gmail.com



NEW RETAIL CENTER
114 ETIWAN DRIVE

GOOSE CREEK, SOUTH CAROLINA



DATE 3 SEP 19

SHEET

A14