



**Architectural Review Board
Monday, March 19, 2018
6:30 p.m.**

**City of Goose Creek
Marguerite H. Brown Municipal Center
519 N. Goose Creek Blvd.
Goose Creek, South Carolina**



MEMORANDUM

TO: Members of the Architectural Review Board

FROM: Brenda Moneer
Planning and Zoning Specialist

DATE: March 13, 2018

SUBJECT: Notification of ARB Meeting

This is to inform you that the Architectural Review Board (ARB) will meet Monday, March 19, 2018, 6:30 p.m. at City Hall. Enclosed please find agenda material for the meeting.

If you have any questions or comments, please don't hesitate to contact me at 797-6220 ext. 1116, or Kara at ext. 1118. We look forward to seeing you Monday evening.

AGENDA
CITY OF GOOSE CREEK
ARCHITECTURAL REVIEW BOARD MEETING
MONDAY, MARCH 19, 2018 6:30 P.M.
MARGUERITE BROWN MUNICIPAL CENTER
CITY HALL COUNCIL CHAMBERS
519 N. GOOSE CREEK BLVD.

VISION STATEMENT:

Goose Creek is a city that has achieved a balance between growth, the environment, and the preservation of its small town character. The city's primary concern is for the lifelong needs of all its citizens. Goose Creek is a partnership between its government and its people in the determination of the city's future.

MISSION STATEMENT:

Objectively guide the evolution of commercial and industrial projects creating a synergy between the business and residential community consistent with the city of Goose Creek's vision statement.

THE PROCEDURE FOR PARTICIPATION WILL BE AS FOLLOWS:

Minor applications will be allotted three (3) minutes to present to the Board, major applications will be allotted five (5) minutes to present. Board members will be allowed to ask questions and to discuss merits of the application following the presentations. The question/discussion period by the Board will be limited to five (5) minutes for minor applications and ten (10) minutes for major applications.

AGENDA:

- I.** Call to Order – Chairperson Sharon Clopton
- II.** Review of Minutes from February 19, 2018
- III.** Old Business – Major Applications
 - A. Popeyes – Elevations, Colors, Materials
 - B. E-Z Auto Now – Site, Landscaping, Elevations, Colors, Materials
- IV.** Comments from Board
- V.** Comments from Staff
- VI.** Adjournment

Please note this Agenda was posted at City Hall and on the City Website prior to meeting.

**MINUTES
CITY OF GOOSE CREEK
ARCHITECTURAL REVIEW BOARD MEETING
MONDAY, FEBRUARY 19, 2018, 6:30 P.M.
MARGUERITE H. BROWN MUNICIPAL CENTER
519 N. GOOSE CREEK BOULEVARD**

I. Call to Order – Chairperson, Sharon Clopton

Motion: at 6:28 pm, **Action:** Called Meeting to Order, **Moved by** Sharon Clopton
Roll Call.
Present: Joel Arenson, Gary Becker, David Cantrill, Sharon Clopton, Tom Risso.
Absent: Lisa Burdick
Staff Present: Kara Browder, Brenda Moneer

II. Review of Minutes from December 18, 2017, and January 16, 2018

Motion: Approve the minutes as presented., **Moved by** Joel Arenson,
Seconded by Gary Becker.
Discussion: There was none.
Vote: All voted in favor. (**summary:** Yes = 5).

III. Old Business – Minor Applications

A. CiCis – Wall Mount Sign

The applicant was not present.

B. Splash-N-Dash Vacuum Systems

The applicant presented the revised application to the Board. He mentioned the color of the hoses would be changed to black, and the stantions would also be black. The applicant mentioned the coin vacuums would remain per the owner. Chairperson Clopton inquired to the applicant if the new system would consist of ten vacuuming arches. The applicant confirmed it would, and stated the design would still be installed at an angle as shown in the submittal. Chairperson Clopton inquired if the vacuums would have a cover over them. The applicant stated no. There was discussion about the recoating of the equipment with a satin black.

- Motion:** Approve the application as submitted contingent upon the arches and hoses to be a black and satin color., **Moved by** Joel Arenson, **Seconded by** Gary Becker.
- Discussion:** Chairperson Clopton inquired about the location and color of the collection container. The applicant stated that it would be located at the front left corner of the property, and is a chrome color. Mr. Arenson inquired if each arch had individual pumps. The applicant stated it would all be contained in the one vacuum pump. The applicant also noted they could provide landscaping around the pump area along Red Bank Road if needed, and presented a landscaping plan. There was discussion about the types of shrubs to be used for screening. Mr. Cantrill inquired about the height of the pump. The applicant stated it is approximately 3' x 3' x 5' tall.
- Vote:** All voted in favor. (**summary:** Yes = 5).

A. CiCis – Wall Mount Sign and Tenant Panel

The applicant presented the application to the Board with the modifications to the tenant panel. Chairperson Clopton inquired to the applicant if the building signage had been installed, and if the tenant panel would match the façade signage. The applicant stated that was correct. Mr. Becker inquired if the background would be red as submitted. The applicant answered yes. There was a brief discussion about the condition of the building. There was also discussion about the modified tenant panel not matching the façade signage. Staff mentioned that the applicant and the owner was informed that the Board would like to see both signs match. The applicant presented alternate options. The Board discussed and chose Alternative “A”.

- Motion:** Approve the application as submitted with the application modification of the alternative “A” tenant panel., **Moved by** David Cantrill, **Seconded by** Gary Becker.
- Discussion:** **There was none.**
- Vote:** All voted in favor. (**summary:** Yes = 5).

C. American Heritage Ambulance - Signage

The representative presented the application to the Board. There was a brief discussion about the location of the proposed and previous signage. Staff noted the applicant had amended the application for the freestanding sign to meet the ordinance criteria. Chairperson Clopton inquired about the frame on the building sign. The applicant stated black. It was confirmed this would remain black. There was discussion about the road signage colors, and the panel on the building to be replaced. Mr. Cantrill inquired if it was lit. The applicant stated no. Chairperson Clopton asked if the road signage was dual sided. There was a detailed discussion about the road sign base, landscaping and color, lettering font to be a navy color and matching on both the building and road signage.

- Motion:** Approve the application as submitted with the stipulation that the font and color of the lettering match on the building and road signage which is a dark blue., **Moved by** Joel Arenson, **Seconded by** Gary Becker.
- Discussion:** There was none.
- Vote:** All voted in favor. (**summary:** Yes = 5).

D. All State Insurance – Signage

The representative presented the application to the Board. There was discussion regarding the criteria for maximum allowable tenant panels. Staff stated that the tenant panels are within the size of the shopping center signage

- Motion:** Approve the application as submitted for the wall mounted sign., **Moved by** Joel Arenson, **Seconded by** Tom Riso.
- Discussion:** Mr. Cantrill suggested the tenant panel be white with blue in keeping with the practice of matching the tenant panel and wall mount sign.
- Motion:** Mr. Arenson amended his motion to add the stipulation that the tenant panel consist of a white panel with blue lettering, **Seconded by** Tom Riso
- Vote:** All voted in favor. (**summary:** Yes = 5).

E. State Farm – Signage

The representative presented the application to the Board. Chairperson Clopton verified the tenant panel would be white with red lettering. The applicant agreed it would.

- Motion:** Approve the application as submitted for the wall mounted sign., **Moved by** Tom Riso, **Seconded by** David Cantrill.
- Discussion:** There was none.
- Vote:** All voted in favor. (**summary:** Yes = 5).

F. MoMo - Signage

The representative presented the application to the Board. Chairperson Clopton inquired if the awnings were existing. The applicant stated yes. There was discussion about the type of business.

- Motion:** Approve the application as submitted for the wall mounted sign., **Moved by** Tom Riso, **Seconded by** Joel Arenson.
- Discussion:** Chairperson Clopton inquired if the previous signage was still there, and inquired about the condition of the façade of the building. The applicant

stated he thought it was gone. The applicant stated he would relay that to the business.

Motion: Mr. Risso amended his motion contingent upon refurbishing the raceway as necessary. The applicant stated he would relay to the business. Mr. Arneson seconded the amended motion.

Discussion: Mr. Cantrill inquired about the height of the signage. The applicant stated it would be installed as shown in the proposal.

Vote: All voted in favor. (**summary:** Yes = 5).

G. Pet Rest – Front Elevation Modifications

The representative presented the application, material and color samples to the Board. There was discussion about the scope of work, included the materials specifications and colors to match the existing. The applicant added the colors would match the existing.

Motion: Approve the application as submitted for the wall mounted sign., **Moved by** Tom Risso, **Seconded by** David Cantrill.

Discussion: There was none.

Vote: All voted in favor. (**summary:** Yes = 5).

IV. New Business – Major Applications

H. Popeyes – Site, Landscaping, Elevations, Colors and Materials

Mr. David Banks presented the application to include the site, landscaping, elevations, colors and materials to the Board. There was discussion about the current building demo. Mr. Banks stated that the landscaping was altered a bit due to the power lines that run diagonally across the property. He added the signage would come later. Chairperson Clopton inquired about buffers. Staff added with like uses a buffer would not be required because of the like zoning at the side and rear. There was discussion about the fencing on the adjacent property. Mr. Arenson inquired about the HVAC system location, and the dumpster enclosure. Mr. Banks stated the HVAC would be a roof top system and the dumpster enclosure would match the building. There was a lengthy discussion about the colors as proposed, and the drive-thru location. Chairperson Clopton stated concern for the yellow beige color.

Motion: Approve the application as submitted., **Moved by** Joel Arenson, **Seconded by** Tom Risso.

Discussion: Mr. Cantrill asked for clarification on the green accents. The representative stated they were a fixed shutter. Staff pointed out the rendering did not show the roof top equipment completely screened. The applicant stated the plans did address that, however, they had not incorporated that into the color rendering. The Board requested the spacing be a more equal

space between each shutter. Mr. Becker asked if they could propose a different color in lieu of the gold.

Vote: Chairperson Clopton requested a roll call vote. Joel Arenson, No; Gary Becker, No; David Cantrill, No; Sharon Clopton, No; Tom Risso, Yes. Motion Failed. (**summary:** Yes = 1; No 4).

Discussion: Chairperson Clopton requested that the applicant bring back the application with an alternate color scheme. Mr. Banks asked the Board if they would consider approval of site and landscaping, and review colors at a future date.

Motion: Approve the application as submitted minus the color scheme, and revisit the colors at a later date. **Moved by** Tom Risso, **Seconded by** David Cantrill.

Vote: All voted in favor. (**summary:** Yes = 5).

I. E-Z Auto Now – Site, Landscaping, Elevations, Colors and Materials

Ms. Ashley Blausler-Silva presented the application to include the site, landscaping, floorplans, elevations, colors, and materials to the Board. She detailed the location on Red Bank Road. There was a lengthy discussion about the landscaping, lighting, and lack of architectural interest in the elevations. There was additional discussion about the signage, fencing, landscaping buffer, easements and setbacks. Chairperson Clopton stated concern for the elevations, and lack of architectural interest with materials or color. The applicant stated she was looking for a clean look, and proposed an awning over the entry doors.

Motion: Approve the application as submitted., **Moved by** Tom Risso, **Seconded by** Joel Arenson.

Discussion: There were suggestions to add some architectural features to the elevations.

Vote: Chairperson Clopton requested a roll call vote. Joel Arenson, No; Gary Becker, No; David Cantrill, No; Sharon Clopton, No; Tom Risso, Yes. Motion Failed. (**summary:** Yes = 1; No 4).

J. Walmart - Elevations, Colors and Signage

Mr. Chris Carlson presented the application to include the elevations, colors and signage to the Board, along with color samples. There was discussion about the modifications to the signage proposal to meet the sign ordinance regulations. The Board stated concern for the use of the orange on the entire corner. Mr. Carlson stated he could box an area of orange behind the “pick-up” signage. The Board stated favor for that modification. There was discussion about the quantity of signage on the front elevation, and the sides to meet the zoning ordinance. Staff also mentioned the square footage exceeded the maximum allowance, however if the calculations were per channel letter, they would meet the requirements. Mr. Cantrill inquired about the tree

located in front of the Plantation North Corner. Mr. Carlson stated they would propose to relocate the tree and freshen up the landscaping in that corner. The applicant detailed the colors with the color samples.

- Motion:** Approve the application as submitted with the stipulation that the orange be limited to a box around the pick-up sign rather than the entire corner portion of the facade., **Moved by** Tom Risso, **Seconded by** Joel Arenson.
- Discussion:** There was none.
- Vote:** All voted in favor. (**summary:** Yes = 5).

V. Comments from the Board

Chairperson Clopton mentioned the shopping center signage on Red Bank Road still did not have the landscaping installed as per the approval. She also mentioned the Mattress Firm was using a waving balloon on weekends, and that there was a banner with permanent wording information located at the First Baptist Church that needed Staff to check into. She mentioned it was hanging over their LED sign. Chairperson Clopton inquired to staff about the number of shopping center signage for the Crowfield Village. Staff stated they would address this with the owners. Chairperson Clopton informed staff that the Mexican Tequileria had been painted a different color with no ARB review. Mr. Cantrill inquired about the Starbucks. Staff noted the applicant was approved to remove the asbestos from DHEC, however they are waiting on Corporate. There was a brief discussion about the pumps at the Time to Shine, and how Staff is currently working with the owner to resolve the screening issue around the pumps.

VI. Comments from Staff

Ms. Browder had no additional comments.

VII. Adjournment

- Motion:** Motion to adjourn at 8:16 pm., **Action:** Adjourn, **Moved by** Tom Risso, **Seconded by** Joel Arenson.
- Discussion:** **There was none.**
- Vote:** All voted in favor. (**summary:** Yes = 5).

_____ Date _____
Sharon Clopton, Chairperson



ARCHITECTURAL REVIEW BOARD: SCOPE OF WORK

PROJECT: Popeyes

LOCATION: 135 St James Ave

This commercial development is located on the corner lot at St. James Ave. and Etling Ave. where the Berchador was located years ago.

The applicant will be presenting plans to build a Popeyes sitdown restaurant with drive thru.

The applicant has been working in conjunction with SCDOT to configure the access/egress for this property as shown on the civil plans submitted to Planning.



Site – Street View – Existing Berchador Building *provided by Google™ “street view January 2017”*

Popeyes
CHICKEN & BISCUITS

1238

Popeyes
CHICKEN & BISCUITS

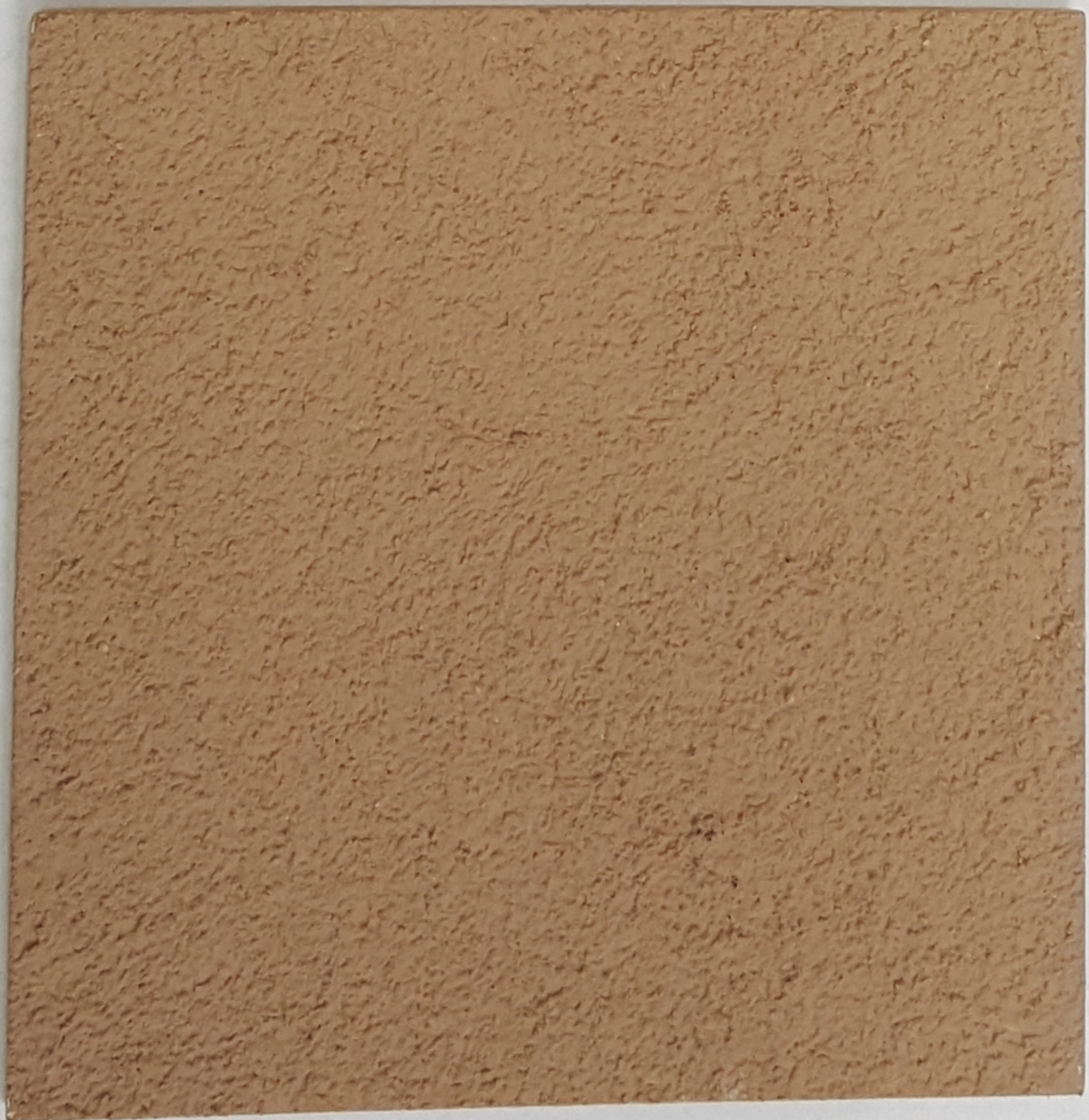
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POPEYES

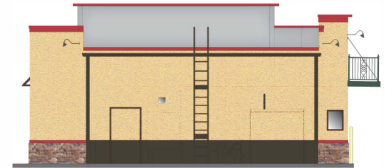
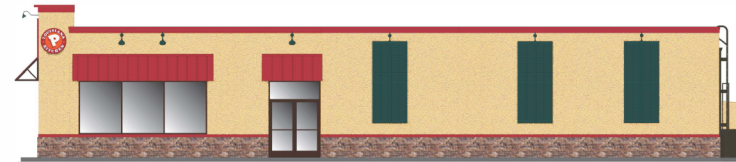
SHRIMP TACKLE BOX
\$4.99



DO NOT ENTER







Popeyes Louisiana Kitchen
 LK1260DL-Seat Prototype
 Exterior Design Concept
 03-05-18

- STO - Medium Sand Finish: DV112 Sandlewood Beige
- Benjamin Moore 2107-20 : Mocha Brown
- Benjamin Moore 2040-10 : Rainforest Foliage
- Benjamin Moore 2041-10 : Hunter Green

- Benjamin Moore 2086-10 : Exotic Red
- Benjamin Moore RM : Bronzestone
- Boral Stone - LedgeStone : Plumb Creek
- Awnings - UC-4-Aluminum; PMS187C



SPECIFICATIONS:

DIVISION 7: THERMAL AND MOISTURE PROTECTION

GENERAL PROVISION
SECTION 7C: SHEET METAL WORK
1. SCOPE: FURNISH AND INSTALL GRAVEL STOPS, FLASHING, PARAPET CAP, DOWNSPOUTS, AND GUTTERS.

A. ROOFING MEMBRANE FLASHING IS INCLUDED IN SECTION 7B: MEMBRANE ROOFING.

MATERIALS
1. MATERIALS SHEET METAL: .032 ALUMINUM.
2. NAIL FASTENERS: 1 3/4" X 11 GAUGE GALVANIZED, STAINLESS STEEL, OR ALUMINUM ROOFING NAILS MAY BE USED FOR FASTENERS INTO WOOD WHEN CONCEALED ONLY.

3. WASHERS: NEOPRENE
4. SCREW FASTENERS: CORROSION-RESISTANT, SELF-TAPPING, HEX HEAD SCREW, 1/4" MINIMUM DIAMETER WITH SUFFICIENT LENGTH TO PENETRATE 1" MINIMUM INTO WOOD OR 1/2" MINIMUM INTO STEEL. PROVIDE NEOPRENE SEALING WASHER FOR EXPOSED FASTENING.

PERFORMANCE
1. INSTALLATION: EXPOSED FLASHINGS SHALL BE PAINTED TO MATCH ADJACENT MATERIALS. VERIFY WITH POPEYES' REPRESENTATIVE.

SECTION 7D: STANDING SEAM CANOPY

PART 1 - GENERAL

1.0 SUBMITTALS

A. SUBMIT FOR APPROVAL SAMPLES, SHOP DRAWINGS, PRODUCT DATA.

QUALITY ASSURANCE

A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

METAL ROOF SYSTEM MANUFACTURER, UPON FINAL ACCEPTANCE FOR PROJECT, FURNISH A WARRANTY COVERING BARE METAL AGAINST RUPTURE, STRUCTURAL FAILURE AND PERFORATION DUE TO NORMAL ATMOSPHERIC CORROSION EXPOSURE FOR A PERIOD OF 20 YEARS.

PART 2 - PRODUCTS (UC-4 SERIES, AS MANUFACTURED AND SPECIFIED BY UNA-CLAD, METAL ROOF SYSTEMS.)

2.0 MATERIALS

A. METAL ROOF SYSTEM PROFILE:

1. UC-4 "NO CLIP", 1 1/2" HIGH BATTENS x 12" RIB TO RIB (SMALL BATTEN-SB)

2. CONCEALED FASTENER

B. GAUGE: 1. .026 GAUGE - STEEL

C. TEXTURE: 1. SMOOTH.

D. FINISH: 1. PREMIUM FLUOROCARBON COATING PRODUCED WITH KYNAR 500 OR HYLAR 5000 RESIN (20 YEAR WARRANTY.)

E. MANUFACTURER: 1. UNA-CLAD OR EQUAL.

PART 3 - EXECUTION

3.0 INSTALLATION

A. COMPLY WITH SMACNA SHEET METAL MANUAL RECOMMENDATIONS. COMPLY WITH ACCESSORY MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS. COORDINATE INSTALLATION WITH ROOFING SYSTEM TO ENSURE WEATHERTIGHT PERFORMANCE.

B. ANCHOR SECURELY TO STRUCTURE TO WITHSTAND INWARD AND OUTWARD LOADS.

C. ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.

DIVISION 9: FINISHES

SECTION 9C: EIFS

PART 1 GENERAL

1.01 DESCRIPTION

A. DESIGN REQUIREMENTS: THE STRUCTURAL WALL SYSTEM TO WHICH THE EIFS IS ATTACHED SHALL MEET L240 MAXIMUM ALLOWABLE DEFLECTION CRITERIA AND APPLICABLE BUILDING CODE REQUIREMENTS.

1.02 SUBMITTALS

A. SUBMIT SAMPLES FOR APPROVAL AS DIRECTED BY OWNER.

1.03 DELIVERY, STORAGE AND HANDLING

A. ALL EIFS MATERIALS SHALL BE DELIVERED IN THEIR ORIGINAL SEALED CONTAINERS BEARING MANUFACTURER'S NAME AND IDENTIFICATION OF PRODUCT WITH WRITTEN APPLICATION INSTRUCTIONS AND APPROPRIATE HEALTH, HAZARD, AND SAFETY DATA.

B. ALL EIFS READY-MIXED MATERIALS SHALL BE PROTECTED FROM EXTREME HEAT, SUN AND FROST. FACTORY PROPORTIONED BAGGED MATERIALS SHALL BE STORED OFF THE GROUND AND PROTECTED FROM MOISTURE.

1.04 JOB CONDITIONS

A. ALL EIFS MATERIALS SHALL NEVER BE APPLIED IF AMBIENT AND SURFACE TEMPERATURES CANNOT BE KEPT ABOVE 40° F DURING APPLICATION AND DRYING PERIOD. FOR INSTALLATION IN TEMPERATURES LESS THAN 40° F SUPPLEMENTARY HEAT SHALL BE PROVIDED. THE INSTALLED EIFS MATERIALS SHALL BE PROTECTED FROM EXPOSURE TO RAIN AND FREEZING UNTIL DRY.

1.11 WARRANTY

A. PROVIDE MANUFACTURER'S STANDARD LABOR AND MATERIAL WARRANTY.

PART 2 PRODUCTS

2.01 MANUFACTURERS

A. STO CORP.
B. DRYVIT SYSTEMS, INC.

2.02 ADHESIVES

A. DISPERSION ADHESIVE - NONCEMENTITIOUS, ACRYLIC BASED ADHESIVE.

2.03 INSULATION BOARD

A. NOMINAL 1.0 (10 cubic feet (16 kg/cubic meter) EXPANDED POLYSTYRENE (EPS) INSULATION BOARD IN COMPLIANCE WITH ASTM C 578 TYPE I REQUIREMENTS, AND EIMA GUIDELINE SPECIFICATION FOR EXPANDED POLYSTYRENE (EPS) INSULATION BOARD.

2.04 BASECOAT

A. ONE-COMPONENT POLYMER MODIFIED CEMENTITIOUS BASE COAT WITH FIBER REINFORCEMENT AND LESS THAN 33% PORTLAND CEMENT CONTENT BY WEIGHT.

2.05 REINFORCING MESHES

A. STANDARD MESH
1. STO MESH - NOMINAL 4.5 oz/sq yd (163 g/sq meter), SYMMETRICAL, INTERLACED OPEN-WEAVE GLASS FIBER FABRIC MADE WITH MINIMUM 25 PERCENT BY WEIGHT ALKALINE RESISTANT COATING FOR COMPATIBILITY WITH STO MATERIALS.
B. HIGH IMPACT MESH
1. STO INTERMEDIATE MESH (MESH C) - NOMINAL 11.0 oz/sq yd, HIGH IMPACT, INTERWOVEN, OPEN WEAVE GLASS FIBER FABRIC WITH ALKALINE RESISTANT COATING FOR COMPATIBILITY WITH STO MATERIALS.

2.06 PRIMER

A. STO PRIMER
ACRYLIC BASED PRIMER (FOR STO ACRYLIC BASED FINISHES)

2.07 FINISH COAT
A. STO ACRYLIC BASED TEXTURED WALL COATING. SEE E.I.F.S. FORMULAS FOR FINISH COLOR.

2.08 JOB MIXED INGREDIENTS
A. PORTLAND CEMENT: ASTM C 150, TYPE I.
B. WATER: CLEAN AND POTABLE.

PART 3 EXECUTION

A. UNDER NO CIRCUMSTANCES SHALL ANY OF THE PRODUCTS BE ALTERED BY ADDING ANY ADDITIVES, EXCEPT FOR SMALL AMOUNTS OF CLEAN WATER AS DIRECTED ON LABEL. ANTIFREEZE, ACCELERATORS, RAPID BINDERS, ETC., ARE FORBIDDEN.

B. THE SURFACE TO RECEIVE THE EIFS SHALL BE STRUCTURALLY SOUND, CLEAN, DRY AND FREE OF WARRPAGE, RESIDUAL MOISTURE OR DAMAGE FROM MOISTURE. SURFACES SHALL BE UNIFORM, WITH NO IRREGULARITIES GREATER THAN 1/8" IN 4'-0". SURFACES SHALL BE INSPECTED FOR COMPLIANCE WITH THE FOLLOWING REQUIREMENTS PRIOR TO INSTALLATION OF THE EIFS:

1. PLYWOOD SHEATHING SHALL MEET A.P.A. (AMERICAN PLYWOOD ASSOCIATION) REQUIREMENTS FOR EXTERIOR OR EXPOSURE 1 CLASSIFICATION APA DESIGN AND CONSTRUCTION GUIDELINES SHALL BE FOLLOWED FOR STORAGE, HANDLING AND INSTALLATION. MANUFACTURER'S PUBLISHED RECOMMENDATIONS SHALL BE FOLLOWED FOR STORAGE, HANDLING, STORAGE, HANDLING, INSTALLATION AND PROTECTION. ANY SHEATHING NOT IN COMPLIANCE SHALL BE REPLACED TO CONFORM WITH SPECIFICATION REQUIREMENTS PRIOR TO INSTALLATION OF THE EIFS.

2. CONCRETE, MASONRY OR PLASTER SURFACES SHALL BE PROPERLY CURED AND FREE OF DIRT, DUST, OIL, GREASE, MILDEW, FUNGUS, LATENCY, PAINT, EFFLORESCENCE AND ANY OTHER CONTAMINANT. ANY SURFACES NOT IN COMPLIANCE SHALL BE CORRECTED PER MANUFACTURER'S INSTRUCTIONS.

3. AFTER SATISFACTORY INSPECTION OF SURFACES AND CORRECTION OF ANY DEVIATIONS FROM SPECIFICATION REQUIREMENTS, THE EIFS INSTALLATION MAY BEGIN PER MANUFACTURER'S INSTRUCTIONS.

D. THE STARTER STRIP OF MESH SHALL BE WIDE ENOUGH TO ADHERE 4" OF MESH ONTO THE WALL, BE ABLE TO WRAP AROUND THE BOARD EDGE AND COVER APPROXIMATELY 4" ON THE OUTSIDE SURFACE OF THE BOARD. THIS "BACKWRAP" PROCEDURE SHALL BE FOLLOWED AT ALL EXPOSED BOARD EDGES IN ACCORDANCE WITH DETAILS (EXAMPLE-WINDOW AND DOOR HEADS AND JAMBS).

E. APPLY THE ADHESIVE TO THE BACK OF THE INSULATION BOARD, STAGGER VERTICAL JOINTS AND INTERLOCK BOARDS AT ALL INSIDE AND OUTSIDE CORNERS. APPLY FIRM PRESSURE OVER ENTIRE SURFACE OF THE BOARDS TO INSURE UNIFORM CONTACT. BOARDS SHALL BRIDGE SHEATHING JOINTS BY A MINIMUM OF 8". ALL BOARD JOINTS SHALL BE BUTTED TIGHTLY TOGETHER TO ELIMINATE ANY THERMAL BREAKS IN THE EIFS. CARE MUST BE TAKEN TO PREVENT ANY ADHESIVE FROM GETTING BETWEEN THE JOINTS OF THE BOARDS. ALL OPEN JOINTS IN THE INSULATION BOARD LAYER SHALL BE FILLED WITH SLIVERS OF INSULATION OR AN APPROVED SPRAY FOAM.

F. NAILS, SCREWS, OR ANY OTHER TYPE OF NONTHERMAL MECHANICAL FASTENER SHALL NOT BE USED.

G. EXPANSION JOINTS ARE REQUIRED IN THE EIFS WHERE THEY EXIST IN THE SUBSTRATE, WHERE THE EIFS ADJOINS DISSIMILAR CONSTRUCTION, AND AT FLOOR LINES IN MULTILEVEL WOOD FRAME CONSTRUCTION. THE EIFS SHALL TERMINATE AT THE EXPANSION JOINT TO PROVIDE APPROPRIATE JOINT SIZE (SEE DETAILS) AND ALL BOARD EDGES SHALL BE COATED WITH APPROPRIATE GROUND COAT AND MESH IN ACCORDANCE WITH STANDARD "BACKWRAPPING" PROCEDURE. APPROPRIATE SEALANT/PRIMER AND BACKER SHALL BE INSTALLED AFTER GROUND COAT IS FULLY DRY TO PREVENT ANY WATER FORM GETTING INTO OR BEHIND THE SYSTEM.

H. USE OF PLASTIC OR METAL CORNER BEADS, STOPBEADS, ETC., IS FORBIDDEN.

I. APPLY APPROPRIATE GROUND COAT OVER THE INSULATION BOARD WITH PROPER SPRAY EQUIPMENT OR A STAINLESS STEEL TROWEL TO A UNIFORM THICKNESS OF APPROXIMATELY 1/16". WORK HORIZONTALLY OR VERTICALLY IN STRIPS OF 40", AND IMMEDIATELY EMBED STANDARD REINFORCING MESH INTO THE WET GROUND COAT. THE MESH SHALL BE DOUBLE WRAPPED AT ALL CORNERS AND OVERLAPPED NOT LESS THAN 2'-0" AT MESH JOINTS. AVOID WRINKLES IN THE MESH. THE FINISH THICKNESS OF THE GROUND COAT SHALL BE SUCH THAT THE MESH IS FULLY EMBEDDED. ALLOW GROUND COAT TO THOROUGHLY DRY BEFORE APPLYING PRIMER OR FINISH.

J. DUPLICATE INSTALLATION PROCESS NOTED IN 3.01 M USING STANDARD MESH CREATING SECOND MESH LAYER AND ADDITIONAL IMPACT RESISTANCE. ALLOW TO DRY BEFORE APPLICATION OF EITHER STO PRIMER (OPTIONAL) OR STO FINISH.

K. IF A PRIMER IS USED, APPLY WITH BRUSH, ROLLER OR PROPER SPRAY EQUIPMENT OVER CLEAN, DRY GROUND COAT AND ALLOW TO DRY THOROUGHLY BEFORE APPLYING FINISH. P. APPLY FINISH DIRECTLY OVER THE GROUND COAT (OR PRIMED GROUND COAT) ONLY AFTER THE GROUND COAT/PRIMER HAS THOROUGHLY DRIED. THE FINISH SHALL BE APPLIED BY SPRAYING, ROLLING OR TROWELING WITH A STAINLESS STEEL TROWEL, DEPENDING ON FINISH SPECIFIED. GENERAL RULES FOR APPLICATION OF FINISHES ARE AS FOLLOWS:

1. USE A CLEAN, RUST-FREE, HIGH-SPEED MIXER TO THOROUGHLY STIR THE FINISH TO A UNIFORM CONSISTENCY (SMALL AMOUNTS OF CLEAN WATER MAY BE ADDED TO AID WORKABILITY).

2. AVOID APPLICATION IN DIRECT SUNLIGHT.

3. APPLY FINISH IN A CONTINUOUS APPLICATION, ALWAYS WORKING TO A WET EDGE.

4. WEATHER CONDITIONS AFFECT APPLICATION AND DRYING TIME. HOT OR DRY CONDITIONS LIMIT WORKING TIME AND ACCELERATE DRYING AND MAY REQUIRE ADJUSTMENTS IN THE SCHEDULING OF WORK TO ACHIEVE DESIRED RESULTS; COOL OR DAMP CONDITIONS EXTEND WORKING TIME AND RETARD DRYING AND MAY REQUIRE ADDED MEASURES OF PROTECTION AGAINST WIND, DUST, RAIN AND FREEZING.

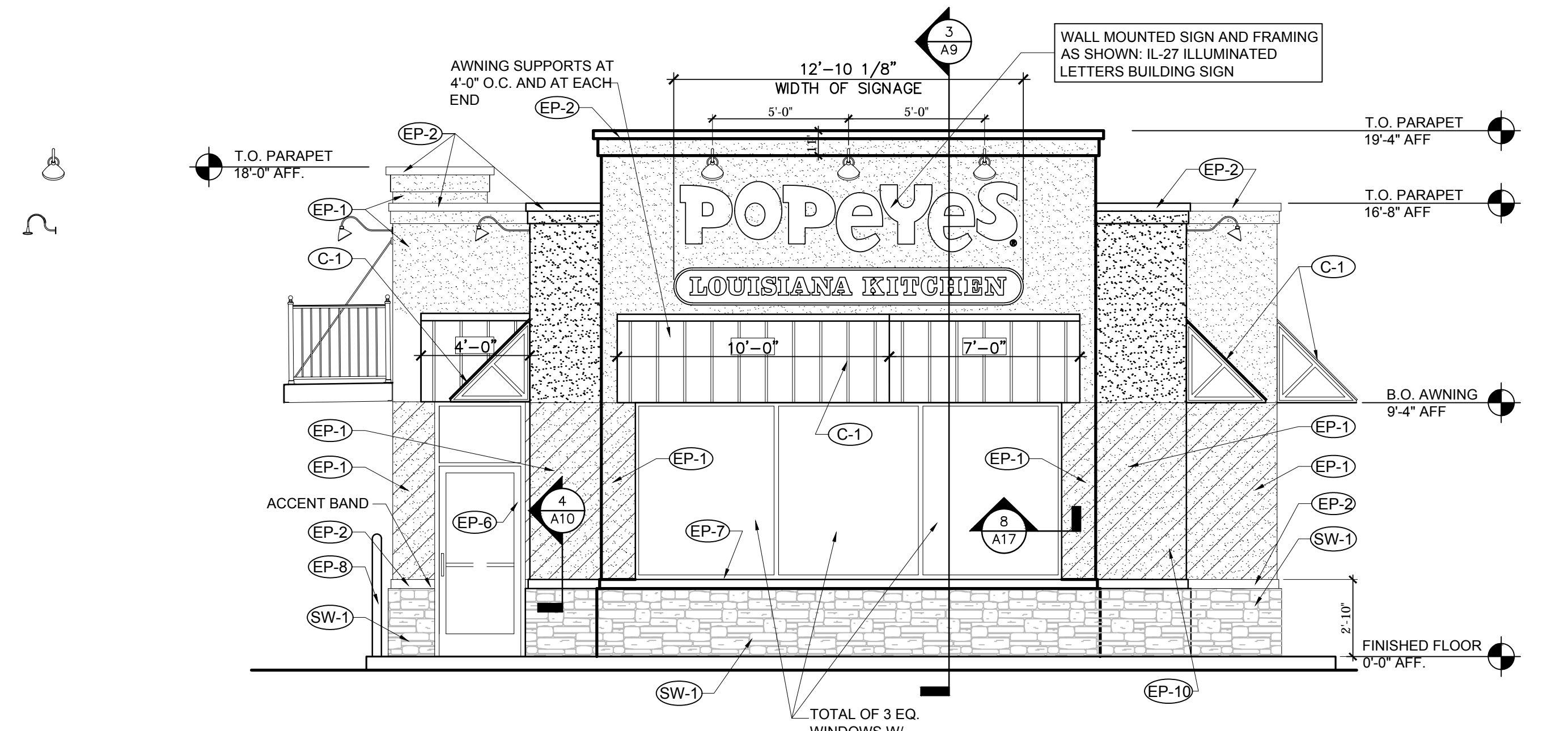
5. AESTHETIC "U"-GROOVES MAY BE DESIGNED INTO THE SYSTEM. (A MINIMUM OF 3/4" INSULATION BOARD MUST BE LEFT AFTER ANY GROOVES ARE CUT).

6. "R" (RILLED TEXTURE) FINISHES MUST BE FLOATED WITH A PLASTIC TROWEL TO ACHIEVE THEIR RILLED TEXTURE.

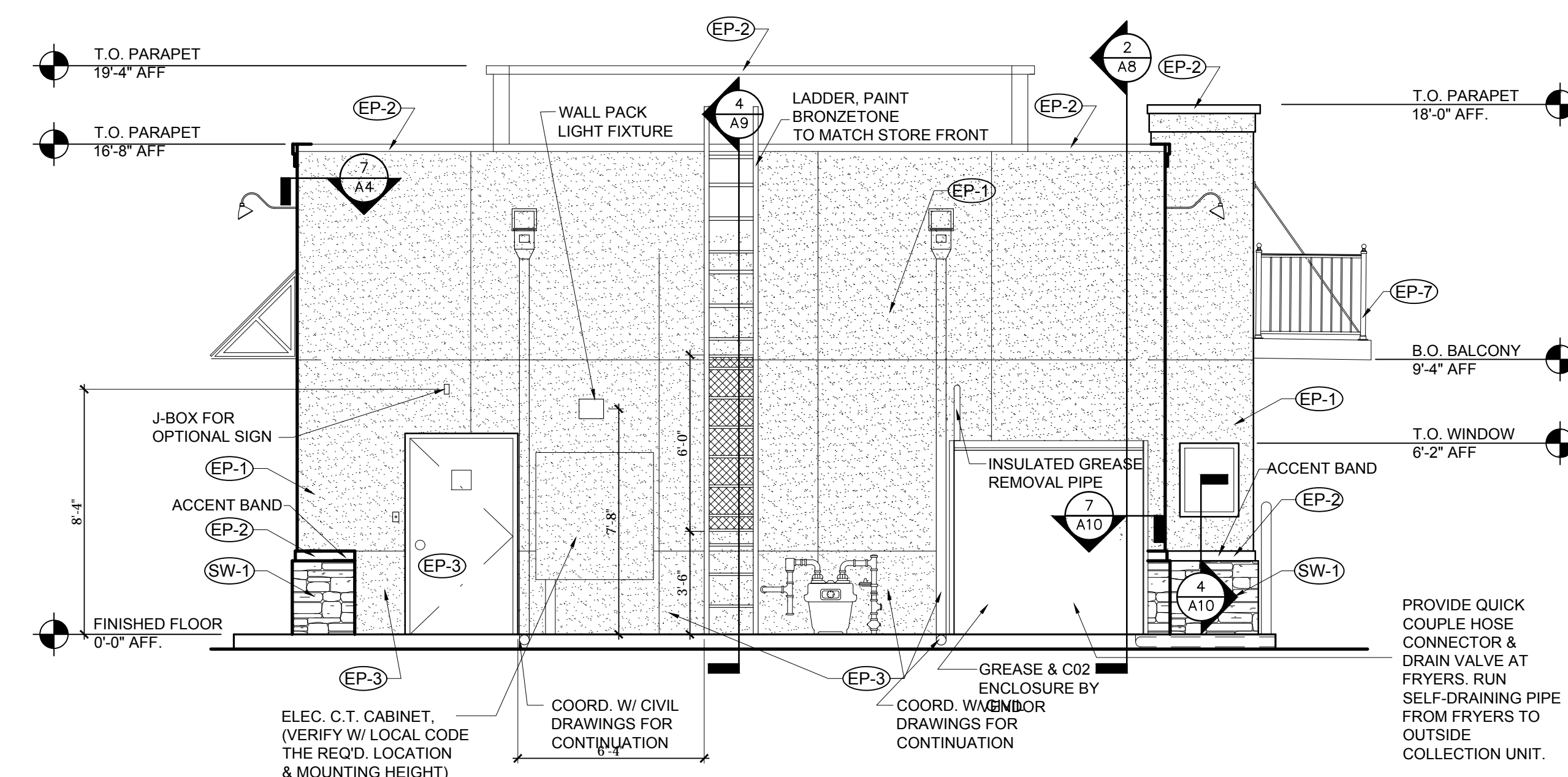
7. AVOID INSTALLING SEPARATE BATCHES OF FINISH SIDE-BY-SIDE.

8. APPLY FINISH COLOR TO EIFS MIX AND APPLY TO WALL COLOR TO MATCH EXTERIOR FINISH SCHEDULE COLORS.

L. STO EXTERIOR INSULATION AND FINISH TEXTURE SYSTEM. APPLY HIGH IMPACT SYSTEM ADJACENT TO DOORS FOR ADDITIONAL IMPACT RESISTANCE, USING STO INTERMEDIATE MESH. USE THE STANDARD SYSTEM SPECIFICATIONS AT ALL OTHER LOCATIONS.



1 FRONT ELEVATION
A5 1/4"=1'-0"



2 REAR ELEVATION
A5 1/4"=1'-0"

EXTERIOR FINISH NOTES

E. I.F.S. ALL T. E. R. F. S.	STO COLORS
Ma:ire	NA10-0036 - DELIGHTFUL GOLDEN
STO	NA10-0037 - MOCHA BROWN
STO	NA10-0038 - EXOTIC RED
DRYVIT	QUARTZ PUTZ

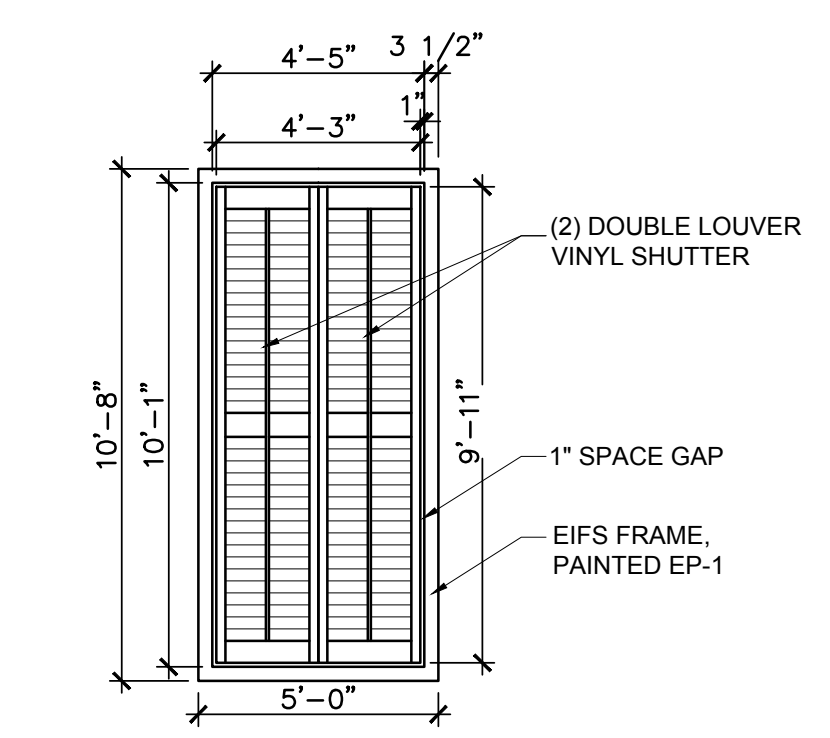
F. S. COTES	DRY T COLORS
THE FOLLOWING COMPONENTS CAN BE PURCHASED FROM THE APPROVED SIGN VENDORS:	POPEYE01020 - DELIGHTFUL GOLDEN
	POPEYE021028S - EXOTIC RED
	POPEYE031020S - MOCHA BROWN

STANDING SEAM ROOF
D/T WINDOW CANOPY RAILING
CLEARANCE BAR
MENU CANOPY
GUARD RAIL
AWNINGS
SHUTTERS

POPEYES LOUISIANA KITCHEN EXTERIOR FINISH SCHEDULE

NEW CONSTRUCTION AND REIMAGING UPDATE: 4/5/2017

Mark	Location	Supplier / Manuf.	Material	Specification	Color	Finish / Notes
EP-1	MAIN WALL SURFACE ABOVE WAINSCOT ACCENT TRIM	BENJAMIN MOORE	PAIN OR EIFS FORMULA	#2158-30	DELIGHTFUL GOLDEN	Ultraspec Satin
EP-2	CROWN / WALL SURFACE ACCENT / WAINSCOT ACCENT TRIM		PAIN OR EIFS FORMULA	#2086-10	EXOTIC RED	Ultraspec Satin
EP-3	WAINSCOT BELOW ACCENT TRIM/REAR BLDG		EIFS / METAL / PAINT	#2107-20	MOCHA BROWN	Ultraspec Satin
EP-4	SHUTTERS	SHUTTERCONTRACTOR.COM	14 1/2"x60" VINYL SHUTTERS (Balcony) 25 1/2"x119" VINYL SHUTTERS (Building)	L2 - VINYL L7S - VINYL	UNFINISHED	030 - PAINTABLE
EP-5	D/T THRU WINDOW CANOPY AND RAILINGS	RAILING VENDOR / TIGER DRYLAC	METAL / POWDER COAT	RAL 6009	HUNTER GREEN	SMOOTH
EP-6	STORE FRONT GLAZING	YKK AP	ANODIZED ALUMINUM	#YB5N	DARK BRONZE	21-28 DAYS
EP-6 (ALT)	STORE FRONT GLAZING		READY MIX		BRONZETONE	P-29 DTM Semi Gloss
EP-7	DUMPSTER WALLS / GATES	BENJAMIN MOORE	METAL / PAINT	#2107-20	MOCHA BROWN	Ultraspec Satin
EP-8	BOLLARDS		METAL / ASPHALT / PAINT		SAFETY & ZONE ACRYLIC MARKING ALPHATIC ACRYLIC URETHANE	RM SAFETY YELLOW P58-10
EP-9	ANTI-GRAFFITI	BENJAMIN MOORE	PAINT		CLEAR GLOSS	M74-00 / M75 (2 COATS)
SW-1	STONE WAINSCOT	BORAL STONE	VERSETTA: SIMULATED STONE VENEER	LEDGESTONE	PLUMB CREEK	NON-OVERLAPPING
SG-1	QUIKRETE	VENEER STONE MORTAR	POLYMER MODIFIED		MOCHA BROWN	1137-85
G-1	AWNING GRATE (OPT.)	AWNING SUPPLIER	METAL / POWDER COAT	RAL 6009	HUNTER GREEN	SMOOTH
C-1	STANDING SEAM CANOPY	COPPER SALES, INC.	UNA-CLAD	UC-4 ALUMINUM PANTONE PMS 187C	REGAL RED	12" OC / GAUGE PER LOCAL CODE REQUIREMENTS



3 SHUTTER DETAIL
A5 1/4"=1'-0"

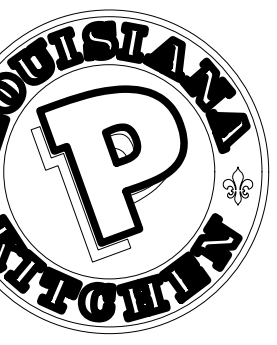


R. Gary Glueck
Architecture
Planning
3797 Loop Road
Nashville, North Carolina
27856
901-756-1878
plans4u2@yahoo.com

Date	1/11/18
Project No.	GC1287
Designed	STAFF
Drawn	STAFF
Checked	STAFF

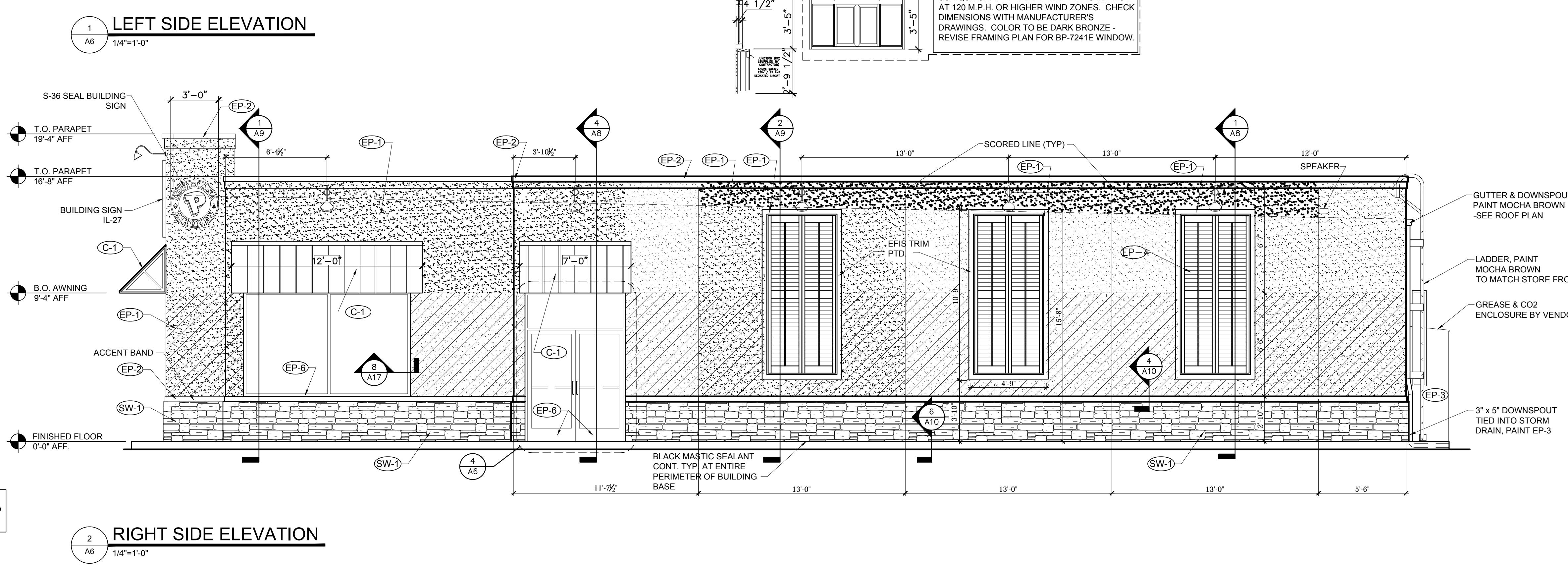
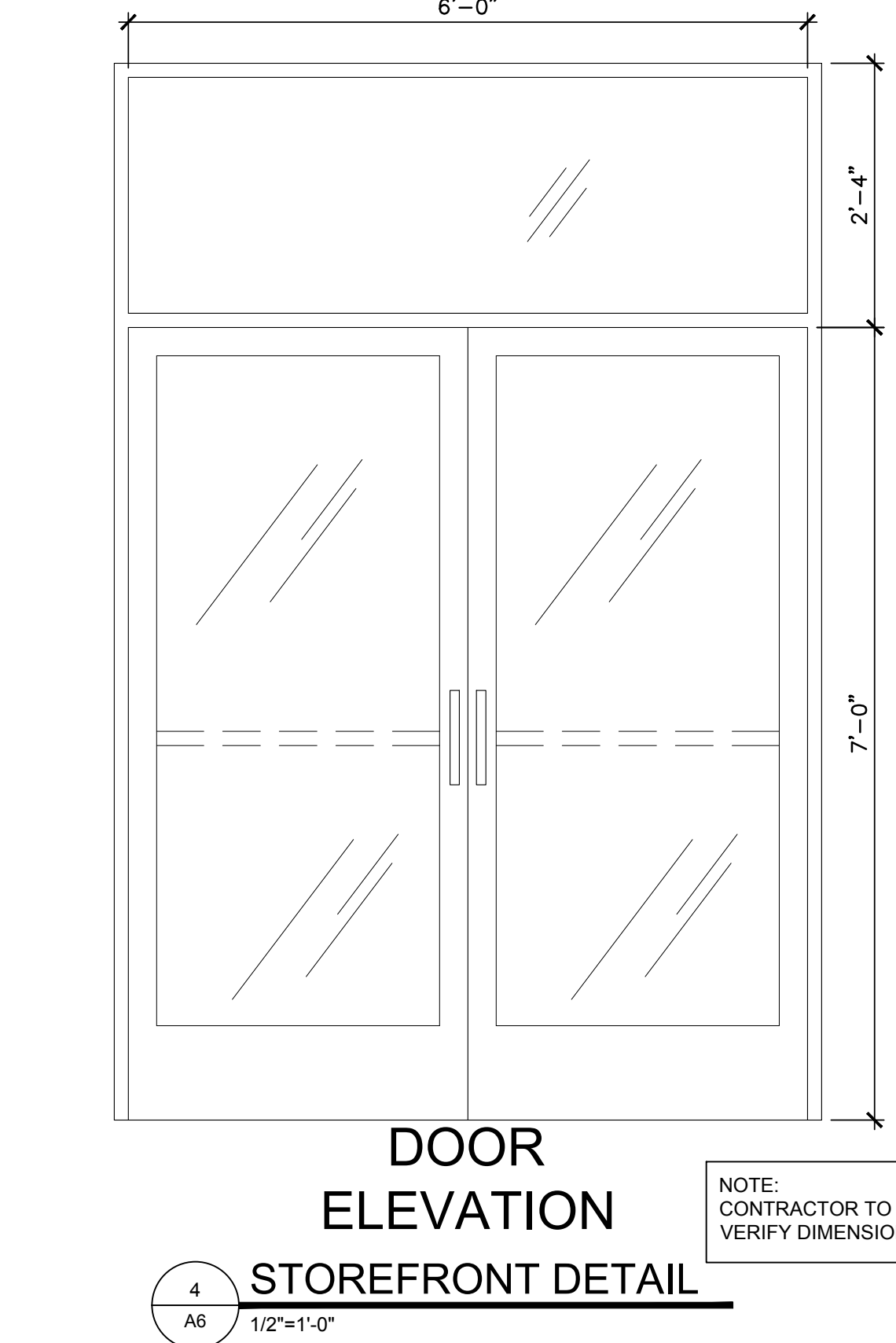
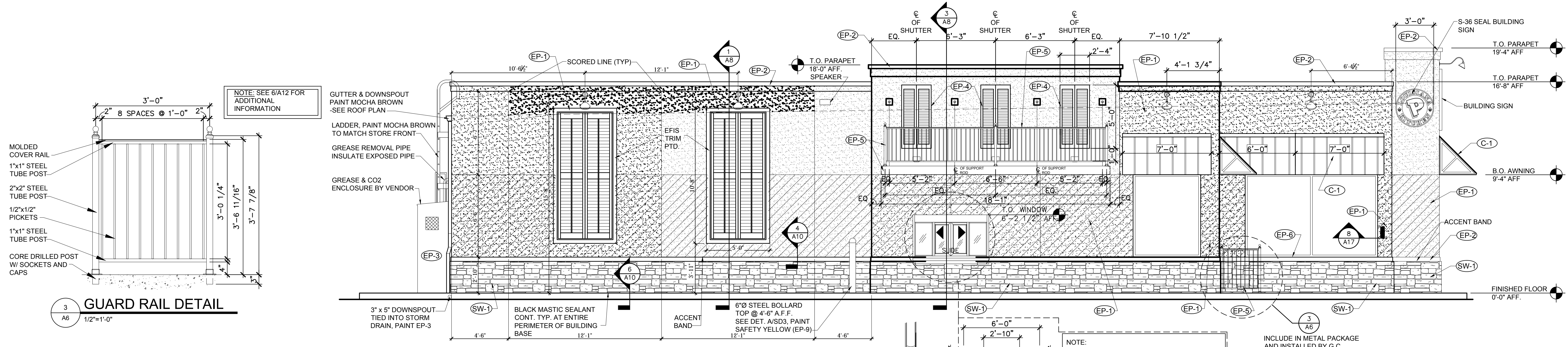
Revisions

POPEYES LOUISIANA KITCHEN
NEW GROUNDUP BUILDING
135 ST. JAMES AVENUE
CHARLESTON, SC



Sheet

A5



SPECIFICATIONS

SECTION 8A: ALUMINUM ENTRANCE, STOREFRONT
GENERAL PROVISIONS
SCOPE: FURNISH AND INSTALL THE ALUMINUM ENTRANCE AND STOREFRONT SYSTEMS PER NATIONAL ACCOUNTS AND APPLICABLE DRAWINGS.
MATERIALS
1. ALUMINUM STOREFRONT AND ENTRANCE FRAMES: REFER TO CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
2. ALUMINUM ENTRANCE DOORS: REFER TO CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
3. PANIC HARDWARE: WHEN PANIC HARDWARE IS REQUIRED ON EXTERIOR DOORS. THE PANIC DEVICE IS ON EXTERIOR ENTRY DOORS WHEN SPECIFIED IN HARDWARE SCHEDULE.
4. DRIVE-THRU SERVICE WINDOW: THE DRIVE-THRU SERVICE WINDOW WILL BE SUPPLIED & INSTALLED BY G.C. VERIFY EXACT TYPE OF WINDOW WITH PLANS. BRONZE FINISH.
WINDOW TO BE:
A. BASE BID - "QUICK SERV" M.C.E. WINDOW FLUSH MOUNT.
B. OPTION (VERIFY WITH OWNER) - READY ACCESS
5. MISCELLANEOUS FLASHING/TRIM: ALUMINUM HEAD, SILL, COLUMN AND WALL TRIM. SEE EXTERIOR ELEVATIONS FOR FINISH.
PERFORMANCE
1. INSTALLATION: INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION. PLACE IN CORRECT LOCATION AS SHOWN IN THE DETAILS. LEVEL, SQUARE, AND PLUMB AT PROPER ELEVATIONS AND IN ALIGNMENT WITH OTHER WORK. MAINTAIN SPACE IN HEAD POCKET FOR 1/4" HEAD DEFLECTION. INSURE FRAMING PROFILES MEET INSTALLATION REQUIREMENTS OF GLAZING UNITS TO MAINTAIN WARRANTY. SEE SECTION 8-D: GLAZING.

SECTION 8D: GLAZING
GENERAL PROVISIONS
1. SCOPE: FURNISH AND INSTALL GLASS IN STOREFRONT AND DRIVE-THRU SERVICE WINDOW.
2. QUALITY CONTROL: ALL GLASS BROKEN DURING INSTALLATION OR DURING CONSTRUCTION PRIOR TO FINAL DELIVERY OF THE BUILDING TO THE OWNER SHALL BE REPLACED AT NO ADDITIONAL EXPENSE TO THE OWNER. GLASS SHOULD BE DELIVERED WITH LABELS PROMINENTLY DISPLAYED AND THEY SHALL BE LEFT IN PLACE UNTIL THE OWNER'S REPRESENTATIVE INSPECTS IT.
MATERIALS
1. STOREFRONT GLAZING - REFER TO CONSTRUCTION DRAWINGS AND NOTES.
PERFORMANCE
1. INSTALLATION: INSTALL GLAZING WITH MANUFACTURER'S INSTRUCTIONS TO PROVIDE COMPLIANCE WITH LOCAL CODE REQUIREMENTS INCLUDING WIND RESISTANCE, 25 PSF MIN. SNOW LOAD, 20 PSF MIN. GLAZING PANELS SHALL BE INSTALLED.
ULTRA VIOLET DEGRADATION LEVELS ARE TO MEET MANUFACTURER'S REQUIREMENTS TO VALIDATE MATERIALS REPLACEMENT WARRANTY.
2. ALLOW FOR 1/4" MINIMUM HEAD DEFLECTION DUE TO LIVE LOAD.
3. GUARANTEES AND WARRANTIES: AT THE COMPLETION OF THE GLAZING, PROVE THE INSTALLATION WATERTIGHT BY SPRAYING ALL JOINTS WITH A GARDEN HOSE WITH NOZZLE SET FOR MAXIMUM PRESSURE. PROVIDE ADDITIONAL CALKING OR SEALANT, OR RESET GLASS AS NECESSARY TO EFFECT A WATERTIGHT JOB.

EXTERIOR FINISH NOTES	
E.F.S. - ALL TEXT REFERENCE	STO COLORS
Ma: STO	NA10-0016 - DELIGHTFUL GOLDEN
STO	NA01-0061 - EXOTIC RED
DRYVIT	NA10-0017 - MOCHA BROWN
F.S. - NOTES	DRY-T COLORS
THE FOLLOWING COMPONENTS CAN BE PURCHASED FROM THE APPROVED SIGN VENDORS:	
* STANDING SEAM ROOF	POPE051020 - DELIGHTFUL GOLDEN
* D/T WINDOW CANOPY RAILING	POPE021028S - EXOTIC RED
* CLEARANCE BAR	POPE031020S - MOCHA BROWN
* MENU CANOPY	
* GUARD RAIL	
* AWNINGS	
* SHUTTERS	
THE FOLLOWING COMPONENTS TO BE MANUFACTURED AND INSTALLED BY THE GENERAL CONTRACTOR	
* LADDER	
* DUMPSTER GATES	

POPEYES LOUISIANA KITCHEN		EXTERIOR FINISH SCHEDULE				
NEW CONSTRUCTION AND REIMAGING		UPDATE: 4/5/2017				
Mark	Location	Supplier / Manuf.	Material	Specification	Color	Finish / Notes
EP-1	MAIN WALL SURFACE ABOVE WAJNSCOT ACCENT TRIM		PAINT OR EIFS FORMULA	#2158-30	DELIGHTFUL GOLDEN	Ultraspec Satin
EP-2	CROWN / WALL SURFACE ACCENT / WAJNSCOT ACCENT TRIM	BENJAMIN MOORE	PAINT OR EIFS FORMULA	#2086-10	EXOTIC RED	Ultraspec Satin
EP-3	WAJNSCOT BELOW ACCENT TRIM@REAR BLDG		EIFS / METAL / PAINT	#2107-20	MOCHA BROWN	Ultraspec Satin
EP-4	SHUTTERS	SHUTTERCONTRACTOR.COM	14 1/2"x60" VINYL SHUTTERS (Balcony)	L2 - VINYL	UNFINISHED	030 - PAINTABLE
		BENJAMIN MOORE	25 1/2"x119" VINYL SHUTTERS (Building)	L7S - VINYL	UNFINISHED	030 - PAINTABLE
EP-5	D/T THRU WINDOW CANOPY AND RAILINGS	RAILING VENDOR / TIGER DRYLAC	METAL / POWDER COAT	RAL 6009	HUNTER GREEN	SMOOTH
EP-5 (ALT)		RAILING VENDOR / BENJAMIN MOORE	METAL / PAINT	#2040-10	RAINFORREST FOLIAGE	P-29 DTM Semi Gloss
EP-6	STORE FRONT GLAZING	YKK AP	ANODIZED ALUMINUM	#YB5N	DARK BRONZE	21-28 DAYS
EP-6 (ALT)			READY MIX		BRONZETONE	P-29 DTM Semi Gloss
EP-7	DUMPSTER WALLS / GATES	BENJAMIN MOORE	METAL / PAINT	#2107-20	MOCHA BROWN	Ultraspec Satin
EP-8	BOLLARDS		METAL / ASPHALT / PAINT		SAFETY & ZONE ACRYLIC MARKING	RM SAFETY YELLOW P58-10
EP-9	ANTI-GRAFFITI	BENJAMIN MOORE	PAINT		CLEAR GLOSS	M74-00 / M75 (2 COATS)
SW-1	STONE WAJNSCOT	BORAL STONE	VERSETTA: SIMULATED STONE VENEER	LEDGESTONE	PLUMB CREEK	NON-OVERLAPPING
SG-1		QUIKRETE	VENEER STONE MORTAR	POLYMER MODIFIED	MOCHA BROWN	1137-85
G-1	AWNING GRATE (OPT.)	AWNING SUPPLIER	METAL / POWDER COAT	RAL 6009	HUNTER GREEN	SMOOTH
C-1	STANDING SEAM CANOPY	COPPER SALES, INC.	UNA-CLAD	UC-4 ALUMINUM	REGAL RED	12" OC / GAUGE PER LOCAL CODE REQUIREMENTS

Luminaire Schedule / "Did you know that utility rebates can cover 25% or more of a products cost? Email rebates@cree.com to get help on your project!"							
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Lum. Watts	Description
⬇	5	OSQ-4ME-2a	2 @ 90 DEGREES	22330	1.000	166	OSQ-A-NM-4ME-T-57K-UL-BZ

Calculation Summary; LMF = 1.00							
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	
Popeyes Lot	Fc	4.50	9.1	1.1	4.09	8.27	

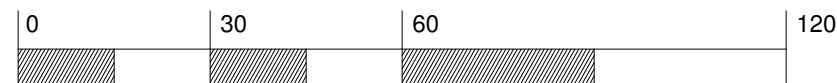
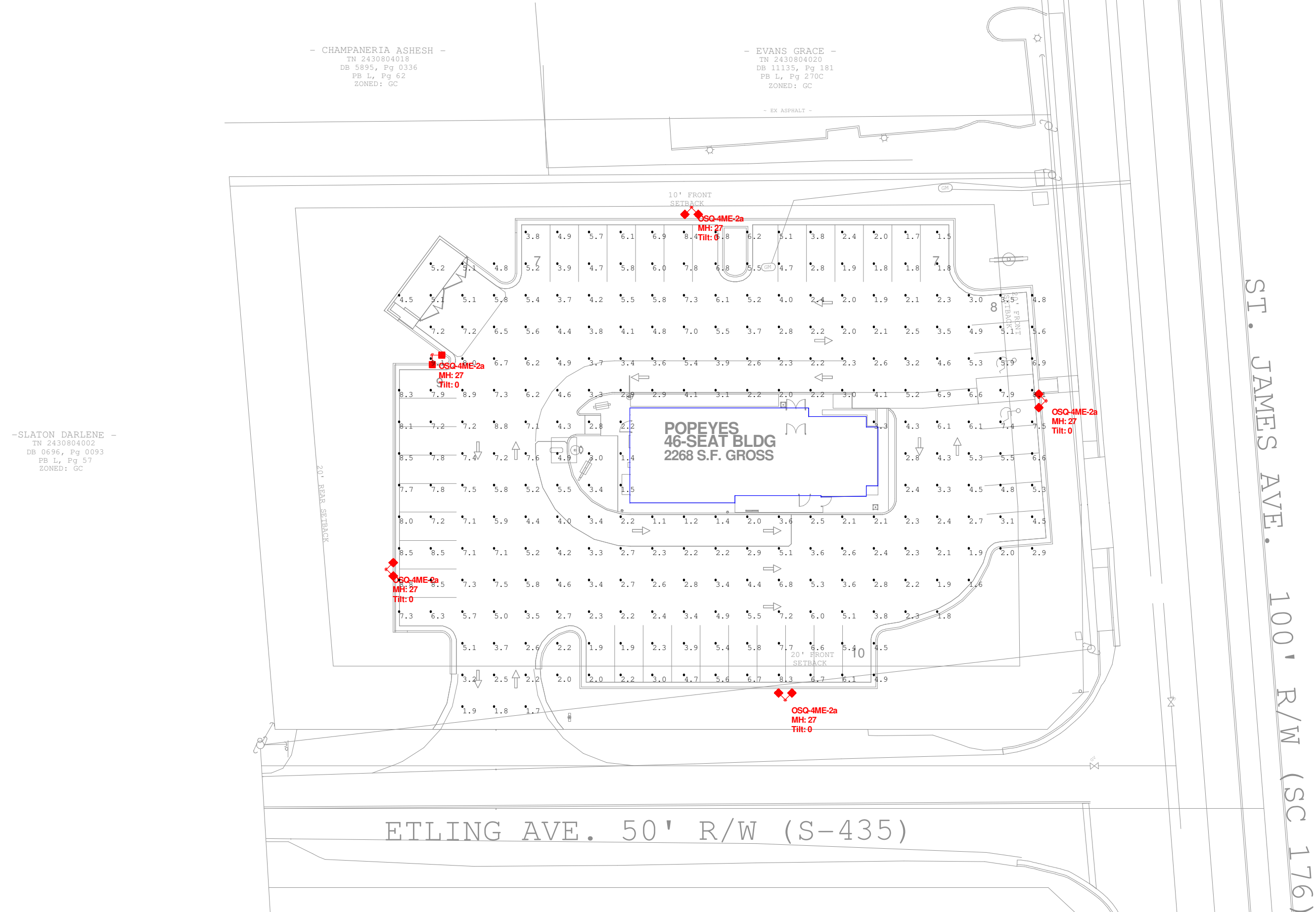
FIXTURE MOUNTING HEIGHT: 27' AFG (25' POLE + 2' BASE) ←

The total height of the light pole is 27 feet.

ADDITIONAL EQUIPMENT REQUIRED:

- (5) CL-SSP-4011-25-OT-BZ (25' x 4" STEEL SQUARE POLE, TENON MOUNT)
 - (5) PB-2A4BZ TWIN TENON
 - (10) OSQ-AABZ ADJUSTABLE ARM MOUNT
- PROPOSED POLES MEET 120MPH SUSTAINED WIND LOADS

***CUSTOMER TO VERIFY MOUNTING, VOLTAGE, AND COLOR PRIOR TO PLACING ORDER



1200 92nd Street - Sturtevant, WI 53177
www.cree.com - (800) 236-6800

Project Name: POPEYES - GOOSE CREEK, SC

SR No. 28638

Date: 2/14/2018

Scale: 1"=30'

Footcandles calculated at grade

Filename: POP-180214GCSCJEE.AGI

Layout by: JACOB EDLER

illumination results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.

STAFF REPORT ARCHITECTURAL REVIEW BOARD

APPLICATION FOR
PROPERTY LOCATED AT 207 RED BANK ROAD
TMS # 244-13-03-008, 244-13-03-009, 244-13-03-010, 244-13-03-011

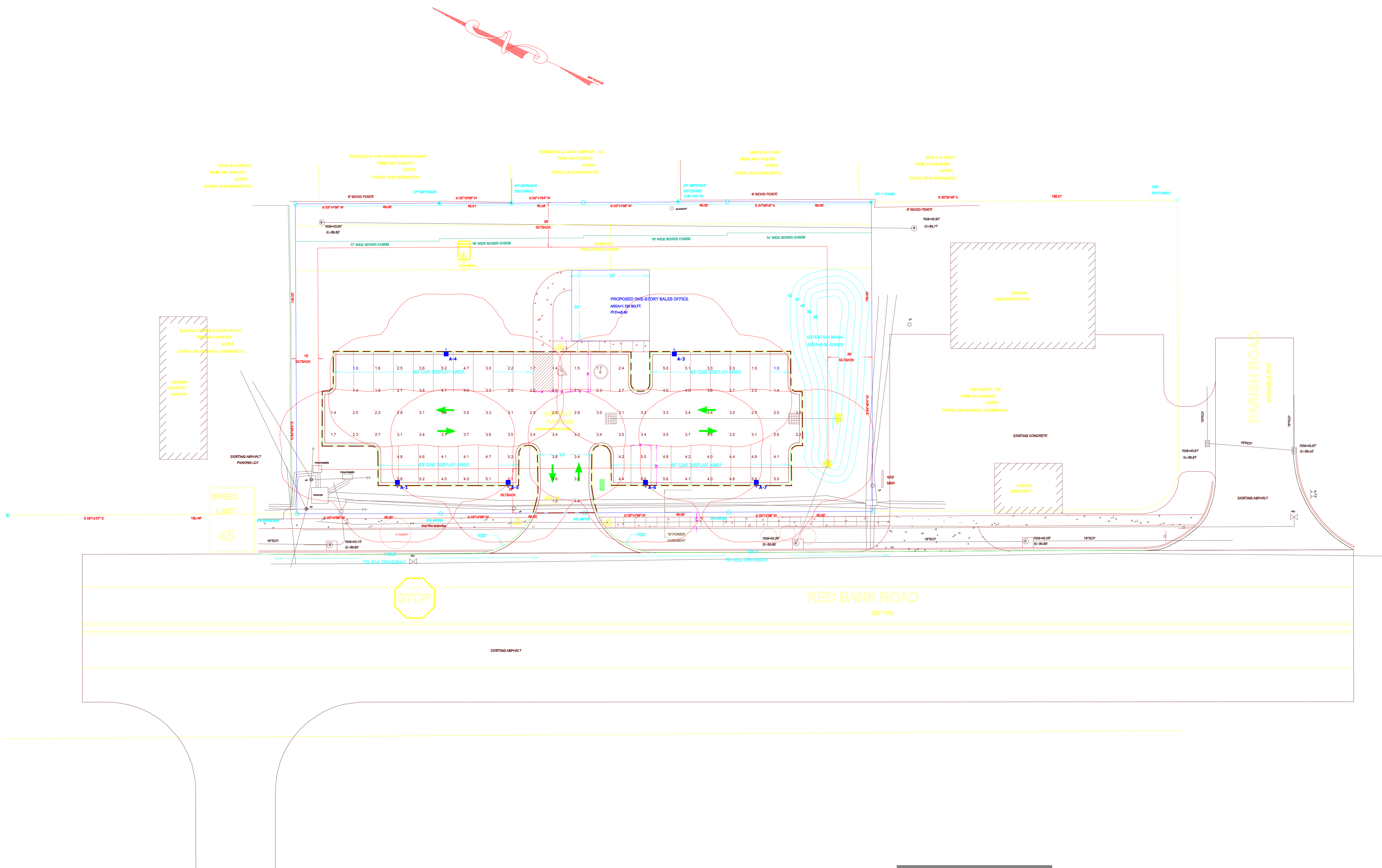
Date of Meeting:	02/19/2018
Subject:	New Construction, Bldg. Elev., Site, Landscaping, Lighting

Proposal:

The applicant Ashley Blausler-Silva, E-Z Auto Now will be presenting an application for a new commercial building consisting of plans for building to include elevations, colors, materials, landscaping, site, and photometrics.

Background:The .084 acre site will be the result of combining the four parcels currently addressed as 207, 209, 211 and 213 Red Bank Rd.





Plan View
Scale - 1" = 20ft

Statistics

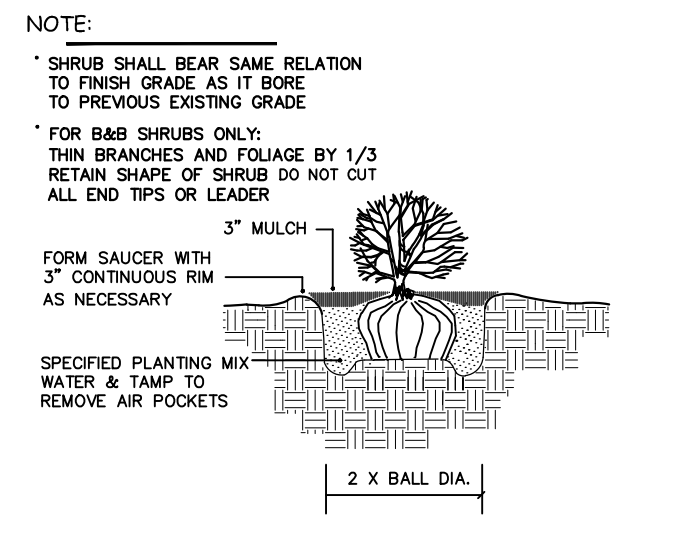
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
E-Z Auto	+	3.3 fc	6.1 fc	1.0 fc	6.1:1	3.3:1

Schedule

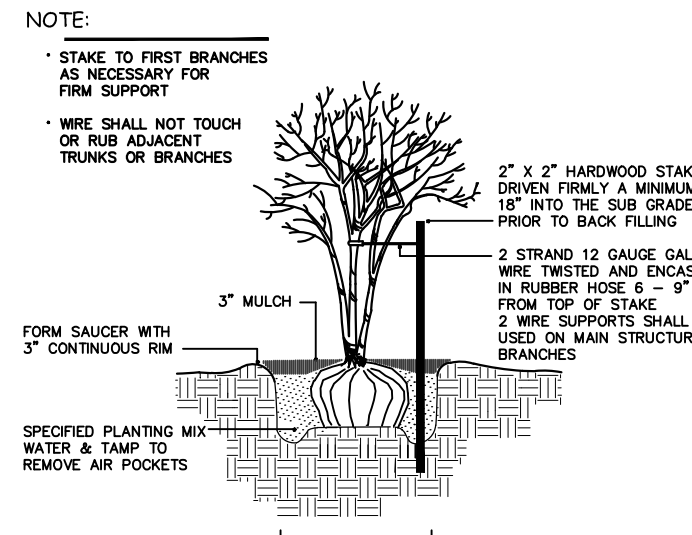
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
+	A	6	American Electric Lighting	AT02 40BLEDE70 XXXXX R3 4K/5K	AT02 SERIES LED 700MA TYPE 3 4000K/5000K CCT	LED Array	1	AT02_40BLE DE70_XXXXX_R3_4K_5K1.es	11551	0.9	88

E-Z Auto

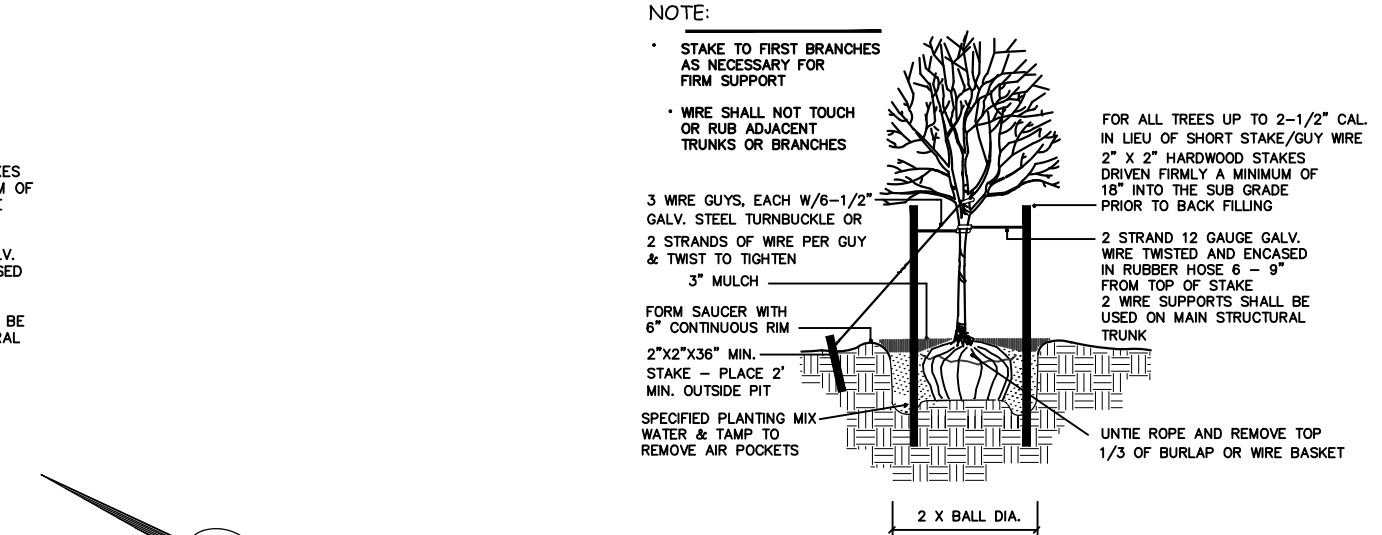
Designer
Date
2/2/2018
Scale
Not to Scale
Drawing No.
Summary



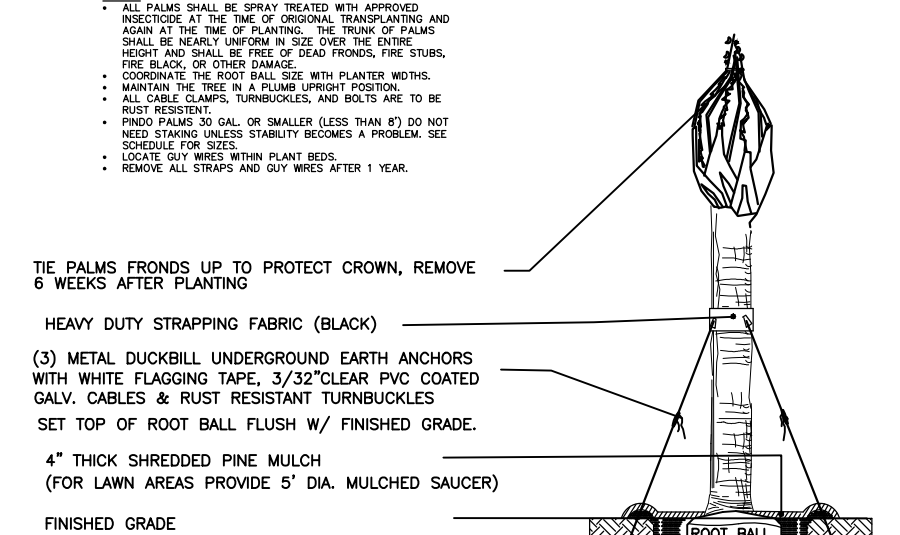
1 SHRUB PLANTING
SCALE: NOT TO SCALE



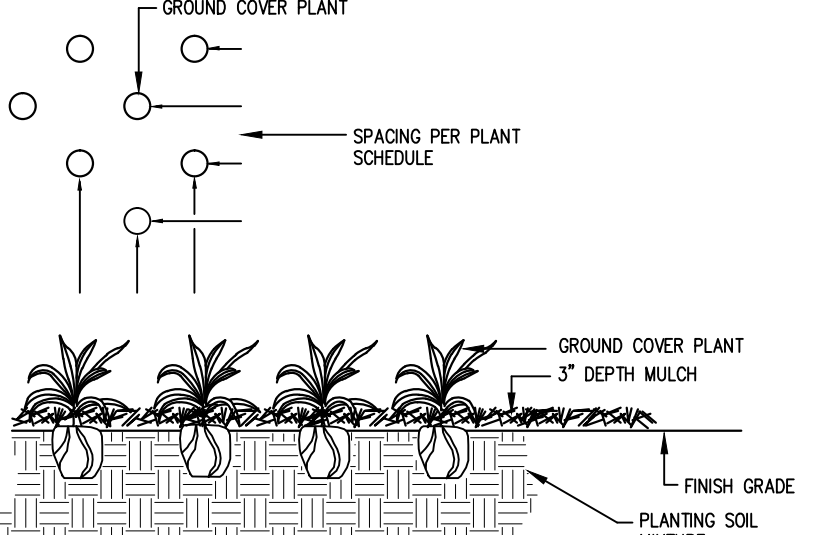
2 MULT-TRUNK TREE
SCALE: NOT TO SCALE



3 TREE STAKING DETAIL
SCALE: NOT TO SCALE



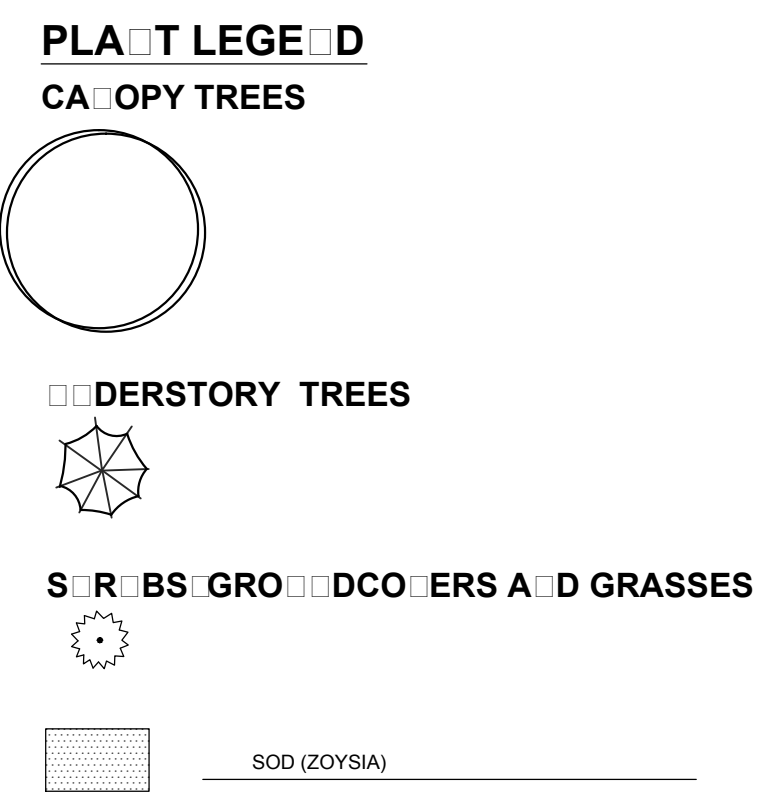
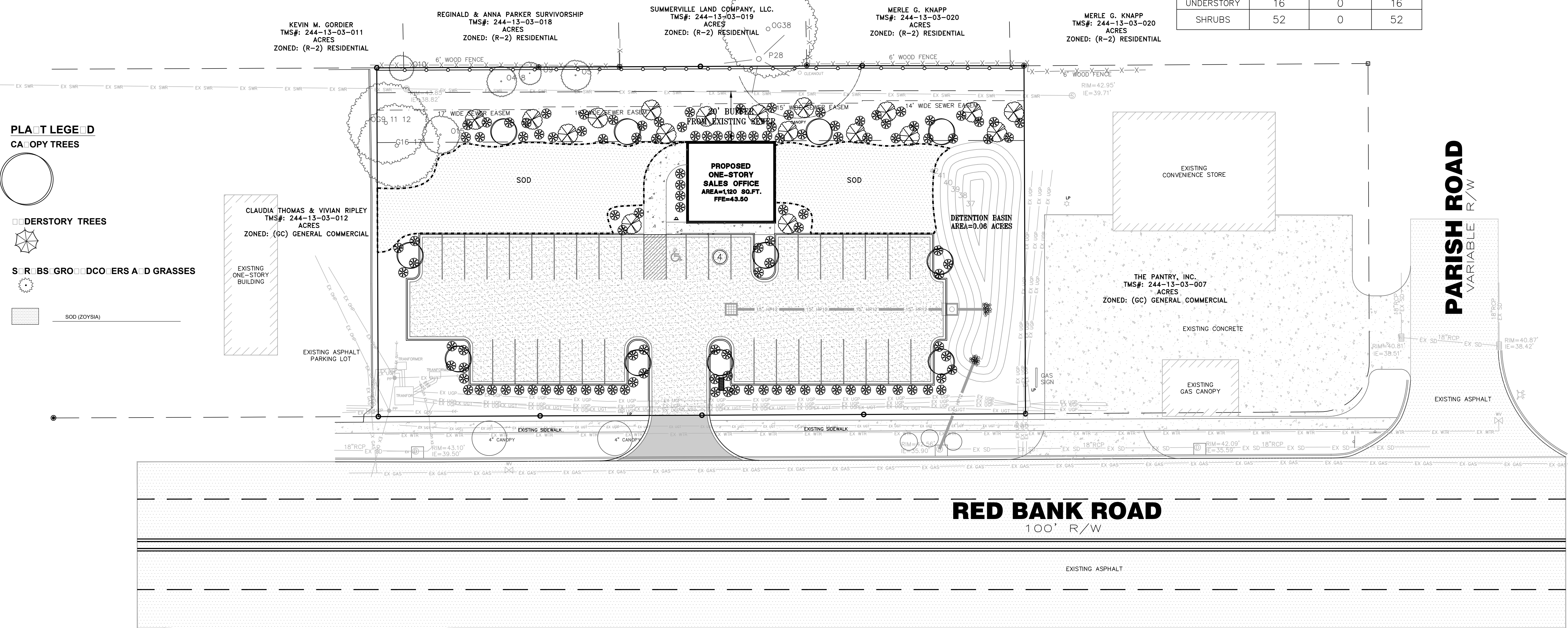
4 PALM TREE PLANTING DETAIL
SCALE: NOT TO SCALE



5 GROUND COVER DETAIL
SCALE: NOT TO SCALE

260 LF (20' BUFFER)

	REQUIRED:	EXISTING:	PROVIDED:
CANOPY	11	7	4
UNDERSTORY	16	0	16
SHRUBS	52	0	52



EARTHSOURCE
ENGINEERING
LANDSCAPE DESIGN | LEED DESIGN
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STATE OF SOUTH CAROLINA
OFFICE OF PROFESSIONAL REGULATION

SOUTH CAROLINA
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ENGINEERING
No. 26148
LICENSED
JOHN N. BRANCH

E-Z AUTO
GOOSE CREEK
211 RED BANK ROAD
GOOSE CREEK, SC 29445

LANDSCAPE PLAN & SCHEDULE

REVISIONS

NO.	DATE	BY	REVISION
1	12.11.17	TJM	PER CITY OF CHARLESTON TRC REVIEW

DRAWN: TJM
CHECKED: GNB
DATE: 12.13.17
JOB NO. 17-167
PERMIT REVIEW SET
SHEET NUMBER L-100

