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2022-065NBLD

BRICKHOPE

CUBE SMART STORAGE

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## MEMORANDUM

**TO:** City of Goose Creek Architectural Review Board  
**FROM:** Alexis Kiser, Assistant to City Administrator  
**RE:** Brickhope Self Storage, Henry Brown Boulevard (TMS# 235-00-00-065)  
**DATE:** October 14, 2022

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Staff has reviewed the submittal to the Architectural Review Board (ARB) and offers the following commentary:

### General Conformance Analysis

1. The application is for the construction of a new self-storage facility on TMS# 235-00-00-065 totaling 8.64 acres with 5.6 acres disturbed area. The parcel is zoned Planned Development (PD) in a commercial area, and a storage facility is an approved use.
2. The site of this development has street frontage on Henry Brown Boulevard and backs Seaboard Coastline Railroad.
3. The proposed site plan appears to meet setbacks.
4. The proposed building layout does not meet section §151.131(5)(m) for mini-warehouses as the back building has bay doors that open from the outside, not a common entrance.

### Architectural Review Design Guidelines Analysis

#### Site design

Due to the geographical constraints of the subject parcel, the elevation of the building is set into two separate sections. The total square footage of the building is +/- 111,932. The proposed site design orients the building so that loading bays are not oriented to the public right of way and outdoor storage areas are screened by fencing with gate access. The additional retail/office space will have second office tenant entry, which the site accommodates with convenient parking for users. The ingress point from Henry Brown Boulevard will feature a detention pond that is visible from the right-of-way and will add to visual interest of this property.

#### Architectural theme

The proposed structure will be two (2) stories. The previous version that was presented to the Architectural Review Board was three (3) stories. The structure will create variation in the existing built environment by using a mix of materials and sight breaks. The use of metal canopy columns adds to the architectural theme of the proposed building structure.

#### Architectural interest

The proposed building will use a mix of building materials including brick veneer, metal fascia, metal canopies, and EIFS. The applicant has incorporated façade variations every +/- 50 feet by incorporating changes in materials, changes in colors, and changes in rooflines and height along building sections that are visible to the public right-of-way. Sections of the building that show less architectural interest to assist with functionality are shielded by fencing and landscaping. The colors and materials selected for this project are used throughout and promote visual unity. The use of windows on the storefront facing the right-of-way provides additional visual interest by extending the sight line.



### Building design

The scale and proportion of the proposed building conforms with other buildings in the area. The previous version of this development proposed three stories, the current version is two stories, which better reflects the scale of the current built environment. The building design shows a defined body and cap and uses windows and canopies to define the base of the building. The loading area, situated behind a fence with gate access, uses similar architectural features used on the storefront, however, the brick veneer is only used in the building area facing the right-of-way and not on side elevations that may be visible from the right-of-way. The rear elevation faces the railroad tracks. The applicant has chosen to use stucco, in lieu of metal siding; stucco is preferred over metal siding which is a typical material for developments with this use. All rooftop mounted mechanical equipment is appropriately screened from public view.

### Site Elements

The fence being proposed on this development is not set along the public right-of-way and is set back from the storefront area. The loading area is screened from the public right-of-way by the gate accessible fence area. The refuse collection area is enclosed on all four sides with materials that are architecturally compatible with building materials; it is also located behind the fenced area. The loading area which is screen by the fence, does not impeded vehicular and pedestrian circulation.

### **Staff Recommendation**

Staff asks the Architectural Review Board to instruct the applicant to work with staff to improve the side elevation facing the transmission line so that it mirrors the front elevation in its use of variation materials and architectural interest. Due to the transmission line that runs along this elevation and the vacant lot beyond that, there is potential that this will be a common sight line. Staff also requires that the external rolled doors on the back section of the building be removed to meet the use described §151.131(5)(m) of the zoning ordinance.

Additionally, §151.082(K)(c) states, “the site shall incorporate interesting architectural features such as a water fountain, flagpole, or decorative wrought iron fencing to the front of the site at the entryway...”. Staff asks that the ARB discuss using one of these elements at the entryway.



Figure 1: View of parcel from Henry Brown Boulevard.



**ARB SCOPE OF WORK FORM/****APPLICATION / INFORMATION SUMMARY****DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118**

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

<b>Property Address:</b> Henry E Brown Jr. Blvd.		<b>TMS No.:</b> 235-00-00-065
<b>Review request:</b>	<b>For:</b>	<b>Preliminary meeting date requested:</b> 06/22/2022
<input type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	

<b>Property Owner:</b> Island Estate Group LLC	<b>Daytime phone:</b> 631-767-0350
<b>Applicant:</b> Losse Knight	<b>Daytime phone:</b> 843-330-8940
<b>ARB Meeting Representative:</b> Losse Knight	<b>Contact Information :</b> 843-330-8940
<b>Applicant's mailing address:</b> 886 Johnnie Dodds Blvd, Suite 200	
<b>City:</b> Mount Pleasant	<b>State:</b> SC <b>Zip:</b> 29464
<b>Applicant's e-mail address:</b> losse@lfkarchitect.com	
<b>Applicant's relationship:</b> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

<b>Materials/Colors Used:</b> <i>(specific color(s)/manufacture #'s listed: samples must be presented to Board <input checked="" type="checkbox"/> attached)</i> <i>(Example: Building Materials, Exterior Colors, Landscaping, Lighting)</i>
SEE EXTERIOR MATERIALS PALETTE AND ATTACHED CUTSHEETS
<b>Scope of Work:</b> <i>(please give a detailed description)</i>
NEW CONSTRUCTION OF A (2) STORY (137,918 SF) SELF-STORAGE FACILITY, WITH AN OFFICE TENANT SPACE (2,487 SF). EXISTING SITE IS UNDEVELOPED. PROPOSED BUILDING TYPE II B SPRINKLERED METAL FRAMED. 17 TOTAL PUBLIC PARKING SPACES PROVIDED, 1 ADA SPACE. RV & BOAT STORAGE PARKING IS PROVIDED AT REAR OF PROPERTY BEHIND GATE AND ENCLOSED WITH AN 8' TALL OPAQUE FENCE. NO PROTECTED TREES ON SITE. DUMPSTER ENCLOSURE PROVIDED ON SITE.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature:  Date: 09/20/2022

Print name legibly: Losse Knight



**LOCATOR MAP**  
NOT TO SCALE (LOCATION MAP PER GOOGLE MAPS)



# BRICKHOPE SELF STORAGE

HENRY BROWN BOULEVARD  
GOOSE CREEK, SC  
TMS#: 235-00-00-065

ARCHTECTURAL REVIEW BOARD  
09.20.2022



Land Planning • Feasibility Studies  
Conceptual • Masterplan Design  
www.lfkarch.com  
LFK ARCHITECTS, LLC  
401 JOHNIE DODDS BLVD  
SUITE 200  
MOUNT PLEASANT, SC 29464  
LOSSE F. KNIGHT III, AIA  
losse@lfkarchitect.com  
phone: 843.330.8940

JOB NUMBER: 21-153
DESIGNER: JFB
CHECKED: LFK

REVISION NOTES:

NO.	DATE	DESCRIPTION

**BRICKHOPE SELF STORAGE**  
 HENRY BROWN BOULEVARD  
 GOOSE CREEK, SC  
 COVER SHEET & INDEX

SHEET NUMBER & TITLE

**G001**

FINAL ARB  
09.20.2022

**PROJECT TEAM:**

**ARCHITECT:**  
(PRIMARY CONTACT)  
LFK ARCHITECTS, LLC  
886 JOHNNIE DODDS BLVD  
SUITE 200  
MOUNT PLEASANT, SC 29464  
LOSSE F. KNIGHT III, AIA  
losse@lfkarchitect.com  
843-330-8940

**CIVIL:**  
McCORMICK & ASSOCIATES  
MICHAEL McCORMICK P.E.  
CIVIL ENGINEER  
843.971.3646  
JODY FURMAN  
LANDSCAPE ARCHITECT  
FURMAN LAND DESIGN, LLC  
843.343.1320



PERSPECTIVE FROM HENRY BROWN BLVD

**PROJECT DATA:**

PROJECT NAME: BRICKHOPE SELF STORAGE  
ADDRESS: HENRY BROWN BLVD,  
GOOSE CREEK, SC  
COUNTY: BERKELEY  
CITY: GOOSE CREEK  
TMS: #235-00-00-065

**GENERAL NOTES:**

- DRAWINGS ARE NOT INTENDED TO BE SCALED.
- EXISTING CONDITIONS TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- THE ARCHITECT IS TO BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWING SPECIFICATIONS.
- ALL STRUCTURAL DRAWINGS AND SPECIFICATIONS INCLUDED IN THIS DRAWING SET ARE SPECIFIC TO THIS PARTICULAR SITE LOCATION/BUILDING ONLY AND ARE PROPERTY OF LFK ARCHITECTS, LLC. ANY UNAUTHORIZED USE OR REPRODUCTION OF THIS INFORMATION IS SUBJECT TO LEGAL PROSECUTION.

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**DRAWING INDEX:**

G001 COVER SHEET, INDEX, AND PROJECT NOTES

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- C2 EXISTING CONDITIONS AND DEMO PLAN
- C3 SITE PLAN
- C4 GRADING AND STORM DRAINAGE PLAN
- C5 SWPPP
- C6 WATER & SANITARY SEWER PLAN
- C7 TRUCK ROUTING PLAN
- C8 SITE DETAILS
- C9 SWPPP AND STORM DRAINAGE DETAILS
- C10 SWPPP NOTES AND DETAILS
- C11 SWPPP DETAILS
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- C13 SWPPP DETAILS
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- A003 ENLARGED ARCHITECTURAL SITE PLAN - PART 2
- A100 FIRST FLOOR PLAN
- A101 ENLARGED FIRST FLOOR PLAN - PART 1
- A102 ENLARGED FIRST FLOOR PLAN - PART 2
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- A104 ENLARGED SECOND FLOOR PLAN - PART 1
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- A301 WALL SECTIONS
- A302 WALL SECTIONS
- A303 DUMPSTER ENCLOSURE

**ATTACHMENTS**

JACKSON WILLIAMS CANOPY  
LIGHT FIXTURES  
PHOTOMETRIC DESIGN BY EPIC ENGINEERING  
SEMINOLE MASONRY FENCE

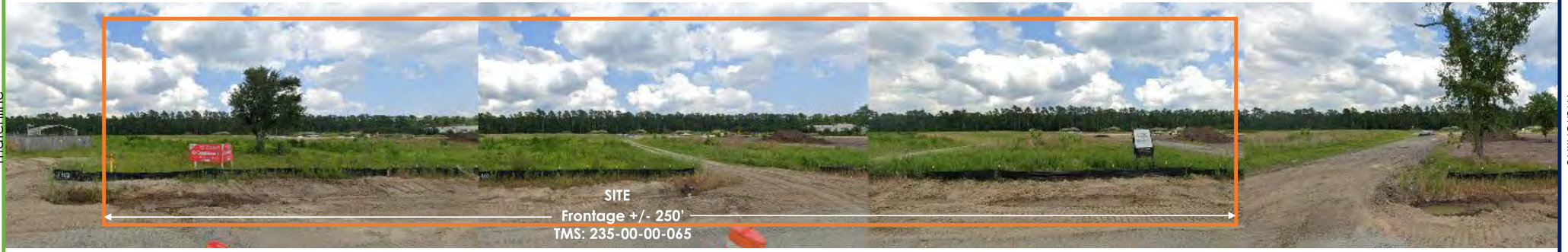


Context Aerial





matchline



matchline

matchline



matchline



Streetscapes East Side Henry E Brown Blvd







matchline



matchline

matchline



matchline

Hawthorne  
Landing



Streetscapes West Side Henry E Brown Blvd



**NOTES**

1. PROPERTY IS LOCATED IN FLOOD ZONE "X" ACCORDING TO F.E.M.A. F.I.P.M. PANEL 45015C 0585 E & 0615 E DATED DECEMBER 7, 2018.
2. PROPERTY IS ZONED GOOSE CREEK PD.
3. THE PUBLIC RECORDS REFERENCED ON THIS PLAN ARE ONLY THOSE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY, AND DO NOT CONSTITUTE A TITLE SEARCH.
4. HORIZONTAL DATUM IS BASED ON NAD 1983.
5. VERTICAL ELEVATIONS ARE BASED ON 1988 MVD DATUM.
6. T.M.S. # 235-00-00-085 CONTAINS 8.64 ACRES, OR 376,480.97 SQ. FT. THE AREA WAS DETERMINED BY THE COORDINATE METHOD.
7. THE OWNER OF THIS PROPERTY IS HENRY BROWN SELF STORAGE LLC.
8. ANYTHING SHOWN OUTSIDE THE DEFINED PROJECT AREA OF THE SURVEYED PROPERTY IS FOR DESCRIPTIVE PURPOSES ONLY.
9. WATER PROVIDED BY TOWN OF GOOSE CREEK.
10. SEWER SERVICES PROVIDED BY BERKELEY COUNTY WATER & SEWER.

LIBERTY VILLAGE, LLC  
TMS NO. 235-00-00-066  
TRACT E2-B4

**PARCEL A1**  
376,480.97 SQ. FT. (TOTAL)  
8.64 ACRES (TOTAL)

LIBERTY VILLAGE, LLC  
TMS NO. 235-00-00-083  
PARCEL A2

HAROLD NIELSON, PE & PLS  
CIVIL ENGINEERS - LAND SURVEYORS  
2724 MAGNOLIA WOODS DRIVE, MT. PLEASANT, SC 29464  
PHONE: 843-276-1978 EMAIL: hnielson@hnielson.com  
WEB ADDRESS: www.floodelevationsurveyors.com

**LEGEND**

- SSWH-SANITARY SEWER MH
- UNDERGROUND GAS LINE
- BELLSOUTH US COMMUNICATIONS
- BELLSOUTH PHONE PEDESTAL
- P/P (POWER POLE) - DOMINION
- LP-LIGHT POLE
- QUY WIRE
- WW-WATER METER
- WW-WATER VALVE
- FH (FIRE HYDRANT)
- OH/P OVERHEAD POWER
- 3/4" REBARS
- FIBER OPTIC (FO) BOX
- J.B.-JUNCTION BOX
- SMH SEWER MAN-HOLE
- RCP REINFORCED CONCRETE PIPE
- I.E. INVERT ELEVATION

**PLAT REFERENCES**

1. PLAT BOOK N PAGE 344H..
2. PLAT BOOK S PAGE 063I.

C.I. OF C.I.I

**BOUNDARY, TOPOGRAPHIC  
& TREE SURVEY OF  
PARCEL A1, T.M.S. # 235-00-00-065  
HENRY E. BROWN, JR. BLVD.  
CONTAINING 8.64 ACRES**

LOCATED IN THE TOWN OF GOOSE CREEK  
BERKELEY COUNTY, SOUTH CAROLINA

SCALE: 1" = 50'

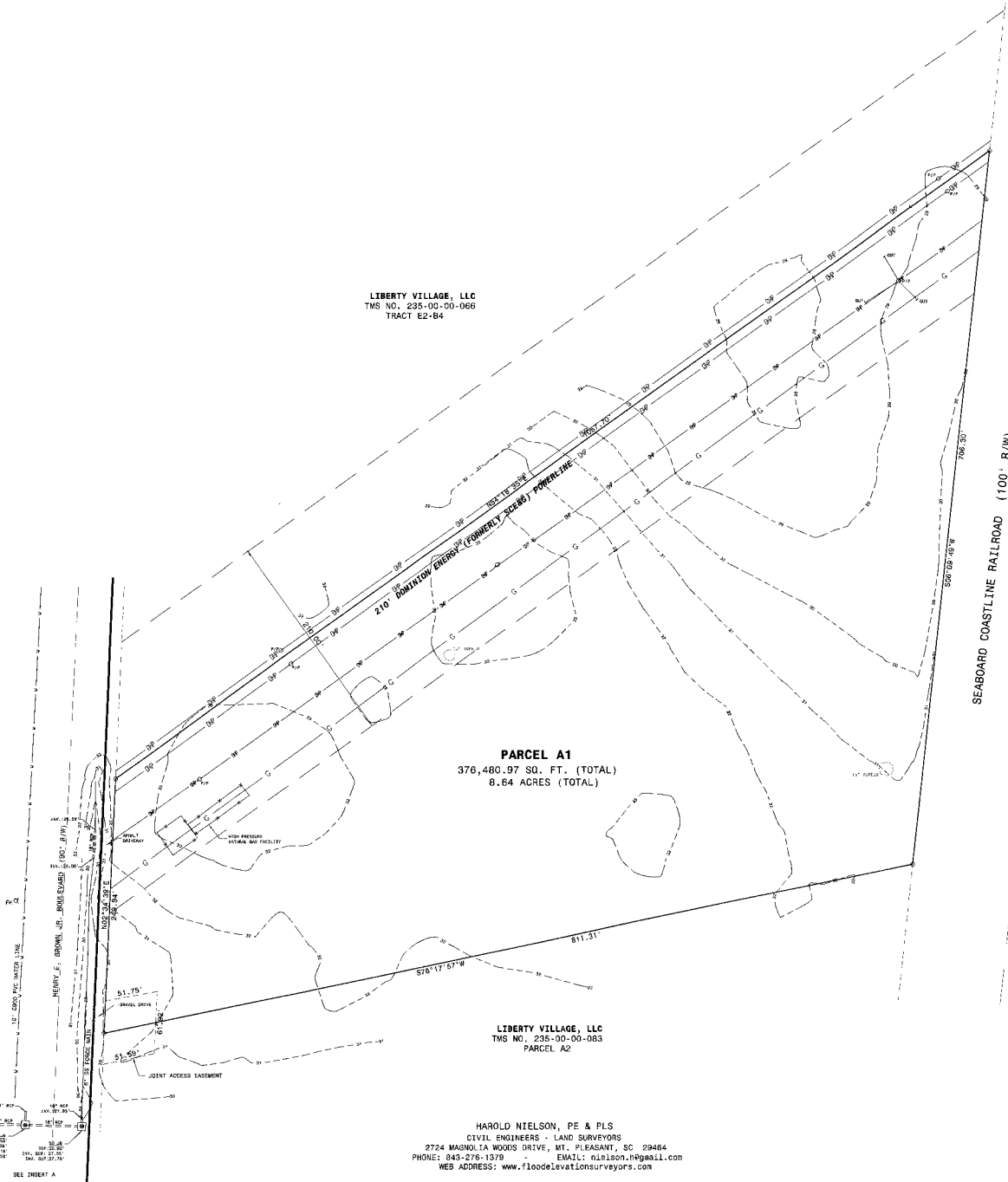
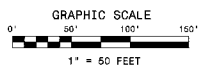
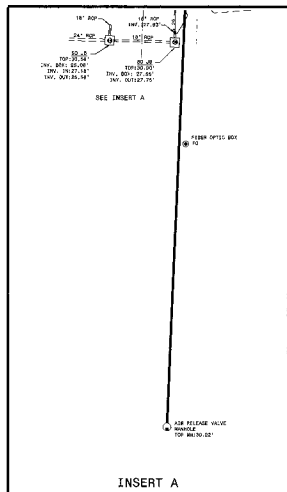
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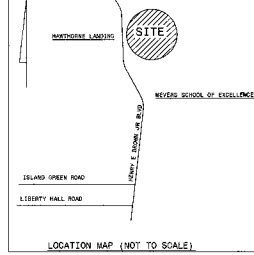
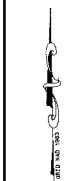
I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED HEREIN.

*Harold Nielson*  
HAROLD NIELSON, PE & PLS S.C. NO. 7023



C.I



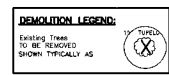


LIBERTY VILLAGE, LLC  
TMS. NO. 235-00-00-066  
TRACT E2-B4

SITE - VACANT

LIBERTY VILLAGE, LLC  
TMS. NO. 235-00-00-063  
PARCEL A2

SEE SWPPP PLAN FOR LOCATIONS OF ALL TREE PROTECTION MEASURES AND SILT FENCING LOCATIONS. ALL MEASURES MUST BE INSTALLED, INSPECTED AND APPROVED BY CITY STAFF PRIOR TO CONSTRUCTION. SEE SWPPP FOR ALL LOCATIONS, DETAILS, ETC.



- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL VERIFY ALL ITEMS TO BE DEMOLISHED AND REMOVED FROM THE PROJECT SITE. THE VERIFICATION PROCESS SHALL INCLUDE MEASUREMENTS TO ENSURE THE SITE. ALL ITEMS REQUIRING DEMOLITION/REMOVAL, WHETHER SHOWN ON THIS PLAN OR NOT, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  2. THE ENTIRE PROJECT SITE SHALL BE CLEANED AND GRUBBED BY THE CONTRACTOR AS REQUIRED TO COMPLETE THE CONSTRUCTION AS SHOWN ON THE ACCOMPANYING PLANS. HOWEVER, EXISTING TREES TO BE SAVED SHALL BE PROTECTED BY THE CONTRACTOR AND SHALL NOT BE REMOVED UNLESS INSTRUCTED BY THE PLANS.
  3. THERE SHALL BE NO BURNING ON SITE UNLESS THE CITY OF GOOSE CREEK APPROVES AND PERMITS BURNING. IF IT IS NECESSARY, THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS IF NECESSARY.
  4. ALL EXISTING STRUCTURES AND RELATED FOOTINGS, FOUNDATIONS, STEPS, ETC. ARE TO BE DEMOLISHED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF ACCORDING TO APPLICABLE REGULATIONS.
  5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REMOVAL AND/OR RELOCATION OF ALL UTILITIES (ABOVE AND BELOW GROUND LEVEL) AS NECESSARY TO FACILITATE CONSTRUCTION.
  6. EXISTING SEPTIC TANKS/SEPTIC TRENCHES, UNDERGROUND TANKS, IF ENCOUNTERED ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF ACCORDING TO APPLICABLE CODES. THE LOCATION OF THE TANKS SHALL BE RECORDED AND THE GEOTECHNICAL ENGINEER SHALL BE NOTIFIED AT ONCE.
  7. WELLS, IF ENCOUNTERED, SHALL BE ACCURATELY LOCATED BY THE CONTRACTOR AND THE SURROUNDING AREA SHALL BE BARRICADED AND SIGNS SHALL BE MAINTAINED IN THE AREA SUCH THAT SURFACE RUNOFF CANNOT ENTER THE WELL OPENING. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER AT ONCE.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORS.
  9. THE CONTRACTOR SHALL CONSULT THE OWNER REGARDING SAVINGS AND ITEMS NOT RETAINED BY THE OWNER SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DEMOLISH AND/OR LEGALLY DISPOSE OF.
  10. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
  11. IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE AGENCIES FOR PROPER REMOVAL AND DISPOSAL.
  12. DEMOLITION SHALL MEET ALL APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPLICABLE PERMITS.

- SURVEY LEGEND**
- ① 300M-SANITARY SEWER W/ UNDERGROUND GAS LINE
  - ⊠ BELLWORTH IRIS COMMUNICATIONS
  - ⊠ BELLWORTH PHONE FIBER/AL
  - ⊠ PIP (POWER POLE) - DOMINION
  - ⊠ LP-150FT POLE
  - ⊠ 50FT FIRE
  - ⊠ W-WATER METER
  - ⊠ W-WATER VALVE
  - ⊠ PH (PUMP HYDRAUNT)
  - ⊠ OVERHEAD TOWER
  - ⊠ 3/4" REBAR
  - ⊠ 1/2" OPTIC (PO) BOX
  - ⊠ J-B- JUNCTION BOX
  - ⊠ 600 SIDER MANHOLE
  - ⊠ REINFORCED CONCRETE PIP
  - ⊠ 1.5" INVERT ELEVATION

- SURVEY NOTES**
1. PROPERTY IS LOCATED IN FLOOD ZONE "X" ACCORDING TO F.E.W.A. F.I.R.M. PANEL 450150 0595 E & D516 E DATED DECEMBER 7, 2016.
  2. PROPERTY IS ZONED GOOSE CREEK PD.
  3. THE PUBLIC RECORDS REFERENCED ON THIS PLAN ARE ONLY THOSE ISSUED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY, AND DO NOT CONSTITUTE A TITLE SEARCH.
  4. HORIZONTAL DATUM IS BASED ON NAD 1983.
  5. VERTICAL ELEVATIONS ARE BASED ON 1988 NAVD DATUM.
  6. T.M.S. # 235-00-00-066 CONTAINS 6.64 ACRES, OR 376,480.97 SQ. FT. THE AREA WAS DETERMINED BY THE COORDINATE METHOD.
  7. THE OWNER OF THIS PROPERTY IS HENRY BROWN SELF STORAGE LLC.
  8. ANYTHING SHOWN OUTSIDE THE DEFINED PROJECT AREA OF THE SURVEYED PROPERTY IS FOR DESCRIPTIVE PURPOSES ONLY.
  9. WATER PROVIDED BY TOWN OF GOOSE CREEK.
  10. REFER SERVICES PROVIDED BY BERKELEY COUNTY WATER & SEWER.

- PLAT REFERENCES**
1. PLAT BOOK # PAGE 3441..
  2. PLAT BOOK # PAGE 3433..

- NOTES:**
1. THE TOTAL AREA OF SITE IS 8.85 ACRES AND IS ZONED DC.
  2. SITE IS IDENTIFIED AS PARCEL A1 AND IS IDENTIFIED AS TMS 235-00-00-066.
  3. BOUNDARY AND TOPOGRAPIHICAL SURVEYS BY NELSON AND ASSOCIATES, INC.
  4. THE PROPOSED DEVELOPMENT IS A SELF STORAGE FACILITY.
  5. THE SITE IS PRESENTLY VACANT.
  6. ALL DIMENSIONS ARE TO THE FACE OF ASPHALT UNLESS OTHERWISE NOTED.
  7. REFER TO PLANNING SUBMITTALS FOR FINAL SITES AND COAST.
  8. THE SITE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

**DEMOLITION PLAN**

PREPARED FOR

**BRICKHOPE SELF STORAGE**

CITY OF GOOSE CREEK, SOUTH CAROLINA

Date: September 12, 2022 Scale: 1" = 50'

McCORMICK and ASSOCIATES OF S.C., INC. CIVIL ENGINEERS

1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464 (843) 971-3646 Office (843) 891-7532 Fax mccormickassoc@bellsouth.net

Project No: 571 Drawing No. CL of CIV



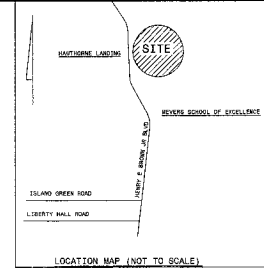
FINAL DRB PROFESSIONAL ENGINEER NO. 19496

CALL 3 WORKING DAYS BEFORE YOU DIG, DRILL, BLAST OR BORE!!! PALMETTO UTILITY PROTECTION SERVICE SOUTH CAROLINA PUPS



From what's Below. Call before you dig.

EXISTING UTILITIES NOTE: THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE KEY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.



LIBERTY VILLAGE, LLC  
TMS NO. 235-00-00-066  
TRACT E2-B4

LIBERTY VILLAGE, LLC  
TMS NO. 235-00-00-083  
PARCEL A2

**PARKING BREAKDOWNS:**  
3680 SQFT OFFICE @ 150'/300SQFT = 12 REQUIRED  
PARKING PROVIDED = 18 SHOWN  
PARKING AT VARIABLE WIDTHS = 61  
(FOR MULTISIZE SPACES)

**PUD DEVELOPMENT REQUIREMENTS**  
LOT COVERAGE = 22% PROVIDED  
TOTAL AREA OF SITE = 376,480 SQFT  
MAX 40% PER PUD = 150,592 SQFT MAX ALLOWED  
FIRST FLOOR BUILDING = 80,884 SQFT  
FRONT SETBACK = 20'  
SIDE SETBACK = 15' OFF POWER EASEMENT  
MAX HEIGHT = 40'  
14% INTERIOR LANDSCAPE REQUIREMENT:  
INTERIOR PARKING AREA = 71,559 SQFT X 0.14 =  
10,018 SQFT REQUIRED  
13,977 SQFT PROVIDED (EXCEEDS 10,018 SQFT)

**PAVING MATERIALS LEGEND:**

STANDARD DUTY ASPHALT CONCRETE SHOWN TYPICALLY AS SEE DETAIL SHEET FOR CROSS SECTION	NOT HATCHED
HEAVY DUTY ASPHALT CONCRETE SHOWN TYPICALLY AS SEE DETAIL SHEET FOR CROSS SECTION	NOT HATCHED
PORTLAND CEMENT CONCRETE SHOWN TYPICALLY AS SEE BUILDING PLANS FOR CROSS SECTION	NOT HATCHED

- NOTES REGARDING PARKING LOT STRIPING:**
- 1) ALL PARKING LOT STRIPING SHALL BE PERFORMED BY THE CONTRACTOR USING WHITE TRAFFIC MARKING PAINT UNLESS NOTED OTHERWISE BELOW. PAINT SHALL BE SHIPPED "WILKINS" TWO-WAY TRAFFIC MARKING PAINT OR GLENN WHITE PAINT AND SHALL BE APPLIED IN TWO COATS AND IS STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
  - 2) ITEMS TO BE PAINTED WHITE INCLUDE: PARKING STALLS, DIRECTIONAL ARROWS OF SIDE AND PROTECTIVE CHAINS POSTS BEYOND (5) FEET OF THE BUILDING.
  - 3) ITEMS REQUIRING YELLOW PAINT INCLUDE: BASED BANDERS AND/OR MEDIANS; ALL STOPPING PROTECTIVE CHAINS POSTS BEYOND (5) FEET OF THE BUILDING; STEEL PIPE BASE OF HANDICAP PARKING SIGNS; HANDICAP RAMPS.
  - 4) ITEMS REQUIRING BLUE PAINT INCLUDE: HANDICAP PARKING STALLS AND SYMBOLS; ALL STRIPPED ISLANDS ADJACENT TO HANDICAP PARKING SPACES.
  - 5) SEE ARCHITECTURAL PLANS FOR ADDITIONAL STRIPING REQUIREMENTS.
- NOTES REGARDING PARKING LOT SIGNAGE:**
- 1) THE CONTRACTOR SHALL FURNISH AND INSTALL "HANDICAPPED PARKING" SIGNS WITH IDENTIFYING HANDICAPPED SYMBOLS. ALL HANDICAPPED PARKING SPACES SIGNS SHALL BE 17"x18" 0.80 ALUMINUM WITH BASED ENAMEL FINISH. SIGNS SHALL HAVE WHITE LETTERING ON BLUE BACKGROUND, WITH INSTALLATION AS SHOWN ON THE DETAIL SHEET. SIGNS SHALL CONFORM TO FEDERAL HIGHWAY ADMINISTRATION AND/OR SOUTH SPECIFICATIONS. INCLUDE "VAN ACCESSIBLE" SIGNAGE WHERE APPLICABLE.

ALL PARKING LOT DIMENSIONS ARE TO THE FACE (PARKING LOT SIDE) OF CURB, EDGE OF DRIVEWAY, OR EDGE OF ASPHALT UNLESS OTHERWISE NOTED. THE BLDG FOOTPRINT HAS BEEN PROVIDED BY THE ARCHITECT AND ALL BUILDING DIMENSIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL STAKING REQUIRED TO FACILITATE CONSTRUCTION.

- SURVEY LEGEND**
- ① SANITARY SEWER 14"
  - ② UNDERGROUND GAS LINE
  - BELLSOUTH W/ COMMUNICATIONS
  - BELLSOUTH PHONE FIBER OPTIC
  - P/P (POWER POLE) - DOMINION
  - LP-LIGHT POLE
  - 20" WIRE
  - M/WATER METER
  - 4" W/WATER VALVE
  - FH (FIRE HYDRANT)
  - OVERHEAD POWER
  - 3/4" REBAR
  - FIBER OPTIC (FO) BOX
  - J-B - JUNCTION BOX
  - SW - SEWER MANHOLE
  - RCP - REINFORCED CONCRETE PIPE
  - I.E. - INVERT ELEVATION

- PLAT REFERENCES**
1. PLAT BOOK "N" PAGE 3441..
  2. PLAT BOOK "S" PAGE 3831..
- NOTES:**
1. THE TOTAL AREA OF SITE IS 868 ACRES AND IS ZONED DC.
  2. SITE IS IDENTIFIED AS PARCEL A2 AND IS IDENTIFIED AS TMS 235-00-00-066.
  3. BOUNDARY AND TOPOGRAPHICAL SURVEYS BY NELSON AND ASSOCIATES, INC.
  4. THE PROPOSED DEVELOPMENT IS A SELF STORAGE FACILITY.
  5. THE SITE IS PRECISELY LOCATED.
  6. ALL DIMENSIONS ARE TO THE FACE OF ASPHALT UNLESS OTHERWISE NOTED.
  7. REFER TO PARKING SUMMARY FOR STALL SIZES AND COUNT.
  8. THE SITE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  9. WATER PROVIDED BY TOWN OF BOOSE CREEK.
  10. SEWER SERVICES PROVIDED BY BERKELEY COUNTY WATER & SEWER.

**SITE PLAN**

PREPARED FOR  
**BRICKHOPE SELF STORAGE**  
CITY OF GOOSE CREEK, SOUTH CAROLINA

DATE: September 12, 2022 Scale: 1" = 50'

**McCORMICK and ASSOCIATES OF S.C., INC.**  
CIVIL ENGINEERS

1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464  
(843) 971-3646 Office (843) 881-7532 Fax mccormickassocia@bellsouth.net

Project No: 571 Drawing No. C3 of 414

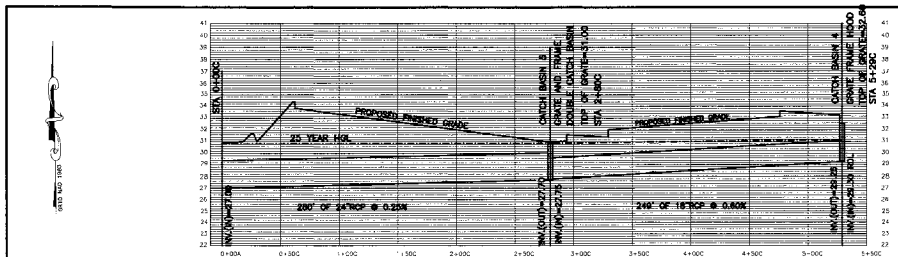


**FINAL DRB**  
PROFESSIONAL ENGINEER  
NO. 19486

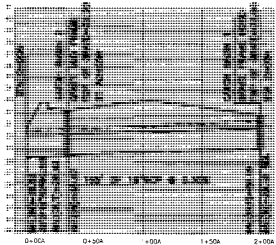
**CALL 3 WORKING DAYS BEFORE YOU DIG, DRILL, BLAST OR BORE!**  
PALMETTO UTILITY PROTECTION SERVICE  
SOUTH CAROLINA PUPS



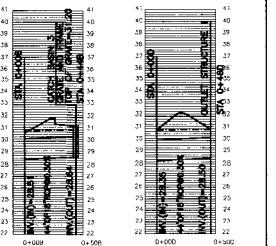
**WARNING: UNUSUAL!**  
THE LOCATION OF EXISTING UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXPLICITLY LOCATE AND RECORD ANY AND ALL UNDERGROUND UTILITIES.



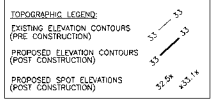
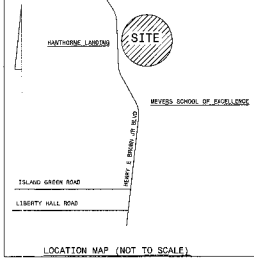
**STORM DRAINAGE LINE C**  
HORIZONTAL SCALE 1" = 50' VERTICAL 1" = 5'



**STORM DRAINAGE LINE A**  
HORIZONTAL SCALE 1" = 50' VERTICAL 1" = 5'



**STORM DRAINAGE LINE B STORM DRAINAGE LINE C**  
HORIZONTAL SCALE 1" = 50' VERTICAL 1" = 5'



THE CONTRACTOR IS REMINDED THAT IN ADDITION TO THE GRADING SCOPE OF WORK SHOWN ON THIS PLAN, ALL RECOMMENDATIONS CONTAINED IN THE SUBSURFACE EXPLORATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (OBTAIN FROM OWNER) CONTRACTOR SHALL TAKE NECESSARY MEASURES TO DRY THE SITE, SURCHARGE, ETC., AS INDICATED IN THE REPORT. REPORT BY CONSULTING DESIGN AND TESTING (MCC ALLEN, INC.)

ALL SPOT ELEVATIONS SHOWN ARE TO THE BOTTOM FACE OF ASPHALT UNLESS OTHERWISE NOTED!

CONTRACTOR SHALL CONSTRUCT HANDICAP STAIRS, AISLES, ACCESSIBLE ROUTE TO THE BUILDING, RAMPS, ETC. MEETING ALL GOVERNING ADA REQUIREMENTS AND REGULATIONS. IF SIDEWALKS, RAMPS, ACCESSIBLE ROUTES ARE CONSTRUCTED AND ARE NOT ADA COMPLIANT THE CONTRACTOR SHALL REMOVE/REPLACE AT HIS EXPENSE. PLACE HANDICAPS AS REQUIRED.

ROOF DRAINAGE LINES SHOWN AS \*\*\*\*\* ALL ROOF DRAINAGE LINES SHALL BE AS PER THE DESIGN ON THIS PLAN (INVERTS, DIAMETERS, ROUTES, ETC.) SLOPES NOT LABELED WITH INVERTS SHALL BE AS SHOWN. KEEP ACCURATE RECORDS.

- DRAINAGE FACILITIES MAINTENANCE PLAN**
1. ALL STORMWATER MANAGEMENT OF THE DRAINAGE SYSTEM SHALL BE BY OWNER PERMANENT MAINTENANCE BY OWNER SHALL BE PERFORMED ONCE EVERY SIX (6) MONTHS OR AS NECESSARY TO INSURE THE DRAINAGE SYSTEM REMAINS AS DESIGNED TO PROVIDE NECESSARY FLOOD AND WATER QUALITY CONTROL.
  2. OWNER IS RESPONSIBLE FOR ACTIVE MAINTENANCE OF THE DRAINAGE SYSTEM AND MAINTENANCE OF THE DRAINAGE LINES MAINTENANCE PER THE COMMUNITY'S STANDARD.
  3. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER. OWNER SHALL MAINTAIN THE DRAINAGE SYSTEM AS SHOWN ON THIS PLAN. OWNER SHALL MAINTAIN THE DRAINAGE SYSTEM AS SHOWN ON THIS PLAN. OWNER SHALL MAINTAIN THE DRAINAGE SYSTEM AS SHOWN ON THIS PLAN.
  4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN AND OPERATE ALL DRAINAGE ENDS AND STRUCTURES, NOT LOCATED WITHIN THE SECONDARY DRAINAGE AREA OF THE PROJECT, AS A MEMBER TO ADHERE TO BERKELEY COUNTY'S MAINTENANCE REGULATIONS AND GUIDELINES DURING CONSTRUCTION.
  5. ALL FINISH GRADES OF THE DRAINAGE SYSTEM SHALL BE MAINTAINED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION. SETTLEMENT SHALL BE AT THE SELF FINISHING SHALL BE FINISHED PERIODICALLY AS NEEDED.
  6. ALL DRAIN SHALL BE CONSISTENTLY MONITORED.
  7. ALL TROUGH AND SLOPES SHALL BE SLOPED FROM INSIDE OF AND AROUND THE DRAINAGE SYSTEM EVERY 7 DAYS.
  8. THE DRAINAGE SYSTEM SHALL BE CLEANED, INSPECTED AND REPAIRED EVERY 7 DAYS.
  9. WATER SHALL BE REMOVED FROM THE SYSTEM EVERY 7 DAYS.

**SURVEY LEGEND**

- ① SANITARY SEWER HW
- ② UNDERGROUND GAS LINE
- ③ BELLBOOTH VS COMMUNICATIONS
- ④ BELLBOOTH FROM PRESTAL
- ⑤ P/W (POWER POLE) - DOWNLINE
- ⑥ LP-LIGHT POLE
- ⑦ GUT HOLE
- ⑧ 18" WATER METER
- ⑨ 18" WATER VALVE
- ⑩ FH (FIRE HYDRANT)
- ⑪ OVERHEAD POWER
- ⑫ 3/4" REBAR
- ⑬ FIBER OPTIC (FO) BOX
- ⑭ J.B. - JUNCTION BOX
- ⑮ SUMP
- ⑯ SUMP MANHOLE
- ⑰ 18" REINFORCED CONCRETE PIPE
- ⑱ I.C. SHOROT ELEVATION

**PLAT REFERENCES**

1. PLAT BOOK "N" PAGE 944.
2. PLAT BOOK "N" PAGE 945.

**SURVEY NOTES**

1. PROPERTY IS LOCATED IN FLOOD ZONE "X" ACCORDING TO F.E.M.A. F.I.R.M. PANEL 45010C 0995 E & 0615 DATED DECEMBER 7, 2018.
2. PROPERTY IS ZONED GOOSE CREEK PD.
3. THE PUBLIC RECORDS REFERENCED ON THIS PLAN ARE ONLY THOSE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY, AND DO NOT CONSTITUTE A TITLE SEARCH.
4. HORIZONTAL DATUM IS BASED ON NAD 83.
5. VERTICAL ELEVATIONS ARE BASED ON 1988 NAVD DATUM.
6. T.M.S. # 235-00-00-066 CONTAINS 6.64 ACRES, OR 376,480.97 SQ. FT. THE AREA WAS DETERMINED BY THE COORDINATE METHOD.
7. THE OWNER OF THIS PROPERTY IS HENRY BROWN SELF STORAGE LLC.
8. ANYTHING SHOWN OUTSIDE THE DEFINED PROJECT AREA OF THE SURVEYED PROPERTY IS FOR DESCRIPTIVE PURPOSES ONLY.
9. WATER PROVIDED BY TOWN OF GOOSE CREEK.
10. SEWER SERVICES PROVIDED BY BERKELEY COUNTY WATER & SEWER.

**GRADING, STORM DRAINAGE PLAN AND PROFILES**

PREPARED FOR  
**BRICKHOPE SELF STORAGE**

CITY OF GOOSE CREEK, SOUTH CAROLINA

DATE: September 12, 2022 Scale: 1" = 50'

**McCORMICK and ASSOCIATES OF S.C., INC.**  
SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEERS  
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29484  
(843) 971-3646 Office (843) 881-7532 Fax mccormickassocia@southcarolina.com

Project No: 571 Drawing No: C-4 of C-4

**FINAL DRB**  
PROFESSIONAL ENGINEER  
NO. 19486

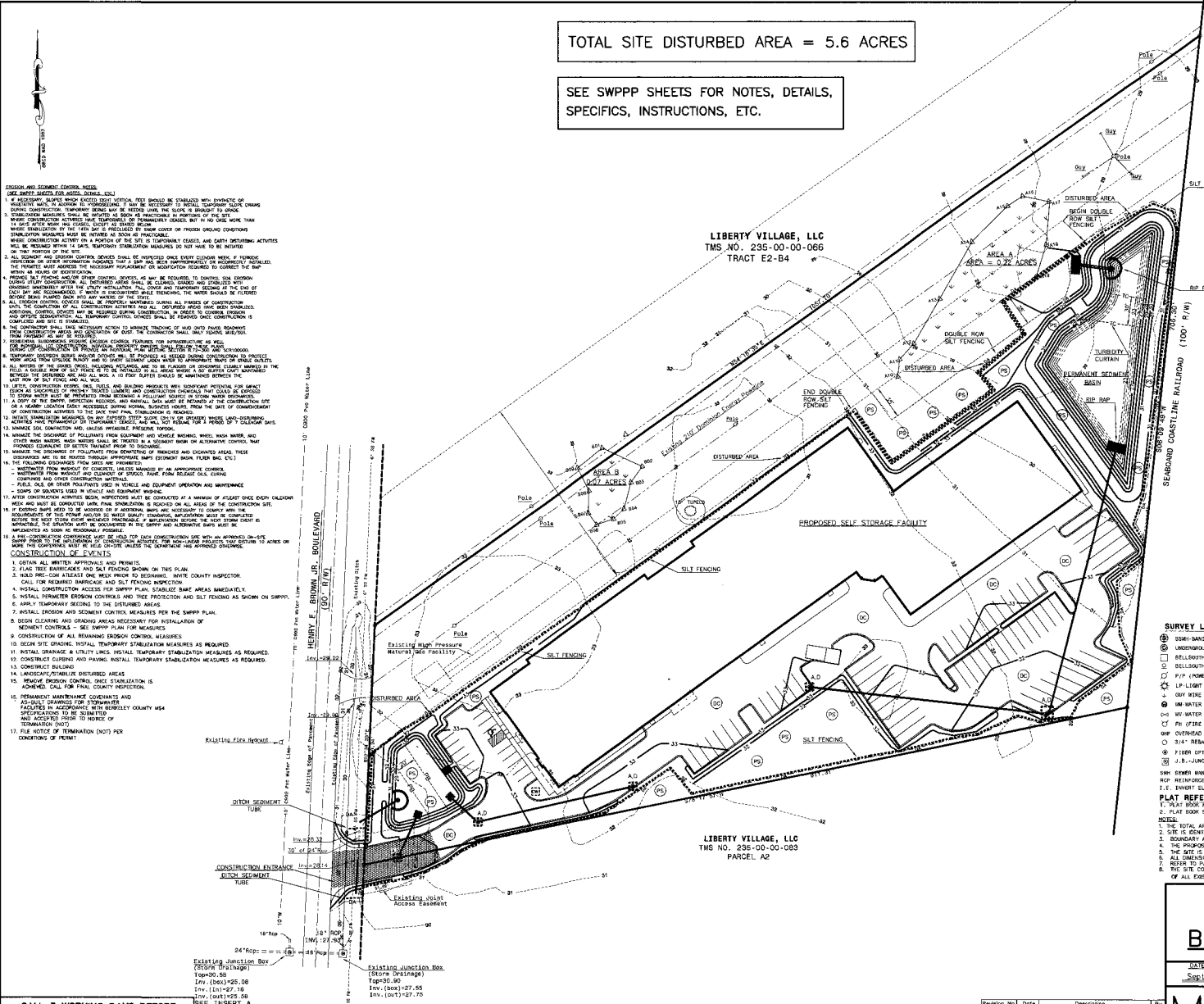
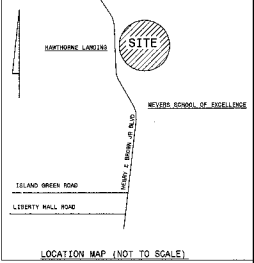
**CALL 3 WORKING DAYS BEFORE YOU DIG, DRILL, BLAST OR BOREHILL**  
PALMETTO UTILITY PROTECTION SERVICE  
SOUTH CAROLINA PUPS

Know where you dig. Call before you dig.

**EXISTING UTILITIES**  
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN RECORDED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES BEFORE THE COMMENCEMENT OF WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXERCISE DUE CARE AND PRECAUTION AND ANY AND ALL UNDERGROUND UTILITIES.

TOTAL SITE DISTURBED AREA = 5.6 ACRES

SEE SWPPP SHEETS FOR NOTES, DETAILS, SPECIFICS, INSTRUCTIONS, ETC.



- EROSION AND SEDIMENT CONTROL MEASURES**  
(SEE SWPPP SHEETS FOR NOTES, DETAILS, ETC.)
1. IF NECESSARY, SLOPES WHOSE EXISTING VEGETATION SHOULD BE STABILIZED WITH EROSION CONTROL MEASURES TO MAINTAIN TOPOGRAPHY. IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL MEASURES TO MAINTAIN TOPOGRAPHY. IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL MEASURES TO MAINTAIN TOPOGRAPHY. IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL MEASURES TO MAINTAIN TOPOGRAPHY.
  2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED ONCE EVERY CLEARING WORK IS BEING DONE ON THE PORTION OF THE SITE.
  3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL ADDRESS THE NECESSARY REPAIRS OR MODIFICATIONS TO CORRECT THE SUE WHEN AS NOTICED BY INSPECTION.
  4. PROPOSED SALT FENCING AND OTHER CONTROL MEASURES AS SHOWN ON THIS PLAN SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL ADDRESS THE NECESSARY REPAIRS OR MODIFICATIONS TO CORRECT THE SUE WHEN AS NOTICED BY INSPECTION.
  5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL ADDRESS THE NECESSARY REPAIRS OR MODIFICATIONS TO CORRECT THE SUE WHEN AS NOTICED BY INSPECTION.
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  13. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL ADDRESS THE NECESSARY REPAIRS OR MODIFICATIONS TO CORRECT THE SUE WHEN AS NOTICED BY INSPECTION.
  14. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL ADDRESS THE NECESSARY REPAIRS OR MODIFICATIONS TO CORRECT THE SUE WHEN AS NOTICED BY INSPECTION.
  15. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL ADDRESS THE NECESSARY REPAIRS OR MODIFICATIONS TO CORRECT THE SUE WHEN AS NOTICED BY INSPECTION.
  16. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL ADDRESS THE NECESSARY REPAIRS OR MODIFICATIONS TO CORRECT THE SUE WHEN AS NOTICED BY INSPECTION.
  17. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL ADDRESS THE NECESSARY REPAIRS OR MODIFICATIONS TO CORRECT THE SUE WHEN AS NOTICED BY INSPECTION.
  18. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL ADDRESS THE NECESSARY REPAIRS OR MODIFICATIONS TO CORRECT THE SUE WHEN AS NOTICED BY INSPECTION.
  19. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL ADDRESS THE NECESSARY REPAIRS OR MODIFICATIONS TO CORRECT THE SUE WHEN AS NOTICED BY INSPECTION.
  20. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL ADDRESS THE NECESSARY REPAIRS OR MODIFICATIONS TO CORRECT THE SUE WHEN AS NOTICED BY INSPECTION.

- CONSTRUCTION EVENTS**
1. OBTAIN ALL WRITTEN APPROVALS AND PERMITS.
  2. FLAG TREE BARRICADES AND SALT FENCING SHOWN ON THIS PLAN.
  3. MARK PERMITS AT LEAST ONE WEEK PRIOR TO BEGINNING MAJOR COUNTY INSPECTION.
  4. CALL FOR REQUIRED BARRICADE AND SALT FENCING INSPECTION.
  5. INSTALL CONSTRUCTION ACCESS FOR SWPPP PLAN, STABLED BARRIERS IMMEDIATELY.
  6. INSTALL PERMIT EROSION CONTROLS AND TREE PROTECTION AND SALT FENCING AS SHOWN ON SWPPP PLAN.
  7. INSTALL EROSION AND SEDIMENT CONTROL MEASURES PER THE SWPPP PLAN.
  8. BEGIN CLEARING AND GRADING AREAS NECESSARY FOR INSTALLATION OF BARRIERS CONTROLS - SEE SWPPP PLAN FOR MEASURES.
  9. CONSTRUCTION OF ALL REMAINING BARRIERS CONTROLS MEASURES.
  10. BEGIN SITE GRADING. INSTALL TEMPORARY STABILIZATION MEASURES AS REQUIRED.
  11. INSTALL DRAINAGE & UTILITY LINES. INSTALL TEMPORARY STABILIZATION MEASURES AS REQUIRED.
  12. CONSTRUCT CURB AND PAVING. INSTALL TEMPORARY STABILIZATION MEASURES AS REQUIRED.
  13. CONSTRUCT BUILDING.
  14. LANDSCAPE/STABILIZE DISTURBED AREAS.
  15. REMOVE BARRIERS CONTROLS. SUE STABILIZATION IS ACHIEVED. CALL FOR FINAL COUNTY INSPECTION.
  16. PERMANENT MAINTENANCE COVENANTS AND FACILITY DRAINAGE OR STORMWATER MANAGEMENT PLAN SHALL BE SUBMITTED TO AND APPROVED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  17. TERMINATION (NOT).
  18. FILE NOTICE OF TERMINATION (NOT) PER CONDITIONS OF PERMIT.

**CALL 3 WORKING DAYS BEFORE YOU DIG, DRILL, BLAST OR BOREHILL**  
PALMETTO UTILITY PROTECTION SERVICE  
SOUTH CAROLINA TURNS  
811  
CON WHITES BELOW  
CALL BEFORE YOU DIG

**EXISTING UTILITY LOCATIONS**

Utility	Depth (ft)	Material	Notes
Existing High Pressure Natural Gas Facility	30"	Steel	See Note 1
Existing 10" Water Main	30"	Ductile Iron	See Note 2
Existing 6" Sewer Main	30"	Cast Iron	See Note 3
Existing 4" Storm Sewer	30"	Concrete	See Note 4
Existing 2" Storm Sewer	30"	Concrete	See Note 5
Existing 1.5" Storm Sewer	30"	Concrete	See Note 6
Existing 1" Storm Sewer	30"	Concrete	See Note 7
Existing 0.75" Storm Sewer	30"	Concrete	See Note 8
Existing 0.5" Storm Sewer	30"	Concrete	See Note 9
Existing 0.25" Storm Sewer	30"	Concrete	See Note 10

**SWPPP LEGEND**

- INLET PROTECTION AND TYPE SHOWN AS: [Symbol]
- SILT FENCING SHOWN AS: [Symbol]
- DISTURBANCE LIMITS (TOTAL DA = 5.6 ACRES): [Symbol]
- RP RAP: [Symbol]
- CONCRETE WASHOUT: [Symbol]
- TURBIDITY CURTAIN: [Symbol]
- PERMANENT SEEDING: [Symbol]
- DUST CONTROL: [Symbol]
- RP RAP RING: [Symbol]

**SURVEY LEGEND**

- ① SLOPE-BARRIERS SEWER IN
- ② BELLOPPINHO COMBUSTION
- ③ BELL-SOUTH HOME FIBER OPTIC
- ④ PIP (POWER POLE) - DOWNLINE
- ⑤ LP LIGHT POLE
- ⑥ 6" DIA. PIPE
- ⑦ 12" DIA. PIPE
- ⑧ 18" DIA. PIPE
- ⑨ 24" DIA. PIPE
- ⑩ 30" DIA. PIPE
- ⑪ 36" DIA. PIPE
- ⑫ 42" DIA. PIPE
- ⑬ 48" DIA. PIPE
- ⑭ 54" DIA. PIPE
- ⑮ 60" DIA. PIPE
- ⑯ 66" DIA. PIPE
- ⑰ 72" DIA. PIPE
- ⑱ 78" DIA. PIPE
- ⑲ 84" DIA. PIPE
- ⑳ 90" DIA. PIPE
- ㉑ 96" DIA. PIPE
- ㉒ 102" DIA. PIPE
- ㉓ 108" DIA. PIPE
- ㉔ 114" DIA. PIPE
- ㉕ 120" DIA. PIPE
- ㉖ 126" DIA. PIPE
- ㉗ 132" DIA. PIPE
- ㉘ 138" DIA. PIPE
- ㉙ 144" DIA. PIPE
- ㉚ 150" DIA. PIPE
- ㉛ 156" DIA. PIPE
- ㉜ 162" DIA. PIPE
- ㉝ 168" DIA. PIPE
- ㉞ 174" DIA. PIPE
- ㉟ 180" DIA. PIPE
- ㊱ 186" DIA. PIPE
- ㊲ 192" DIA. PIPE
- ㊳ 198" DIA. PIPE
- ㊴ 204" DIA. PIPE
- ㊵ 210" DIA. PIPE
- ㊶ 216" DIA. PIPE
- ㊷ 222" DIA. PIPE
- ㊸ 228" DIA. PIPE
- ㊹ 234" DIA. PIPE
- ㊺ 240" DIA. PIPE
- ㊻ 246" DIA. PIPE
- ㊼ 252" DIA. PIPE
- ㊽ 258" DIA. PIPE
- ㊾ 264" DIA. PIPE
- ㊿ 270" DIA. PIPE

**SURVEY NOTES**

1. PROPERTY IS LOCATED IN FLOOD ZONE 'X' ACCORDING TO F.E.M.A. F.I.R.M. PANEL 45019C 0595 E & 0615 D DATED DECEMBER 7, 2016.
2. PROPERTY IS ZONED GOOSE CREEK PD.
3. THE PUBLIC RECORDS REFERENCED ON THIS PLAN ARE ONLY THOSE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY, AND DO NOT CONSTITUTE A TITLE SEARCH.
4. HORIZONTAL DATUM IS BASED ON NAD 1983.
5. VERTICAL ELEVATIONS ARE BASED ON 1986 NAVD DATUM.
6. T.M.S. # 235-00-00-065 CONTAINS 8.64 ACRES, OR 276,487.50 SQ. FT. THE AREA HAS DETERMINED BY THE COORDINATE METHOD.
7. THE OWNER OF THIS PROPERTY IS HENRY BROWN SELF STORAGE LLC.
8. ANYTHING SHOWN OUTSIDE THE DEFINED PROJECT AREA OF THE SITE IS FOR INFORMATION ONLY AND IS NOT TO BE CONSIDERED AS PART OF THE PROJECT.
9. WATER PROVIDED BY TOWN OF GOOSE CREEK.
10. SEWER SERVICES PROVIDED BY BERNSELEY COUNTY WATER & SEWER.

**SWPPP PREPARED FOR**

## BRICKHOPE SELF STORAGE

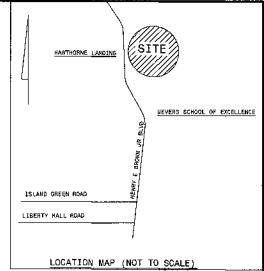
CITY OF GOOSE CREEK, SOUTH CAROLINA

DATE: September 12, 2022 Scale: 1" = 50'

**McCORMICK and ASSOCIATES OF S.C., INC.**  
CIVIL ENGINEERS  
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464  
(843) 971-3646 Office (843) 881-7532 Fax mccormickassoc@southnet.net

Project No: 571 Drawing No: 65 of 614

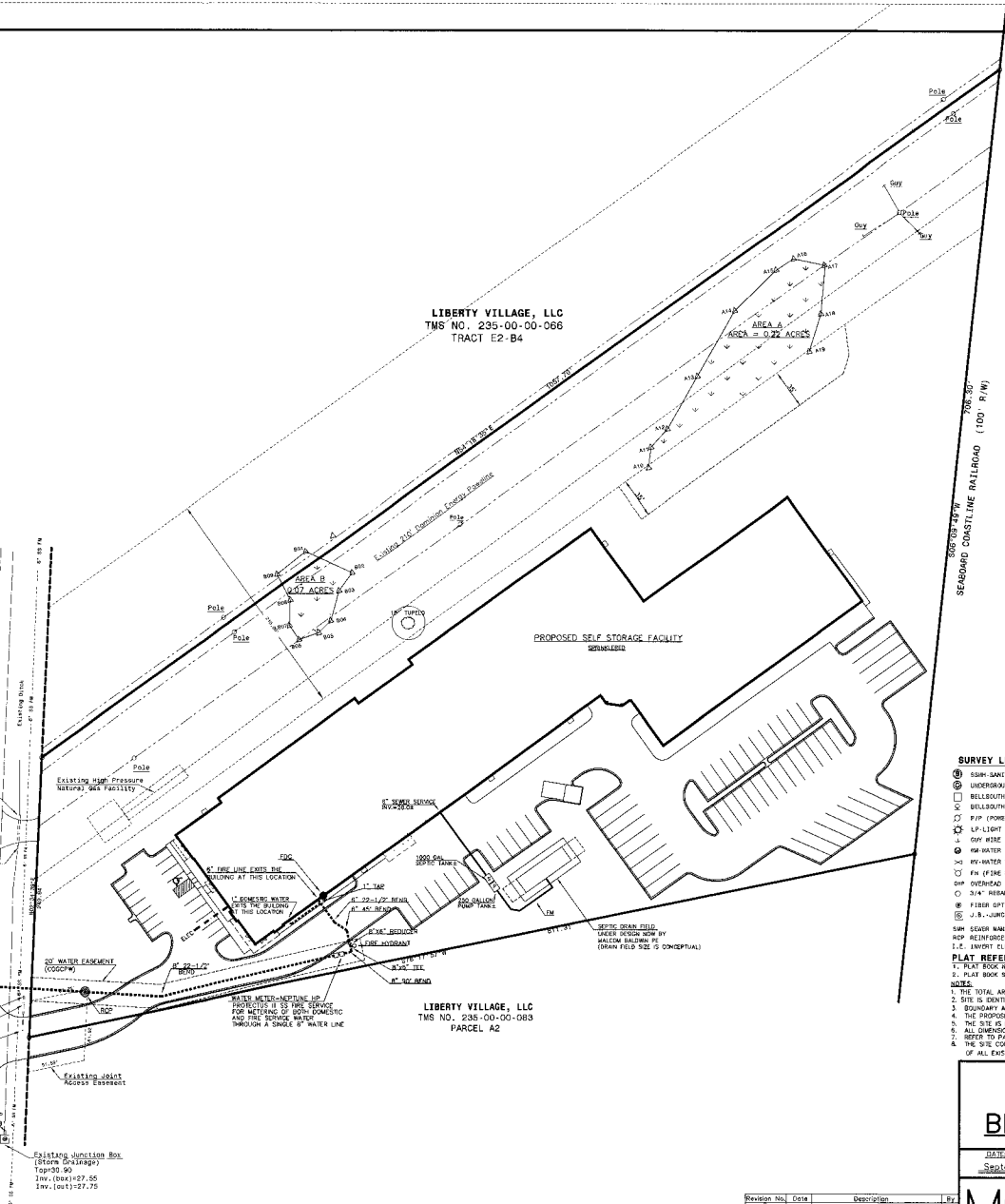
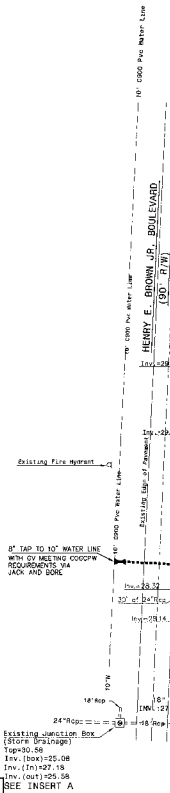
**FINAL DRB**  
PROFESSIONAL ENGINEER NO. 14946



LIBERTY VILLAGE, LLC  
TMS NO. 235-00-00-066  
TRACT E2-B4

PROPOSED SELF STORAGE FACILITY

LIBERTY VILLAGE, LLC  
TMS NO. 235-00-00-063  
PARCEL A2



- SURVEY LEGEND**
- ① 800V SANITARY SEWER IM
  - ② UNDERGROUND GAS LINE
  - ☐ BELLOUTH LG COMMUNICATIONS
  - BELLSOUTH PHONE PEDIESTAL
  - P/F/F (POWER POLE) CONDITION
  - LP-LIGHT POLE
  - GUY WIRE
  - HW-WATER METER
  - HW-WATER VALVE
  - FH (FIRE HYDRANT)
  - OHP OVERHEAD POWER
  - 24" REBAR
  - FIBER OPTIC (FO) BOX
  - J.B.-JUNCTION BOX
  - 18" V-CURV MANHOLE
  - 18" REINFORCED CONCRETE PIPE
  - I.C. INVERT ELEVATION
- PLAT REFERENCES**
- 1. PLAT BOOK # PAGE 354H.
  - 2. PLAT BOOK # PAGE 353I.
- NOTES**
1. THE TOTAL AREA OF SITE IS 865 ACRES AND IS ZONED GC.
  2. SITE IS IDENTIFIED AS PARCEL A1 AND IS LOCATED AS TMS 235-00-00-065.
  3. BOUNDARY AND TOPOGRAPHICAL SURVEYING BY HILSON AND ASSOCIATES, INC.
  4. THE PROPOSED DEVELOPMENT IS A SELF STORAGE FACILITY.
  5. THE SITE IS PRESENTLY VACANT.
  6. ALL DIMENSIONS ARE TO THE FACE OF ASPHALT UNLESS OTHERWISE NOTED.
  7. REFER TO PARKING SUMMARY FOR STALL SIZES AND COUNT.
  8. THE SITE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  9. SEWER SERVICES PROVIDED BY BEMLEY COUNTY WATER & SEWER.

**UTILITY LIMITS:**  
PROPOSED WATER LINE: [Symbol]

**WATER PROVIDER:**  
CITY OF GOOSE CREEK PUBLIC WORKS  
300 BULTON HALL AVENUE  
GOOSE CREEK, SC 29445-1768  
CONTACT: CHUCK DENSON 843-824-2200

- SURVEY NOTES**
1. PROPERTY IS LOCATED IN FLOOD ZONE 'X' ACCORDING TO F.E.M.A. F.I.R.M. PANEL 45015C 0595 E & 0615 E DATED DECEMBER 7, 2014.
  2. PROPERTY IS ZONED GOOSE CREEK PD.
  3. THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY, AND DO NOT CONSTITUTE A TITLE SEARCH.
  4. HORIZONTAL DATUM IS BASED ON NAD 1983.
  5. VERTICAL ELEVATIONS ARE BASED ON 1988 NAVD DATUM.
  6. T.M.S. # 235-00-00-065 CONTAINS 0.64 ACRES, OR 379,480.97 SQ. FT. THE AREA HAS DETERMINED BY THE COORDINATE METHOD.
  7. THE OWNER OF THIS PROPERTY IS HENRY BROWN SELF STORAGE LLC.
  8. ANYTHING SHOWN OUTSIDE THE DEFINED PROJECT AREA OF THE SURVEYED PROPERTY IS FOR DESCRIPTIVE PURPOSES ONLY.
  9. WATER PROVIDED BY TOWN OF GOOSE CREEK.
  10. SEWER SERVICES PROVIDED BY BEMLEY COUNTY WATER & SEWER.

CALL 3 WORKING DAYS BEFORE YOU DIG, DRILL, BLAST OR BORE!!!  
PALMETTO UTILITY PROTECTION SERVICE  
SOUTH CAROLINA PUPS



EXISTING UTILITY NOTE:  
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AS AN APPROXIMATE ONLY ONLY AND HAVE NOT BEEN INDICATED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.

Revision No.	Date	Description	By	App'd

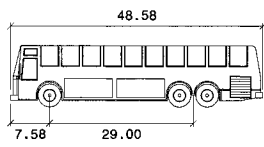
**WATER and SANITARY SEWER PLAN**  
PREPARED FOR  
**BRICKHOPE SELF STORAGE**  
CITY OF GOOSE CREEK, SOUTH CAROLINA

DATE: September 12, 2022 Scale: 1"= 50'

**McCORMICK and ASSOCIATES OF S.C., INC.**  
CIVIL ENGINEERS  
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464  
(843) 971-3646 Office (843) 881-7532 Fax mccormickassoc@bellsouth.net

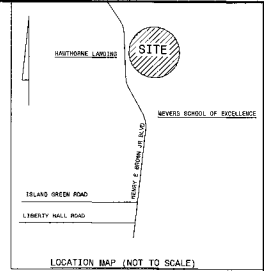
Project No: 571 Drawing No. 66 of 67

SOUTH CAROLINA  
Professional Engineer  
No. 19486  
No. 002217  
STATE OF SOUTH CAROLINA  
No. 19486  
FINAL DRB  
PROFESSIONAL ENGINEER  
No. 19486



Motorcoach

feet  
 Width : 8.50  
 Track : 8.50  
 Lock to Lock Time : 6.0  
 Steering Angle : 47.9



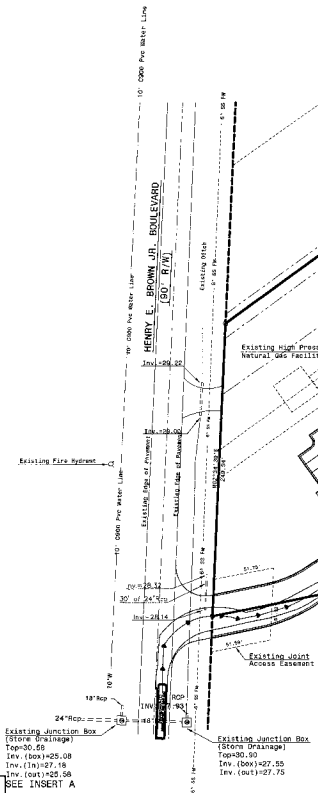
LIBERTY VILLAGE, LLC  
 TMS NO. 235-00-00-066  
 TRACT E2-B4

PROPOSED SELF STORAGE FACILITY

LIBERTY VILLAGE, LLC  
 TMS NO. 235-00-00-063  
 PARCEL A2

- SURVEY LEGEND**
- ⊙ 30M-DIAMETER CENTER MARK
  - UNDERGROUND GAS LINE
  - ⊠ BELLBOOTH HOSE CONNECTIONS
  - ⊠ BELLBOOTH HOSE PEGS/VALVE
  - ⊠ P/P (POWER POLE) - DOMINION
  - ⊠ LP-LIGHT POLE
  - ⊠ GUY WIRE
  - ⊠ W-WATER METER
  - ⊠ W-WATER VALVE
  - ⊠ FH (FIRE HYDRANT)
  - ⊠ OWP (OVERHEAD POWER)
  - ⊠ 3/4" REBAR
  - ⊠ FIBER OPTIC (FO) BOX
  - ⊠ J.B. JUNCTION BOX
  - ⊠ 30M SIDER WINDMILL
  - ⊠ RCP (REINFORCED CONCRETE PIPE)
  - ⊠ J.L. (JUNCTION ELEVATION)
- PLAY REFERENCES**
- 1. PLAT BOOK 9, PAGE 364H.
  - 2. PLAT BOOK 9, PAGE 363I.
- NOTES**
1. THE TOTAL AREA OF SITE IS 8.89 ACRES AND IS ZONED GC.
  2. SITE IS IDENTIFIED AS PARCEL A1 AND IS IDENTIFIED AS TMS 235-00-00-063.
  3. BOUNDARY AND TOPOGRAPHICAL SURVEYING BY NELSON AND ASSOCIATES, INC.
  4. THE PROPOSED DEVELOPMENT IS A SELF STORAGE FACILITY.
  5. THE SITE IS PRESENTLY VACANT.
  6. ALL DIMENSIONS ARE TO THE FACE OF ASPHALT UNLESS OTHERWISE NOTED.
  7. REFER TO PLANNING SUMMARY FOR SITE, SITE AND TOURS.
  8. THE SITE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  9. WATER PROVIDED BY TOWN OF GOOSE CREEK.
  10. SEWER SERVICES PROVIDED BY BERKELEY COUNTY WATER & SEWER.

- SURVEY NOTES**
1. PROPERTY IS LOCATED IN FLOOD ZONE 'X' ACCORDING TO F.E.M.A. F.I.R.N. PANEL 4501SC 0595 E & 0510 E DATED DECEMBER 7, 2016.
  2. PROPERTY IS ZONED GOOSE CREEK PD.
  3. THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY, AND DO NOT CONSTITUTE A TITLE SEARCH.
  4. HORIZONTAL DATUM IS BASED ON NAD 1983.
  5. VERTICAL ELEVATIONS ARE BASED ON NAD 1989 DATUM.
  6. T.M.S. # 235-00-00-066 CONTAINS 8.64 ACRES, OR 376,480.97 SQ. FT. THE AREA WAS DETERMINED BY THE COORDINATE METHOD.
  7. THE OWNER OF THIS PROPERTY IS HENRY BROWN SELF STORAGE, LLC.
  8. ANYTHING SHOWN OUTSIDE THE DEFINED PROJECT AREA OF THE SURVEYED PROPERTY IS FOR DESCRIPTIVE PURPOSES ONLY.
  9. WATER PROVIDED BY TOWN OF GOOSE CREEK.
  10. SEWER SERVICES PROVIDED BY BERKELEY COUNTY WATER & SEWER.



Existing Junction Box (Storm Drainage)  
 Top=30.58  
 Inv. (Box)=25.08  
 Inv. (1A)=27.18  
 Inv. (1B)=25.58  
 SEE INSERT A

Existing Junction Box (Storm Drainage)  
 Top=30.50  
 Inv. (Box)=27.55  
 Inv. (1A)=27.75

**CALL 3 WORKING DAYS BEFORE YOU DIG, DRILL, BLAST OR BORE!!!**  
 PALMETTO UTILITY PROTECTION SERVICE  
 SOUTH CAROLINA PLUPS



Call before you dig.

**WARNING: UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR BE RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITIES OR STRUCTURES. THE CONTRACTOR SHALL OBTAIN THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITIES OR STRUCTURES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.**

Barcode No.	Date	Description	By	For

**TRUCK ROUTING PLAN**  
 PREPARED FOR  
**BRICKHOPE SELF STORAGE**  
 CITY OF GOOSE CREEK, SOUTH CAROLINA

Date: September 12, 2022 Scale: 1" = 50'

**McCORMICK and ASSOCIATES OF S.C., INC.**  
 CIVIL ENGINEERS  
 1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464  
 (843) 971-3646 Office (843) 881-7532 Fax mccormickassoc@southnet

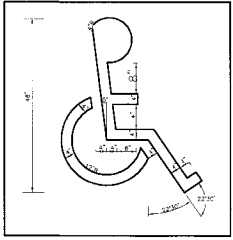
Project No. 571 Drawing No. C7 of C14

SOUTH CAROLINA  
 McCormick and Associates  
 No. 002217  
 ENGINEER OF PROFESSIONAL SERVICE

SOUTH CAROLINA  
 No. 19486  
 ENGINEER OF PROFESSIONAL SERVICE

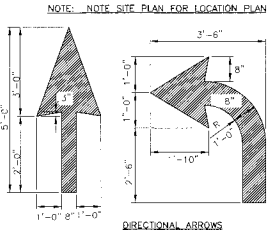
**FINAL DRB**  
 PROFESSIONAL ENGINEER  
 No. 19486





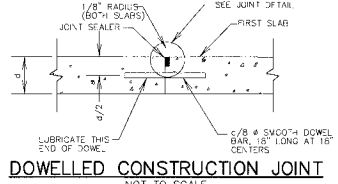
**PAINTED ADA HANDICAP SYMBOL (PAINTED ON PAVEMENT)**  
NOT TO SCALE

- PAINTING REQUIREMENTS:**
- HANDICAP SYMBOLS SHALL BE PAINTED WHITE OR BLUE.
  - PAINT SHALL BE TYPE 1 CONFORMING TO FEDERAL SPECIFICATIONS TT-P-115E. SEE SPECIFICATIONS FOR THIS PROJECT FOR ADDITIONAL INFORMATION.
  - ALL PAVEMENT MARKINGS TO BE YELLOW UNLESS OTHERWISE DICTATED BY CODE.

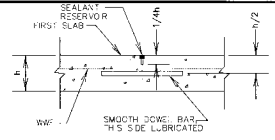


**TYPICAL PAVEMENT MARKINGS:**

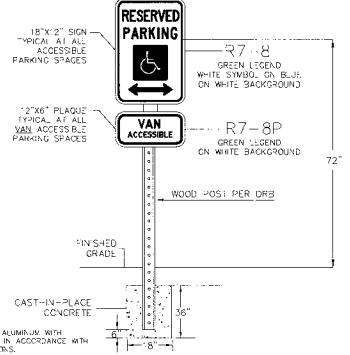
- NOTE: ALL MARKINGS SHALL BE WHITE THERMOPLASTIC PAINT
- MUST BE MUTCO COMPLIANT.
  - MUTCO R3-BL.



**DOWELLED CONSTRUCTION JOINT**  
NOT TO SCALE

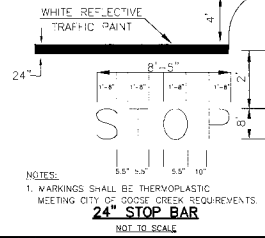


**CONTRACTION JOINT**  
NOT TO SCALE

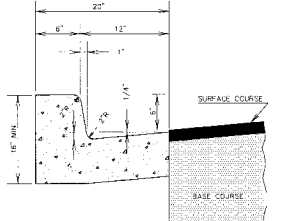


**ACCESSIBLE PARKING SIGN**

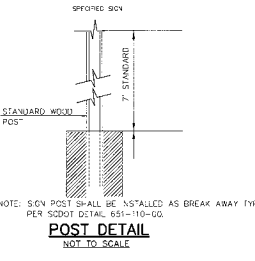
- NOTES:
- SIGN SHALL BE 0.003 THICK ALUMINUM WITH APPLIED REFLECTIVE SHEETING IN ACCORDANCE WITH SDOT STANDARD SPECIFICATIONS.
  - SEE POST DETAIL FOR SPECIFICS.



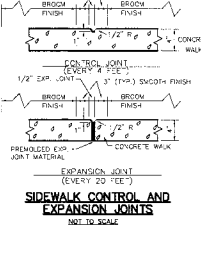
- NOTES:
- MARKINGS SHALL BE THERMOPLASTIC MEETING CITY OF GOOSE CREEK REQUIREMENTS



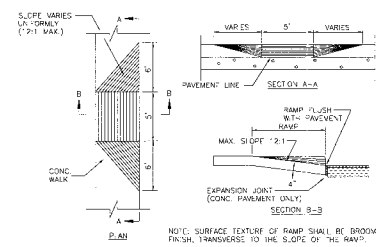
**18" 'L' TYPE CURB AND GUTTER**  
NOT TO SCALE



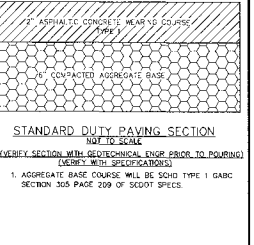
**POST DETAIL**  
NOT TO SCALE



**SIDEWALK CONTROL AND EXPANSION JOINTS**  
NOT TO SCALE

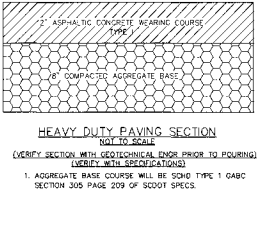


**SIDEWALK ACCESS RAMP**  
NOT TO SCALE



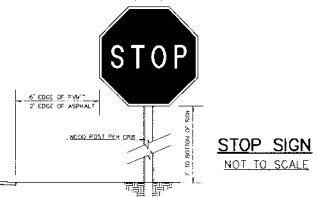
**STANDARD DUTY PAVING SECTION**  
NOT TO SCALE

- VERIFY SECTION WITH GEOTECHNICAL ENGINEER PRIOR TO POURING (VERIFY WITH SPECIFICATIONS)
- AGGREGATE BASE COURSE WILL BE SDOT TYPE 1 GABC SECTION 309 PAGE 209 OF SDOT SPECS.



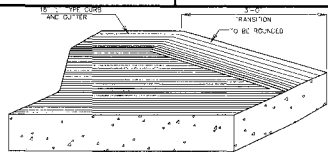
**HEAVY DUTY PAVING SECTION**  
NOT TO SCALE

- VERIFY SECTION WITH GEOTECHNICAL ENGINEER PRIOR TO POURING (VERIFY WITH SPECIFICATIONS)
- AGGREGATE BASE COURSE WILL BE SDOT TYPE 1 GABC SECTION 309 PAGE 209 OF SDOT SPECS.

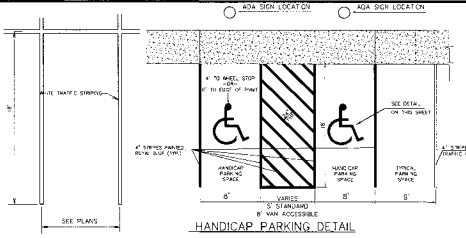


**STOP SIGN**  
NOT TO SCALE

- NOTE: ALL TRAFFIC CONTROL DEVICES WILL BE TO MUTCO (MANUAL OR ELECTRONIC TRAFFIC CONTROL DEVICES); STANDARD BACKGROUND; RED-REFLECTED; LEGEND AND BONDERS: WHITE - REFLECTORIZED
- STOP SIGN PER SDOT SPECS AND BE MUTCO COMPLIANT.
- SEE SDOT DRAWINGS 650-100-00 (MAY 2000) AND 651-115-01 (MAY 2000) FOR SPECIFICATIONS.
- SEE MUTCO REF R1-1-30 (R1-1, 10/93C)



**CURB AND GUTTER FEATHER**  
NOT TO SCALE



**TYPICAL PARKING SPACE**  
NOT TO SCALE

**HANDICAP PARKING DETAIL**  
NOT TO SCALE

Revision No.	Date	Description	By
1			MM

**SITE DETAILS**

PREPARED FOR  
**BRICKHOPE SELF STORAGE**  
CITY OF GOOSE CREEK, SOUTH CAROLINA

DATE: September 12, 2022

**McCORMICK and ASSOCIATES OF S.C., INC.**  
CIVIL ENGINEERS  
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464  
(843) 971-3646 Office (843) 881-7532 Fax mcco@mcassocia.com

Project No: 571 Drawing No: CD of 4/4

SOUTH CAROLINA  
McCormick and Associates  
of S.C., Inc.  
REGISTERED PROFESSIONAL ENGINEER  
EXPIRES 12/31/2027

SOUTH CAROLINA  
McCormick and Associates  
of S.C., Inc.  
REGISTERED PROFESSIONAL ENGINEER  
NO 19486  
EXPIRES 12/31/2027

**FINAL DRB**  
PROFESSIONAL ENGINEER  
NO. 19486

**FLUXION FABRIC INLET PROTECTION**

**MATERIALS:**  
USE FILTER FABRIC THAT CONFORMS TO SCOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (LATEST EDITION) PRIOR TO THE SILT FENCE INSTALLATION. FABRIC APPROX. SHEET #34.

**USE SILT POSTS THAT MEET THE FOLLOWING MINIMUM PHYSICAL REQUIREMENTS:**  
BE COMPOSED OF HIGH STRENGTH STEEL WITH MINIMUM TENSILE STRENGTH BY SILESS PHS HAVE A STANDARD "T" SECTION WITH A NOMINAL FLANGE WIDTH OF 1.38-INCHES AND NOMINAL "T" LENGTH OF 1.48-INCHES. SPACING SHALL BE 1.5 FEET PER FOOT (1.5'-0" P.F.F.). BE PAINTED WITH A WATER BASED BAKED ENAMEL PAINT.

**ATTACH FABRIC TO METAL POSTS WITH HEAVY-DUTY PLASTIC TIES.**

**INSTALLATION:**  
EXCAVATE A TRENCH 6-INCHES WIDE AND 6-INCHES DEEP AROUND THE OUTSIDE PERIMETER OF THE INLET. PLACE THE FABRIC 6-INCHES ABOVE THE TRENCH AND SECURE TO THE POSTS WITH PLASTIC TIES.

**EXTEND THE FILTER FABRIC A MINIMUM OF 12-INCHES INTO THE TRENCH. BACKFILL THE TRENCH WITH SOIL OR CRUSHED STONE AND COMPACT OVER THE FILTER FABRIC UNLESS THE FABRIC IS PERMANENTLY INSTALLED.**

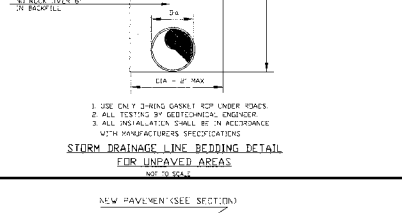
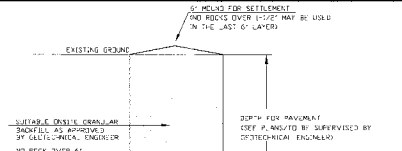
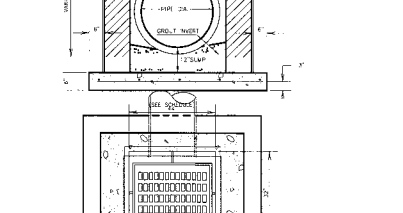
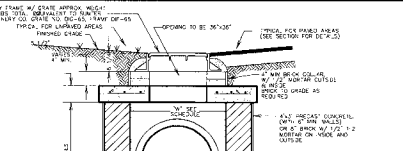
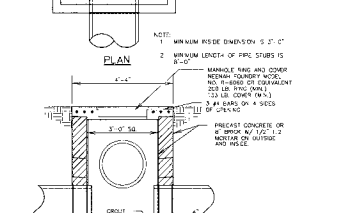
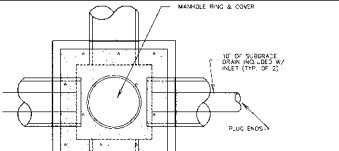
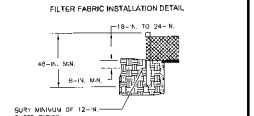
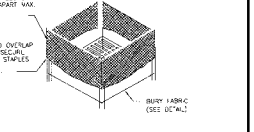
**USE STEEL POSTS WITH A MINIMUM POST LENGTH OF 60-INCHES CONSISTING OF STANDARD "T" SECTION WITH A WIDTH OF 1.38 INCHES PER FOOT (1.38'-0" P.F.F.).** INSTALL THE FILTER FABRIC TO A MINIMUM OF 12-INCHES ABOVE THE TRENCH. BACKFILL THE TRENCH WITH SOIL OR CRUSHED STONE AND COMPACT OVER THE FILTER FABRIC UNLESS THE FABRIC IS PERMANENTLY INSTALLED.

**ATTACH FABRIC TO STEEL POSTS WITH HEAVY-DUTY PLASTIC TIES.**

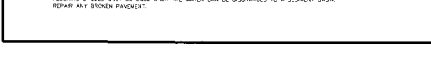
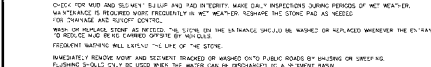
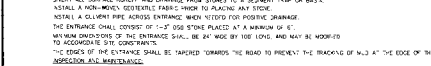
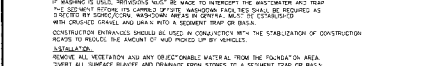
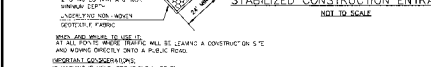
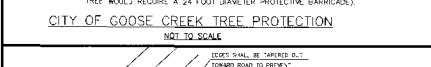
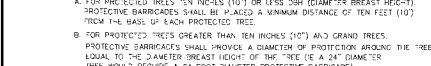
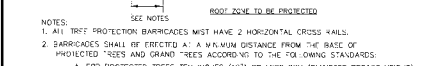
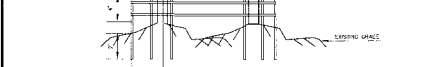
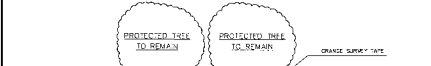
**ATTACH AT LEAST FOUR (4) HEAVY SPACED TIES IN A MANNER TO PREVENT SAGGING OR FLAPPING OF THE FABRIC. ALL CORNERS WITH TIES IN NO LESS THAN FOUR PLACES.**

**INSPECTION AND MAINTENANCE:**  
INSPECTIONS SHOULD BE MADE EVERY 7 CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH STORM THAT PRODUCES 1/8-INCHES OR MORE OF RAIN. IF THE FABRIC BECOMES CLOGGED, IT SHOULD BE REPAIRED. MAINTENANCE SHOULD BE REQUIRED WHEN THE HEIGHT OF THE SEDIMENT ABOVE THE FABRIC EXCEEDS 12-INCHES. THE FABRIC SHOULD BE REPLACED WHEN REMOVING SEDIMENT A SUMP IS USED. SEDIMENT SHOULD BE REMOVED WHEN IT IS APPROXIMATELY 1/3 THE DEPTH OF THE INDICATED TRENCH AREA, ALWAYS PROVIDING ADEQUATE SEDIMENT STORAGE VOLUME FOR THE NEXT STORM.

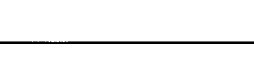
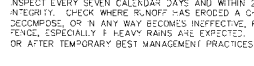
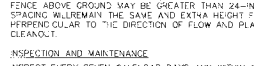
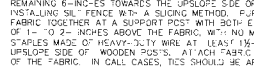
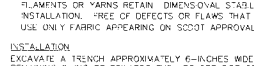
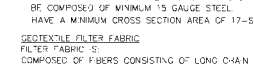
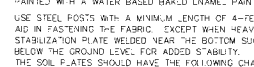
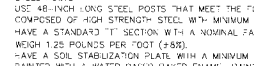
**STORM DRAIN INLET PROTECTION STRUCTURES SHOULD BE REMOVED ONLY AT THE DESIGNATED AREAS AND PERMANENTLY STABILIZED PERIOD ALL CONSTRUCTION MATERIALS AND EQUIPMENT AND SUPPORTS TO THEM PROPERLY. MAINTAIN THE DISTURBED AREAS TO PREVENT EROSION. RECONSTRUCTURE CREST, USE APPROPRIATE PERMANENT STABILIZATION METHODS TO STABILIZE DISTURBED AREAS AROUND THE INLET.**



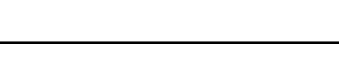
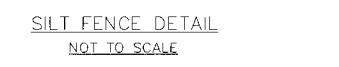
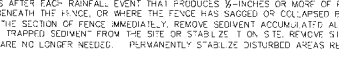
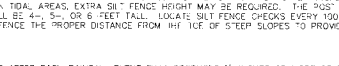
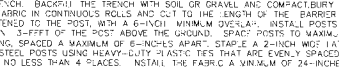
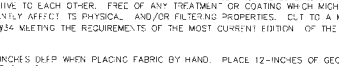
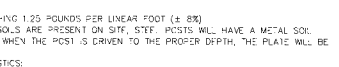
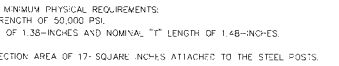
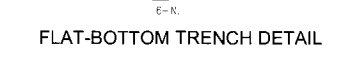
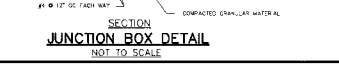
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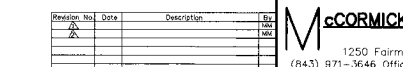
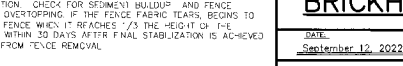
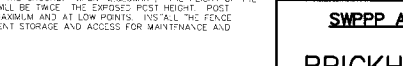
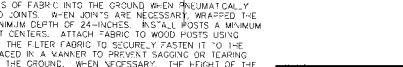
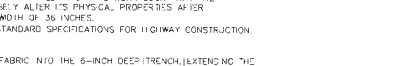
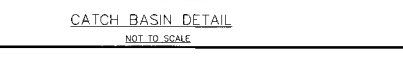
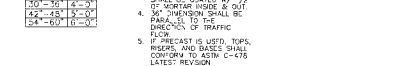
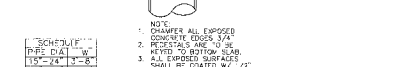
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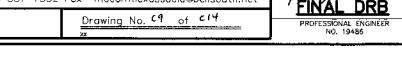
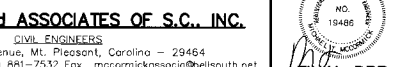
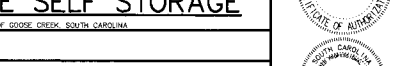
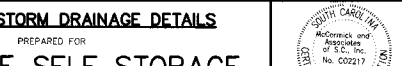
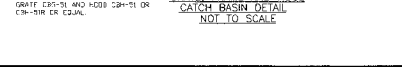
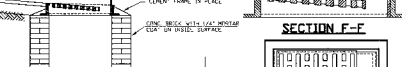
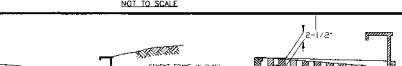
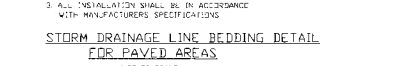
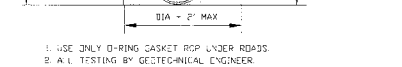
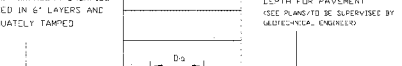
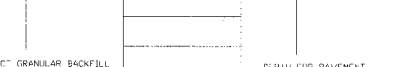
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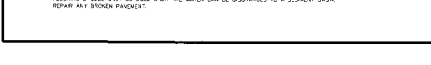
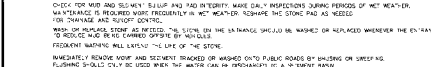
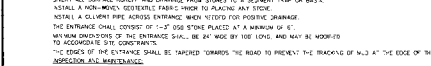
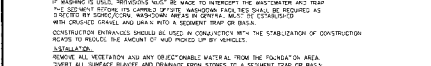
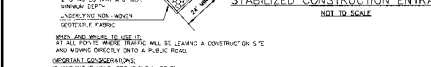
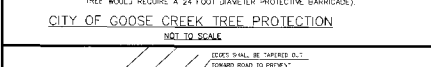
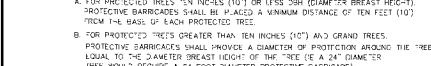
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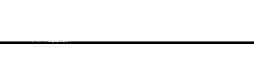
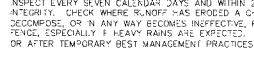
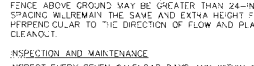
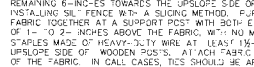
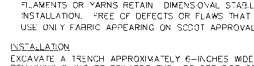
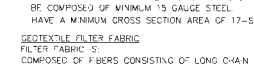
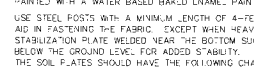
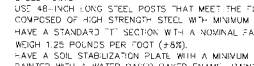
**STORM DRAINAGE LINE BEDDING DETAIL FOR UNPAVED AREAS**  
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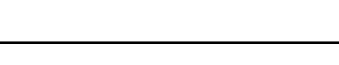
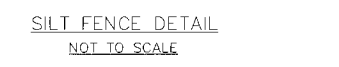
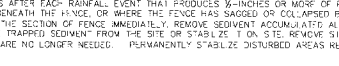
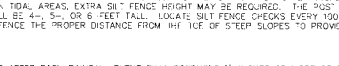
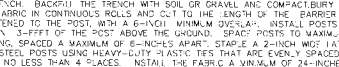
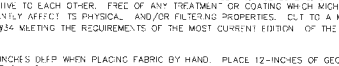
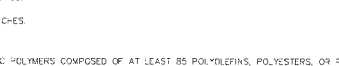
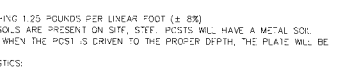
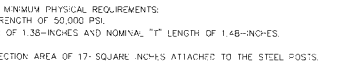
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**STORM DRAINAGE LINE BEDDING DETAIL FOR PAVED AREAS**  
NOT TO SCALE



**SWPPP AND STORM DRAINAGE DETAILS**

PREPARED FOR  
**BRICKHOPE SELF STORAGE**  
CITY OF GOOSE CREEK, SOUTH CAROLINA

DATE: September 12, 2022

McCORMICK and ASSOCIATES OF S.C., INC.  
CIVIL ENGINEERS  
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464  
(843) 871-3646 Office (843) 881-7532 Fax mccormickassoc@bellsouth.net

Project No: 571  
Drawing No. C9 of C14

Professional Engineer No. 19486

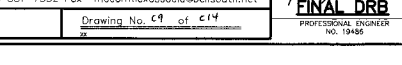
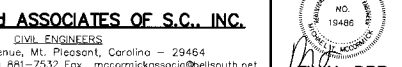
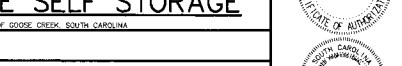
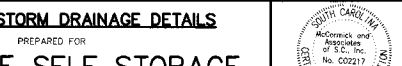
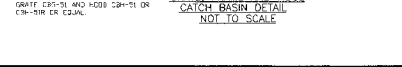
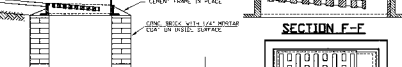
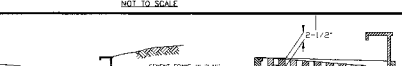
Professional Engineer No. 19486

Professional Engineer No. 19486

Professional Engineer No. 19486

Professional Engineer No. 19486

**SECTION F-F**



#### ADDITIONAL PRACTICES TO MINIMIZE STORM WATER CONTAMINATION

THE FOLLOWING ADDITIONAL MEASURES WILL BE FOLLOWED TO MINIMIZE POTENTIAL CONTAMINATION OF STORM WATER DISCHARGES:

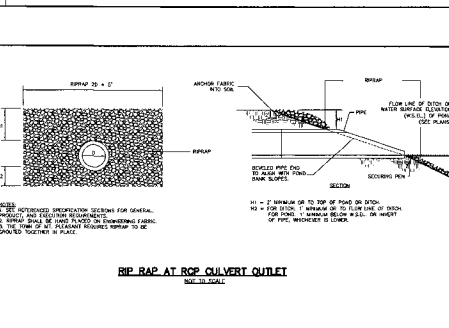
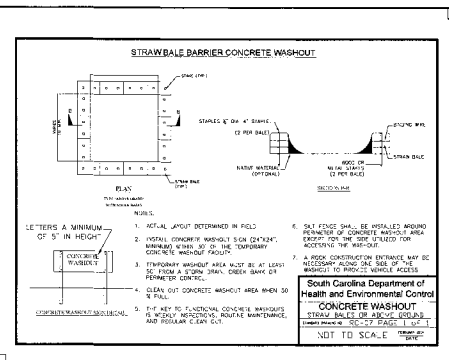
- 1) ALL VEHICLES ON SITE WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.
- 2) FUEL OIL FILLING STATIONS AND OTHER SEALED CONTAINERS WHICH ARE Labeled, LABELED AND SHALL BE STORED IN APPROPRIATE LOCATIONS TO PREVENT UNAUTHORIZED ACCESS.
- 3) SPILL KITS WILL BE AVAILABLE AT ALL FUELING STATIONS AND MAINTENANCE ACTIVITIES. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY.
- 4) ANY PREVENTION OF ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATION.
- 5) SANITARY WASTE WILL BE COLLECTED FROM PORTABLE UNITS REGULARLY TO AVOID OVERFLOWING.
- 6) COLORED DUMPSTERS WILL BE USED FOR TRANSFER OF HAZARDOUS WASTE MATERIALS SHOULD BE EXPOSED TO PROTECT AND SHOULD NOT BE MIXED WITH TRASH AND OTHER CONSTRUCTION DEBRIS. SITE SHOULD BE PROVIDED WITH TRASH AND OTHER CONTAINERS WHICH MAY BE BURNED ACROSS THE SITE. IF FORECAST STORMS ARE PREDICTED TO HAVE HIGH WINDS, APPROPRIATE MEASURES SHOULD BE TAKEN TO SECURE DUMPSTERS AND CONSTRUCTION DEBRIS TO PREVENT MATERIALS FROM BEING BLOWN FROM SITE.
- 7) ALL SEAM CONTAINERS AND DRAINING CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT WILL NOT BE DISPOSED TO THE STORM SYSTEM, BUT WILL BE PROPERLY STORED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- 8) MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN A CENTRAL, ACCESSIBLE LOCATION. EQUIPMENT WILL INCLUDE, BUT NOT BE LIMITED TO: BRUSHES, JUST DRY, MOBS, RAGS, GLOVES, GOGGLES, KITTY LITER, SAND, SAW DUST, AND PLASTIC AND METAL TRASH CONTAINERS.
- 9) WHEN TESTING/CLEANING WATER SUPPLY INTO THE DISCHARGE FROM THE TESTED PIPE WILL BE COLLECTED AND COVERED TO A CURB TO STORM WATER SYSTEM FOR CONFORMANCE TO THE MAIN STORM WATER RETENTION POINT OR SYSTEM CURB.
- 10) THE PAVED STRIETS ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP WEEKLY FOR MORE FREQUENTLY TO REMOVE EXCESS SAND, JOINT SAND, TRACKED MUD, AND OTHER PARTICULATES FROM THE CONSTRUCTION SITE. THE USE OF DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE LIMITED TO THE APPROXIMATE DAILY OPERATION.
- 11) CONSTRUCTION CONTAINERS SHALL BE PERIODICALLY REHELMED WITH FRESH STONE TO INSURE PROPER FUNCTIONING OF CONSTRUCTION ENTRANCE.

#### CONSTRUCTION STAGING AREAS (INCLUDE BUILDING CONSTRUCTION)

THE MEASURES LISTED APPLY FOR ALL CONSTRUCTION STAGING AREAS. ADDITIONALLY STAGING AREAS SHOULD BE APPROVED BY STATE TO PREVENT UNAUTHORIZED ACCESS TO STORMWATER MATERIALS AND CONSTRUCTION WASTE AND DEBRIS. IF BUILDING CONSTRUCTION TAKES PLACE WITHIN STAGING COURSE HAS BEEN PLACED OR AN STAGING COURSE HAS BEEN PLACED IN THE PROTECTION SHOULD BE PLACED AROUND ANY INlets TO WHICH STORM WATER FROM STAGING AREA WILL DRAIN. INLET PROTECTION SHOULD BE PROTECTED FROM TRAFFIC WHICH MAY RUN OVER OR DISTURB PROTECTION MEASURES.

**GRASSING REQUIREMENTS:**

- 1) ALL SOD SHALL BE NURSERY GROWN AS CLASSIFIED IN THE ASPS GSS MACHINE OUT SOD AT A UNIFORM THICKNESS OF 3/4" WITHIN AN ACCEPTABLE TOLERANCE INCLUDING TOP GROWN, LANDSCAPE ARCHITECT SHALL INSPECT AND APPROVE SOD WHEN ORDERED AND APPROVE PRIOR TO INSTALLATION.
- 2) LAY SOD FROM MAY 15 TO SEPTEMBER 15 FOR SPRING PLANTINGS AND FROM SEPTEMBER 15 TO NOVEMBER 1 FOR FALL PLANTINGS.
- 3) A SOD SHALL CONFORM TO ALL APPLICABLE STATE LAWS AND TO ALL REQUIREMENTS OF THE AGRICULTURE DEPARTMENT. ALL SOD BATHS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SPREADING.
- 4) PERMANENT FILL BEEDS OR AREAS SHOULD BE PROTECTED BY DESIGNING LANDSCAPE OR SURROUNDING COURSE HAS BEEN PLACED IN THE PROTECTION SHOULD BE PLACED AROUND ANY INlets TO WHICH STORM WATER FROM STAGING AREA WILL DRAIN. INLET PROTECTION SHOULD BE PROTECTED FROM TRAFFIC WHICH MAY RUN OVER OR DISTURB PROTECTION MEASURES.



#### TABLE 1. SEEDING SCHEDULE

SPECIES	TYPICAL SEEDING RATE (LBS/A)	TIMING (MONTHS)												
		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	
BENTON WHEAT (LBS/A)	40													
BERMUDA GRASS (LBS/A)	50													
TOURNEFORT GRASS (LBS/A)	50													
FLORIDA BERMUDA (LBS/A)	50													

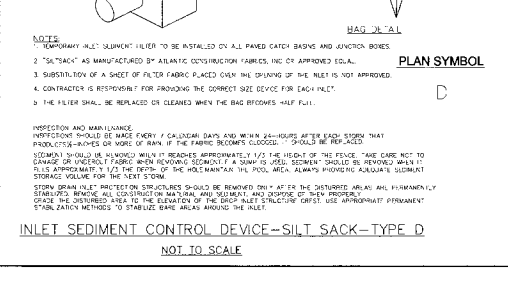
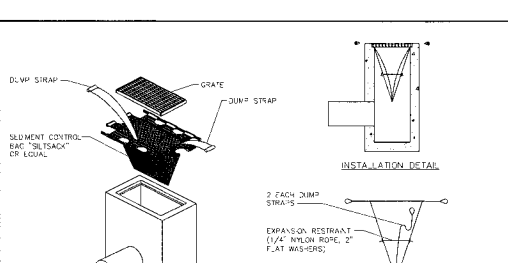
SPECIES	TYPICAL SEEDING RATE (LBS/A)	TIMING (MONTHS)												
		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	
BERMUDA GRASS (LBS/A)	40													
TOURNEFORT GRASS (LBS/A)	40													
FLORIDA BERMUDA (LBS/A)	40													
BENTON WHEAT (LBS/A)	40													

#### CONTRACTOR CERTIFICATIONS AND CO-PERMITTEE STATUS

PER NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (SD-000001, EFFECTIVE JAN. 1, 2017):

- 1) THE OWNER OF A PROJECT, AS THE APPLICANT FOR THE NPDES PERMIT, IS RESPONSIBLE FOR COMPLIANCE WITH ALL THE TERMS AND CONDITIONS OF THE PERMIT AND THE SWPPP. THE OWNER MAY RELY ON OTHER PERSONS TO PROVIDE COMPLIANCE WITH THE PERMIT AND THE SWPPP AS SUCH OTHER PERSONS, CONTRACTORS AND SUBCONTRACTORS WHO WILL CONDUCT CONSTRUCTION ACTIVITIES RELATED TO DISBURSE SODS OR CONSTRUCTION ACTIVITIES. ALL CONTRACTORS AND SUBCONTRACTORS WHO CONDUCT CONSTRUCTION ACTIVITIES AT THE SITE THAT MAY AFFECT IMPLEMENTATION OF THE SWPPP OR COMPLIANCE WITH THE PERMIT MUST BE LISTED IN THE PERMIT AND SWPPP AND MUST SIGN A PRE-CONSTRUCTION CONFIRMANCE BEFORE THEY CAN CONDUCT CONSTRUCTION ACTIVITY AT THE SITE.
- 2) CONTRACTORS AND SUBCONTRACTORS DEVELOPED IN THE PLAN AS CO-PERMITTEES MUST SIGN A COPY OF THE CERTIFICATION STATEMENT GIVEN BELOW.
- 3) ANY SIGNATURE BELOW THAT IS FOR A SITE THAT IS SUBJECT TO DISBURSE OR MORE ACRES, PARTICIPATED IN A PLAN, CONSTRUCTION CONFERENCE ONE OR MORE TIMES, OR WHEN ALLOWED, DEPUTY BY THE INDIVIDUAL WHO IS RESPONSIBLE FOR THE OPERATIONAL CONTROL OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), AND (3) ACCESS TO THE TERMS AND CONDITIONS OF SWPPP AS REQUIRED BY THE GENERAL NATIONAL POLLUTANT DISCHARGE PREVENTION SYSTEM (NPDES) PERMIT NUMBER SD-000001 ISSUED TO THE CONVEYER/OPERATOR OF THE CONSTRUCTION ACTIVITY FOR WHICH HAVE BEEN CONTRACTED TO PROVIDE CONSTRUCTION RELATED PROFESSIONAL SERVICES. FURTHER BY MY SIGNATURE BELOW, I UNDERSTAND THAT AN OCCASIONAL CO-PERMITTEE OF THE CONVEYER/OPERATOR AND OTHER CONTRACTORS THAT HAVE SECURED CO-PERMITTEES TO THE GENERAL NPDES PERMIT ISSUED TO THE OWNER/OPERATOR OF THE FACILITY FOR WHICH I HAVE BEEN CONTRACTED TO PROVIDE PROFESSIONAL SERVICES UNDER THE AUTHORITY OF THE SWPPP AND THE SO POLLUTION CONTROL ACT, TO ENSURE COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE SWPPP. I ALSO UNDERSTAND THAT SUCH ENFORCEMENT ACTIONS MAY BE TAKEN AGAINST ANY SIGNING CO-PERMITTEE OF CO-PERMITTEES IF THE TERMS AND CONDITIONS OF THE SWPPP ARE NOT MET THEREFOR, HAVING UNDERSTOOD THE ABOVE INFORMATION I AM SIGNING THIS CERTIFICATION AND AM RECEIVING CO-PERMITTEE STATUS TO THE AFOREMENTIONED GENERAL PERMIT.
- 4) CONTRACTORS AND SUBCONTRACTORS DEVELOPED IN THE PLAN TO PROVIDE CONSTRUCTION RELATED WORK IN ORDER TO DISBURSE SODS AT THE SITE THAT MAY AFFECT THE IMPLEMENTATION OF THE SWPPP BUT WHO WILL NOT BE CO-PERMITTEES MUST SIGN THE CERTIFICATION STATEMENT GIVEN BELOW TO CERTIFY THAT SIGNATURES BELOW THAT ARE FOR SITES THAT ARE NOT FOR MORE ACRES, PARTICIPATED IN A PLAN, CONSTRUCTION CONFERENCE ONE OR MORE TIMES, OR WHEN ALLOWED, DEPUTY BY THE INDIVIDUAL WHO IS RESPONSIBLE FOR THE OPERATIONAL CONTROL OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), AND (3) UNDERSTAND THE TERMS AND CONDITIONS OF SWPPP AS REQUIRED BY THE GENERAL NATIONAL POLLUTANT DISCHARGE PREVENTION SYSTEM (NPDES) PERMIT NUMBER SD-000001 ISSUED TO THE CONVEYER/OPERATOR OF THE CONSTRUCTION ACTIVITY FOR WHICH I HAVE BEEN CONTRACTED TO PROVIDE CONSTRUCTION RELATED PROFESSIONAL SERVICES. FURTHER BY MY SIGNATURE BELOW, I UNDERSTAND THAT AN OCCASIONAL CO-PERMITTEE OF THE CONVEYER/OPERATOR AND OTHER CONTRACTORS THAT HAVE SECURED CO-PERMITTEES TO THE GENERAL NPDES PERMIT ISSUED TO THE OWNER/OPERATOR OF THE FACILITY FOR WHICH I HAVE BEEN CONTRACTED TO PROVIDE PROFESSIONAL SERVICES UNDER THE AUTHORITY OF THE SWPPP AND THE SO POLLUTION CONTROL ACT, TO ENSURE COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE SWPPP. I ALSO UNDERSTAND THAT SUCH ENFORCEMENT ACTIONS MAY BE TAKEN AGAINST ANY SIGNING CO-PERMITTEE OF CO-PERMITTEES IF THE TERMS AND CONDITIONS OF THE SWPPP ARE NOT MET THEREFOR, HAVING UNDERSTOOD THE ABOVE INFORMATION I AM SIGNING THIS CERTIFICATION AND AM RECEIVING CO-PERMITTEE STATUS TO THE AFOREMENTIONED GENERAL PERMIT.
- 5) THE SIGNATORY REQUIREMENTS OF § 21222 OF SOUTH CAROLINA REGULATION 618-8 (SEE APPENDIX C OF THIS PERMIT) ARE APPLICABLE TO EACH CONTRACTOR'S DUTY THAT MUST SIGN ONE OF THE CONTRACTOR'S CERTIFICATION STATEMENTS UPON SIGNING THE CO-PERMITTEE CERTIFICATION. THE CONTRACTOR'S DUTY IS LIMITED AND BECOMES ACCOUNTABLE TO THE STATE OF SOUTH CAROLINA, THE DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL, AND THE GENERAL NATIONAL POLLUTANT DISCHARGE PREVENTION SYSTEM. ALL CO-PERMITTEES ARE SUBJECT TO DIRECT ENFORCEMENT ACTIONS IF PERMIT CONDITIONS ARE NOT MET. PERMIT CONDITIONS ARE LIMITED TO THE FACILITY'S RESPONSIBILITY TO THE GENERAL NATIONAL POLLUTANT DISCHARGE PREVENTION SYSTEM. THE CO-PERMITTEE WILL BE RESPONSIBLE TO THE FACILITY'S RESPONSIBILITY TO THE GENERAL NATIONAL POLLUTANT DISCHARGE PREVENTION SYSTEM. THE CO-PERMITTEE WILL BE RESPONSIBLE TO THE FACILITY'S RESPONSIBILITY TO THE GENERAL NATIONAL POLLUTANT DISCHARGE PREVENTION SYSTEM. THE CO-PERMITTEE WILL BE RESPONSIBLE TO THE FACILITY'S RESPONSIBILITY TO THE GENERAL NATIONAL POLLUTANT DISCHARGE PREVENTION SYSTEM.
- 6) COPIES OF ALL CONTRACTOR CERTIFICATIONS AND A COPY OF THIS PERMIT SHALL BE KEPT WITH THE SWPPP FOR CONSTRUCTION SITES THAT DISBURSE 3 ACRES OR MORE. THE FIRST MONTHLY REPORT OR COPIES OF THE PERMIT MUST BE SUBMITTED TO THE DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL AND THE GENERAL NATIONAL POLLUTANT DISCHARGE PREVENTION SYSTEM. THE CO-PERMITTEE WILL BE RESPONSIBLE TO THE FACILITY'S RESPONSIBILITY TO THE GENERAL NATIONAL POLLUTANT DISCHARGE PREVENTION SYSTEM. THE CO-PERMITTEE WILL BE RESPONSIBLE TO THE FACILITY'S RESPONSIBILITY TO THE GENERAL NATIONAL POLLUTANT DISCHARGE PREVENTION SYSTEM.

HAZARDOUS MATERIALS	POTENTIAL STORMWATER CONTAMINANTS	POTENTIAL STORMWATER POLLUTANTS
HAZARDOUS WASTE	HAZARDOUS WASTE	HAZARDOUS WASTE
HAZARDOUS WASTE	HAZARDOUS WASTE	HAZARDOUS WASTE
HAZARDOUS WASTE	HAZARDOUS WASTE	HAZARDOUS WASTE
HAZARDOUS WASTE	HAZARDOUS WASTE	HAZARDOUS WASTE



Revision	Date	Description	By
1	12/22/22	Initial Design	JLH

**SWPPP AND STORM DRAINAGE DETAILS**  
PREPARED FOR  
**BRICKHOPE SELF STORAGE**  
CITY OF DOUGLE CREEK, SOUTH CAROLINA

SHEET: September 12, 2022

**McCORMICK AND ASSOCIATES OF S.C., INC.**  
CIVIL ENGINEERS  
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464  
(843) 871-3646 Office (843) 881-7532 Fax mca@mcassoc.com@southouth.net

Project No: 571      Drawing No. Civ of C47      PROFESSIONAL ENGINEER No. 19486

**SEDIMENT TUBES - GENERAL NOTES**

1. Sediment tubes shall be installed in accordance with the attached drawing and the following notes.
2. Sediment tubes shall be installed in accordance with the attached drawing and the following notes.
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**SEDIMENT TUBES**  
GENERAL NOTES

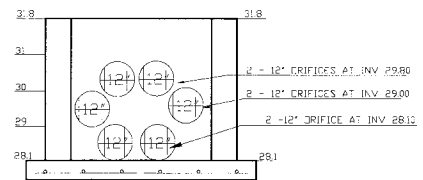
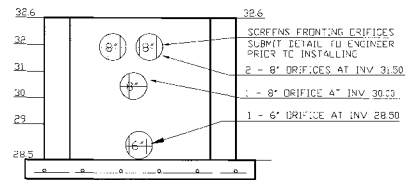
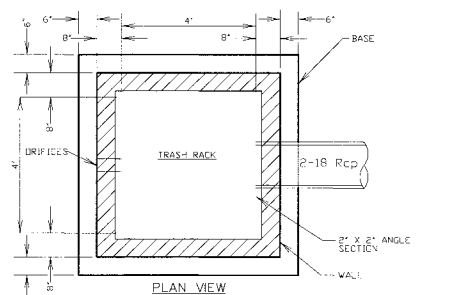
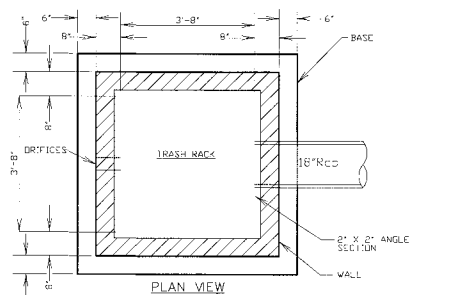
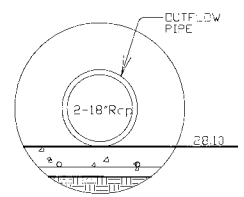
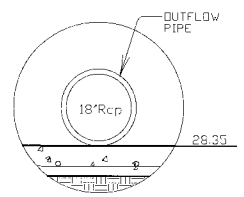
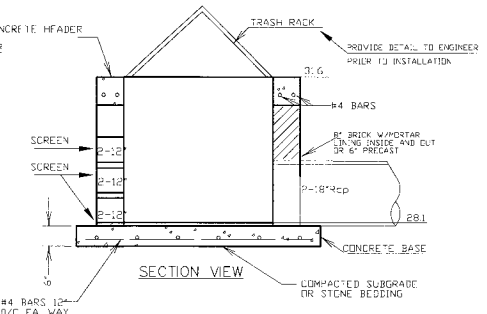
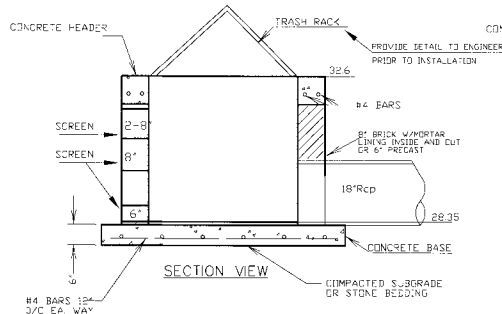
**SEDIMENT TUBES - INSPECTION & MAINTENANCE**

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**SEDIMENT TUBES**  
GENERAL NOTES

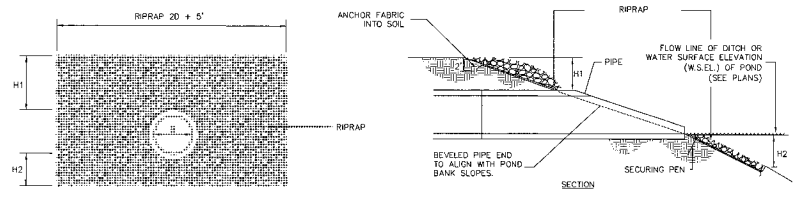
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**OUTLET STRUCTURE 1**  
NOT TO SCALE

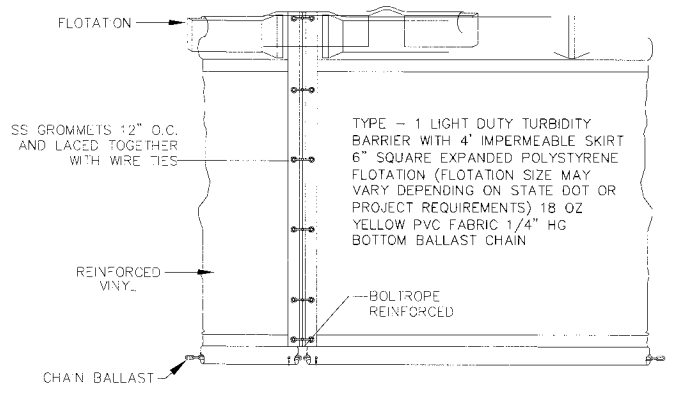
**OUTLET STRUCTURE 2**  
NOT TO SCALE



NOTES:  
1. SEE REFERENCED SPECIFICATION SECTIONS FOR GENERAL, PRODUCT AND EXECUTION REQUIREMENTS.  
2. RIP RAP SHALL BE HAND PLACED ON ENGINEERING FABRIC.  
3. BERKELEY COUNTY REQUIRES RIP RAP TO BE GROUTED TOGETHER IN PLACE.

H1 = 2' MINIMUM OR TO TOP OF POND OR DITCH.  
H2 = FOR DITCH: 1' MINIMUM OR TO FLOW LINE OF DITCH.  
FOR POND: 1' MINIMUM BELOW W.S.E.L. OR INVERT OF PIPE, WHICHEVER IS LOWER.

**RIP RAP AT RCP CULVERT OUTLET**  
NOT TO SCALE



TYPE - 1 LIGHT DUTY TURBIDITY BARRIER WITH 4' IMPERMEABLE SKIRT  
6" SQUARE EXPANDED POLYSTYRENE FLOTATION (FLOTATION SIZE MAY VARY DEPENDING ON STATE DOT OR PROJECT REQUIREMENTS) 18 OZ YELLOW PVC FABRIC 1/4" HG BOTTOM BALLAST CHAIN

**ENVIRO-USA TYPE-1 TURBIDITY CURTAIN DETAIL**  
NOT TO SCALE

Revision No.	Date	Description	By	App'd
1				

**SWPPP DETAILS**  
PREPARED FOR  
**BRICKHOPE SELF STORAGE**  
CITY OF GOOSE CREEK, SOUTH CAROLINA  
DATE: September 12, 2022

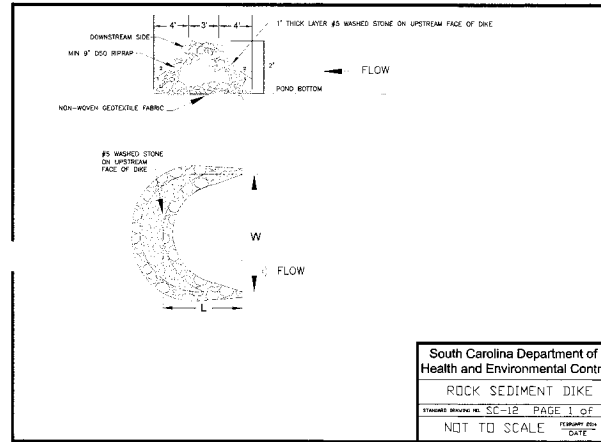
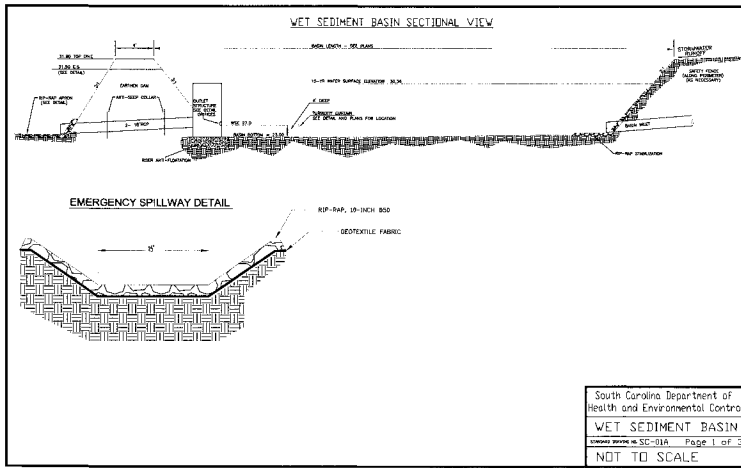
**McCORMICK and ASSOCIATES OF S.C., INC.**  
CIVIL ENGINEERS  
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464  
(843) 971-3646 Office (843) 861-7532 Fax mccormickassoc@south.net

Project No: 571 Drawing No. 44 of 117

**SOUTH CAROLINA**  
McCormick and Associates of S.C., Inc. No. C02217  
REGISTERED PROFESSIONAL ENGINEER

**SOUTH CAROLINA**  
NO. 19486  
REGISTERED PROFESSIONAL ENGINEER

**FINAL DRB**  
PROFESSIONAL ENGINEER NO. 19486



**WET DETENTION POND**

**Installation:**

The permanent pool shall be four (4) feet in depth.

Acceptable trash guards include:

- Hoods that extend at least 6-inches below the permanent pool water surface elevation.
- Reverse flow pipes where the outlet structure inlet is located at least 6-inches below the permanent pool water surface elevation.
- Trash boxes made of sturdy wire mesh.

**Inspection and Maintenance:**

The side slopes of the pond shall be mowed monthly.

Since decomposing vegetation captured in the wetland can release pollutants, especially nutrients, it may be necessary to harvest dead vegetation annually. Otherwise the decaying vegetation can export pollutants out of the pond and also can cause nuisance conditions to occur.

Debris shall be cleared from all inlet and outlet structures monthly.

All eroded or undercut areas shall be repaired as needed.

A sediment marker shall be placed in the forebay to determine when sediment removal is required.

Sediment accumulations in the main pond area shall be monitored and sediment shall be removed when the permanent pool volume has been significantly filled and/or the pond becomes eutrophic.

South Carolina Department of Health and Environmental Control  
**WET DETENTION POND**  
 DRAWING NO. WO-02 Page 2 of 2

**ROCK SEDIMENT DIKE - GENERAL NOTES**

- Rock sediment dikes should not be placed in Waters of the State or USGS blue-line streams (unless approved by Federal Authorities).
- A non-woven geotextile fabric shall be installed over the soil surface where the rock sediment dike is to be placed.
- The body of a rock sediment dike shall be composed of 9-inch D50 riprap at a minimum.
- The upstream face of the rock sediment dike shall be composed of a 1-foot thick layer of 3/4-inch to 1-inch D50 washed stone placed at a slope of 2:1V.
- Rock sediment dikes shall have a minimum top flow length of 3-feet (2-foot flow length through the riprap and 1-foot flow length through the washed stone).
- The rock must be placed by hand or mechanical placement (no dumping of rock to form the sediment dike) to achieve proper dimensions.
- A sediment sump shall be located on the upstream side of the structure to provide sediment storage. The upstream side of the sump shall have a slope of 2:1V to inhibit erosion of the sediment storage area. The minimum depth of the sump shall be 2-feet.
- Mark the sediment clean-out level of the sediment dike with a stake in the field.
- Seed and mulch all disturbed areas.

**ROCK SEDIMENT DIKE - INSPECTION AND MAINTENANCE**

- The key to a functional rock sediment dike is weekly inspection, routine maintenance and regular sediment removal.
- Attention to sediment accumulations within the rock sediment dike is extremely important. Accumulated sediment deposition should be continually monitored in the trap and removed when necessary.
- Remove accumulated sediment when it reaches 50% of the designed sediment storage volume as marked by the clean-out stake.
- Removed sediment from the rock sediment dike shall be placed in suitable storage areas or spread thinly across the disturbed area. Stabilize the removed sediment after it is relocated.
- Regular inspections of rock sediment dikes should be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 3/8-inch or more of precipitation.
- All rock sediment dikes should be removed within 30 days after final stabilization is achieved. Dispose of all construction materials appropriately. Disturbed areas resulting from removal shall be permanently stabilized.

South Carolina Department of Health and Environmental Control  
**ROCK SEDIMENT DIKE**  
 DRAWING NO. SC-1B PAGE 2 of 2  
 GENERAL NOTES

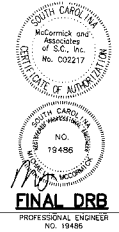
Revision No.	Date	Description	By	CHK
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**SWPPP DETAILS**  
 PREPARED FOR  
**BRICKHOPE SELF STORAGE**  
 CITY OF GEORGE OREGON, SOUTH CAROLINA

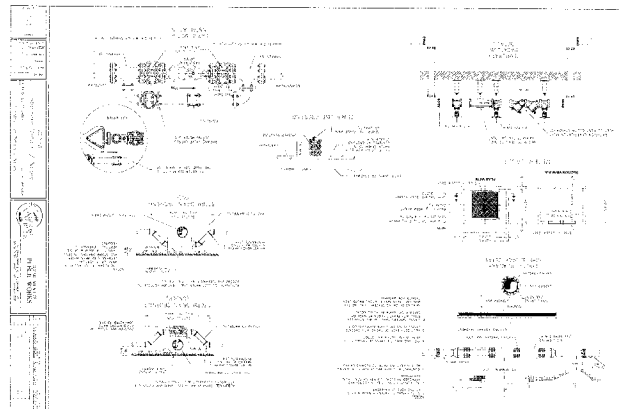
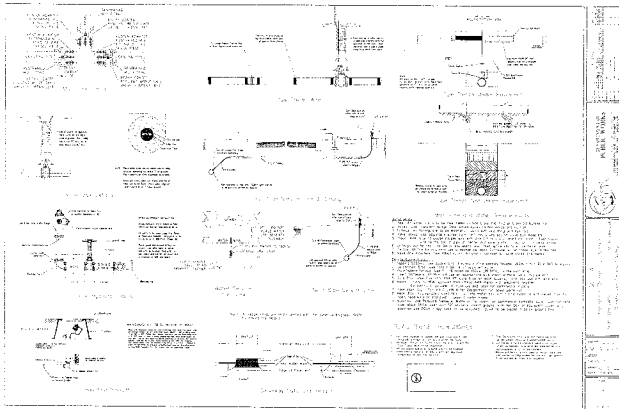
DATE: September 12, 2022

**McCORMICK and ASSOCIATES OF S.C., INC.**  
 CIVIL ENGINEERS  
 1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464  
 (843) 971-3646 Office (843) 881-7532 Fax mccormickassocia@bellsouth.net

Project No. 571 Drawing No. 01 of 04







**WATER NOTES:**

1. WATER INSTALLATION SHALL BE IN ACCORDANCE WITH TEN STATE STANDARDS, S.C.D.H.C., AND GOOSE CREEK DEPARTMENT OF PUBLIC WORKS (GCDPW) REQUIREMENTS.
2. CONTRACTOR SHALL BE FAMILIAR WITH ALL REQUIREMENTS OF THE GCDPW AND SHALL NOTIFY GCDPW PRIOR TO BEGINNING CONSTRUCTION AND SECURE ALL INSPECTIONS THEREAFTER.
3. RADIIUS (DEFLACT) WATER LINES IN LIEU OF FITTINGS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. DEFLECTION NOT TO EXCEED 75% OF MANUFACTURER'S RECOMMENDATION.
4. ALL WATER LINES SHALL HAVE A MINIMUM DIAMETER OF 4", A MINIMUM COVER OF 36" AND A MAXIMUM COVER OF 48". ALL UTILITY CROSSINGS, I.E. STORM DRAINAGE & SANITARY SEWER, SHALL HAVE A FULL SECTION OF D.P.P. CENTERED AT THE CROSSING IN ACCORDANCE WITH S.C.D.H.C. AND GCDPW REQUIREMENTS.
5. ALL TEES, BENDS, PLUGS AND HYDRANTS ON LINES 3 INCHES INSIDE DIAMETER OR LARGER SHALL BE PROVIDED WITH THRUST BLOCKING, IR RODS, OR OTHER APPROVED METHOD OF RESTRAINT PER GCDPW.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK.
7. ALL WATER LINES UNDER TRAFFIC AREAS SHALL BE:
  - A. DUCTILE IRON WITH FIP D LOCK GASKETS POLY WRAPPED TO GCDPW SPECIFICATIONS OR
  - B. DUCTILE IRON IN A STEEL CASING WITH CASING SPACERS.
 THE STEEL CASING OR D.P.P. SHALL EXTEND A MINIMUM OF 3 LF BEYOND THE BACK OF CURB.
8. UPON COMPLETION OF CONSTRUCTION OF THE WATER SYSTEM, THE APPROVAL PROCEDURE SHALL BE AS FOLLOWS:
  - A. A PRESSURE TEST IN ACCORDANCE WITH GCDPW REQUIREMENTS WILL BE WITNESSED BY THE ENGINEER AND WITNESSED BY GCDPW AND THE ENGINEER.
  - B. AFTER A PASSING PRESSURE TEST, THE CONTRACTOR SHALL TAKE REQUIRED SAMPLES FOR BACTERIAL TESTING.
  - C. A COMPLETE WATER SYSTEM AS-BUILT DRAWING IN A FORMAT ACCEPTABLE TO GCDPW SHALL BE PROVIDED FOR FINAL INSPECTION.
  - D. ANY DEFICIENCIES WILL BE CORRECTED BY THE CONTRACTOR AND FINAL INSPECTION RESCHEDULED.
9. ALL VALVES AND FIRE HYDRANTS SHALL OPEN CLOCKWISE AS PER GCDPW REQUIREMENTS.
10. UNDER NO CIRCUMSTANCES SHALL VALVES OR FIRE HYDRANTS BE PLACED IN SIDE WALKS, CURB AND GUTTER OR ROADWAYS WITHOUT SPECIFIC WRITTEN APPROVAL FROM GCDPW.
11. FIRE HYDRANTS SHALL BE PLACED AS FAR AS PRACTICAL FROM THE ROADWAY (SEE DETAIL).

**UTILITY DETAILS**  
PREPARED FOR  
**BRICKHOPE SELF STORAGE**  
CITY OF GOOSE CREEK, SOUTH CAROLINA

DATE: September 12, 2022

**McCORMICK and ASSOCIATES OF S.C., INC.**  
CIVIL ENGINEERS  
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464  
(843) 971-3646 Office (843) 881-7532 Fax mccormickassoc@bellsouth.net

Project No: 571 Drawing No: C17 of C14



**FINAL DRG**  
PROFESSIONAL ENGINEER  
NO. 19486

Revision No.	Date	Description	By	App'd
1				
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**BRICKHOPE SELF STORAGE**  
 HENRY E. BROWN BLVD.  
 GOOSE CREEK S.C.

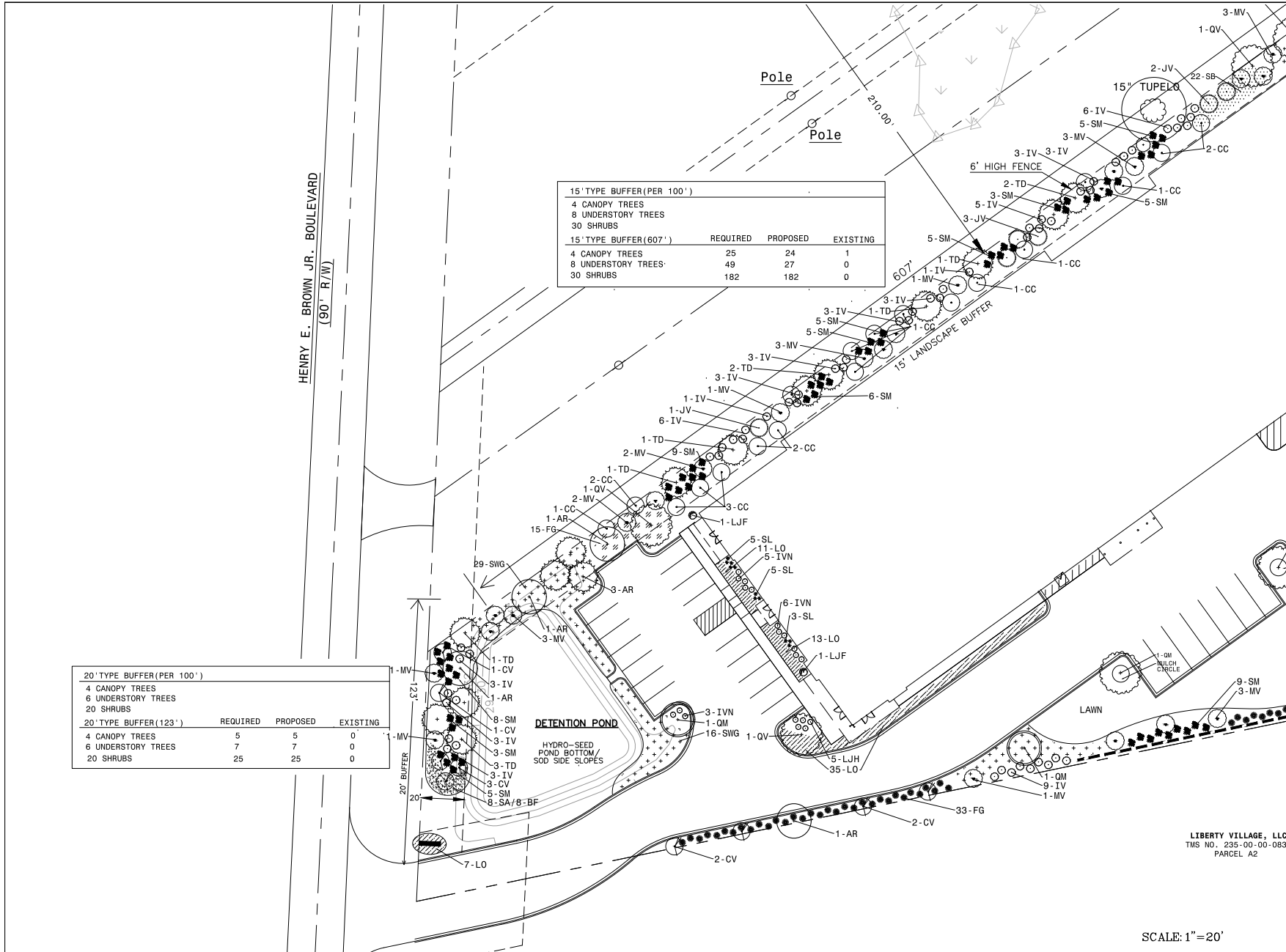


Revision:      Date:  
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**LANDSCAPE PLAN**  
**L1**

LIBERTY VILLAGE, LLC  
 TMS NO. 235-00-00-083  
 PARCEL A2

SCALE: 1"=20'



15' TYPE BUFFER (PER 100')			
	REQUIRED	PROPOSED	EXISTING
4 CANOPY TREES	25	24	1
8 UNDERSTORY TREES	49	27	0
30 SHRUBS	182	182	0

15' TYPE BUFFER (607')			
	REQUIRED	PROPOSED	EXISTING
4 CANOPY TREES	25	24	1
8 UNDERSTORY TREES	49	27	0
30 SHRUBS	182	182	0

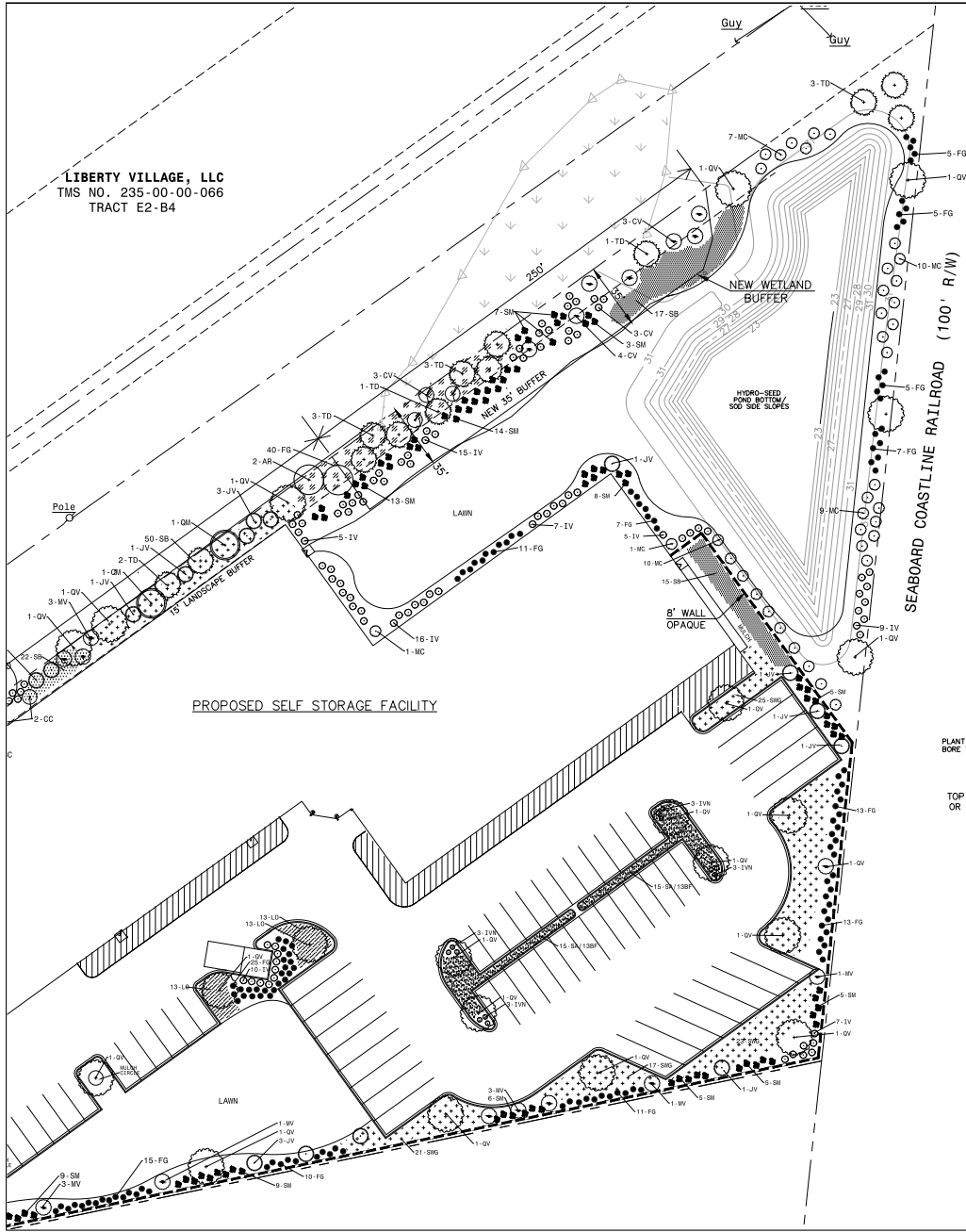
20' TYPE BUFFER (PER 100')			
	REQUIRED	PROPOSED	EXISTING
4 CANOPY TREES	5	5	0
6 UNDERSTORY TREES	7	7	0
20 SHRUBS	25	25	0

20' TYPE BUFFER (123')			
	REQUIRED	PROPOSED	EXISTING
4 CANOPY TREES	5	5	0
6 UNDERSTORY TREES	7	7	0
20 SHRUBS	25	25	0



LIBERTY VILLAGE, LLC  
TMS NO. 235-00-00-066  
TRACT E2-B4

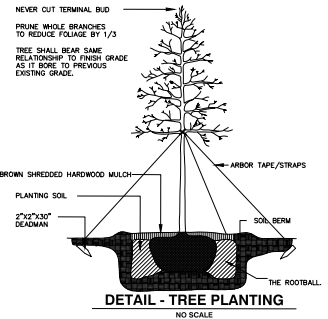
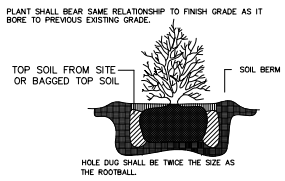


TOPSOIL  
SPREAD EVENLY 2" TOPSOIL AT ALL NEWLY  
PLANTED AREAS.  
MULCH 3" SHREDDED HARDWOOD MULCH/DARK BROWN  
LAWN BERMUDA SOD

NOTE: CONTRACTOR TO VERIFY COUNTS FROM ACTUAL PLAN.

PLANT SCHEDULE				
CODE	TREES	COMMON NAME	HEIGHT/SIZE	QUANTITY
TD	LOQUSTRUM TREE FORM(SPECIEM)	FROM PELICANS ROOST NURSERY	6'-7'	
OV	QUERCUS VIRGINIANA	LIVE OAK	2.5" CALIPER	
OM	QUERCUS PHELLOS	MILLOW OAK	2.5" CALIPER	
AR	SABAL PALMETTO	SABAL PALMETTO	12" HT	
JV	UNDEFS JORY TREES			
JV	JUNIPERUS VIRGINIANA	RED CEDAR	6" HT	
MV	SPARTINA BAKERI	SPARTINA GRASS	6" HT	
CC	CHONANTHUS VIRGINICUS	FRINGE TREE	6" HT	
SHRUBS				
SWG	SWEET MULHY GRASS	SWEET GRASS	3 GAL	
SB	SPARTINA BAKERI	SPARTINA GRASS	3 GAL	
LO	LOMANDRA	BRICEZ GRASS	1 GAL	
IV	ILEX VOMITORIA	TAUPON HOLLY	7 GAL	
FZ	FARKHACHIE GRASS	FARKHACHIE GRASS	3 GAL	
SM	SABAL MINOR	DWF PALMETTO	3 GAL	
SL	SPIKER LILY	SPIKER LILY	3 GAL	
SA/BF	SPOCKES ASTER(SA)/BLANKET FLOWER(BF)		1 GAL	
MC	MERICA CORPORA	WAX WHOLE	7 GAL	
LF	LEUCODENDRON JACK FROST	WAX WHOLE	7 GAL	

- IRRIGATION NOTES**
1. THE CONTRACTOR IS ADVISED TO VISIT THE SITE AND VERIFY FIELD CONDITIONS.
  2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES.
  3. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.
  4. ALL PLANTED AREAS SHALL BE IRRIGATED BY AN AUTOMATIC LANDSCAPE IRRIGATION SYSTEM. SYSTEM SHALL BE DESIGNED BY IRRIGATION CONTRACTOR. CONTRACTOR SHALL VERIFY AMOUNT OF WATER METERS NEEDED ON-SITE FOR APPROVAL.
  5. LANDSCAPE CONTRACTOR SHALL COORDINATE PIPING AND CONNECTION TO AN EX OR NEW APPROVED WATER METERS.
  6. PIPE SLEEVES SHALL BE INSTALLED BY IRRIGATION CONTRACTOR AS NECESSARY. COORDINATE WITH GENERAL CONTRACTOR.
  7. IRRIGATION TIME CLOCK AND POWER SUPPLY LOCATION SHALL BE COORDINATED WITH OWNER.
  8. EXISTING ECOLOGY AND AESTHETICS WILL OFTEN CAUSE ADJUSTMENT OF THESE PLANS TO FIT SITE. STAKE OUT BY CONTRACTOR AND FIELD ADJUSTMENT BY LANDSCAPE ARCHITECT ARE ABSOLUTELY NECESSARY.
  9. IRRIGATION SYSTEM SHALL BE GUARANTEED BY CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNER.
  10. THE LOCATION OF ALL ABOVE GROUND AND BELOW GROUND UTILITIES IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. DAMAGE TO UTILITIES AND PERSONAL INJURY AS A RESULT OF THE FAILURE TO DETERMINE AND/OR RESPECT UTILITY LOCATIONS IS THE SOLE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. UTILITY LOCATIONS ARE NOT SHOWN ON THESE PLANS.



**PLANT GUARANTEE**  
LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR NEW PLANT MATERIAL'S HEALTH UNTIL FINAL ACCEPTANCE BY OWNER. OWNER RESERVES THE RIGHT TO REJECT ANY DEAD OR DECLINING PLANT MATERIAL AT FINAL INSPECTION.

**CLEARING OF DEBRIS**  
LANDSCAPE CONTRACTOR SHALL CLEAR ALL PROPOSED PLANTED AREAS OF ALL ROCKS AND DEBRIS BEFORE PLANTING.

**UNDERGROUND UTILITIES**  
SEE CONSTRUCTION PLANS



**BRICKHOPE SELF STORAGE**  
HENRY E. BROWN BLVD.  
GOOSE CREEK S.C.



Revision: \_\_\_\_\_ Date: 9/18/22

**LANDSCAPE PLAN**  
**L2**

SCALE: 1"=20'

LIBERTY VILLAGE, LLC  
 TR 1 NO. 235-00-00-005  
 TRACT E2-B4



BRUCKHOPE SELF STORAGE  
 HENRY E. BROWN BLVD.  
 GOOSE CREEK S.C.



Revisor: \_\_\_\_\_ Date: 9/18/22

LANDSCAPE RENDERING  
**L3**

LIBERTY VILLAGE, LLC  
 TRS NO. 235-00-00-083  
 PARCEL #2

25' TYPE BUFFER (PER 100')

	REQUIRES	PROPOSED	EXISTING
4 CANOPY TREES	5	5	0
6 UNDERSTORY TREES	7	7	0
20 SHRUBS	25	25	0

15' TYPE BUFFER (PER 100')

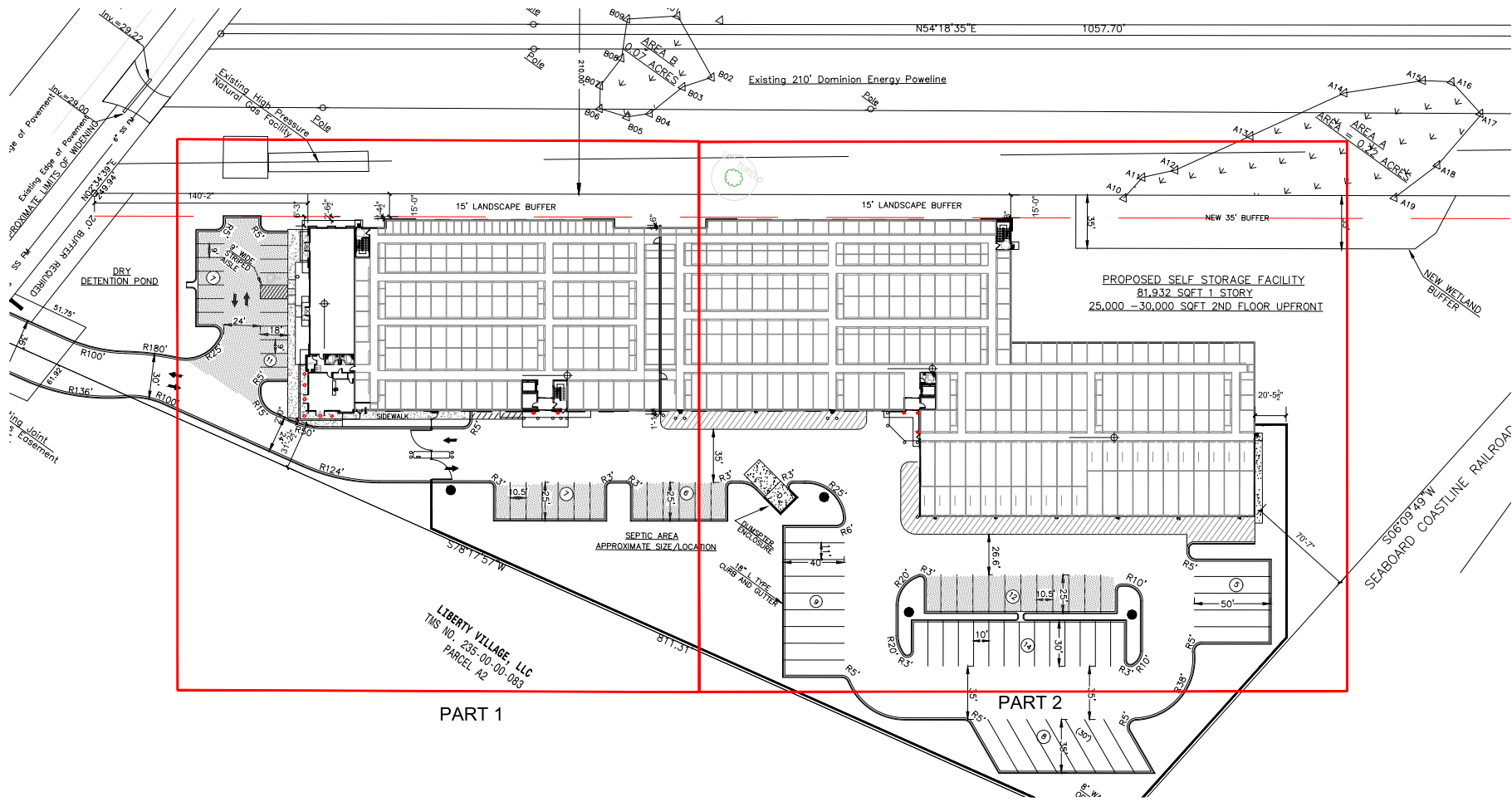
	REQUIRES	PROPOSED	EXISTING
4 CANOPY TREES	25	24	1
6 UNDERSTORY TREES	40	27	1
20 SHRUBS	182	182	0

HENRY E. BROWN JR. BOULEVARD

SEABOARD COASTLINE RAILROAD (100' R/W)

PROPOSED SELF STORAGE FACILITY





LIBERTY VILLAGE, LLC  
TMS NO. 235 00 00 063  
PARCEL A2

PART 1

PART 2

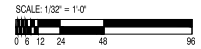
PROPOSED SELF STORAGE FACILITY  
81,932 SQFT 1. STORY  
25,000 - 30,000 SQFT 2ND FLOOR UPFRONT

1 ARCHITECTURAL SITE PLAN  
SCALE: 1/32"=1'-0"



AREA CALCULATIONS:

BUILDING TOTAL:	137,918 SF GROSS
FIRST FLOOR TOTAL:	80,287 SF GROSS
SECOND FLOOR TOTAL:	57,631 SF GROSS



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896 JEFFERSON BOULEVARD  
SUITE 200  
MOUNT PLEASANT, SC 29564  
LOUISE F. HENNINGER, AIA  
www.lfkarch.com  
Phone: 803.330.8888

PROJECT NUMBER:	21-153
DESIGNER:	JHB
DRAWN:	LFK
CHECKED:	LFK

REVISION NOTES:

BRICKHOPE SELF STORAGE  
HENRY BROWN BOULEVARD  
GOOSE CREEK, SC  
ARCHITECTURAL SITE PLAN

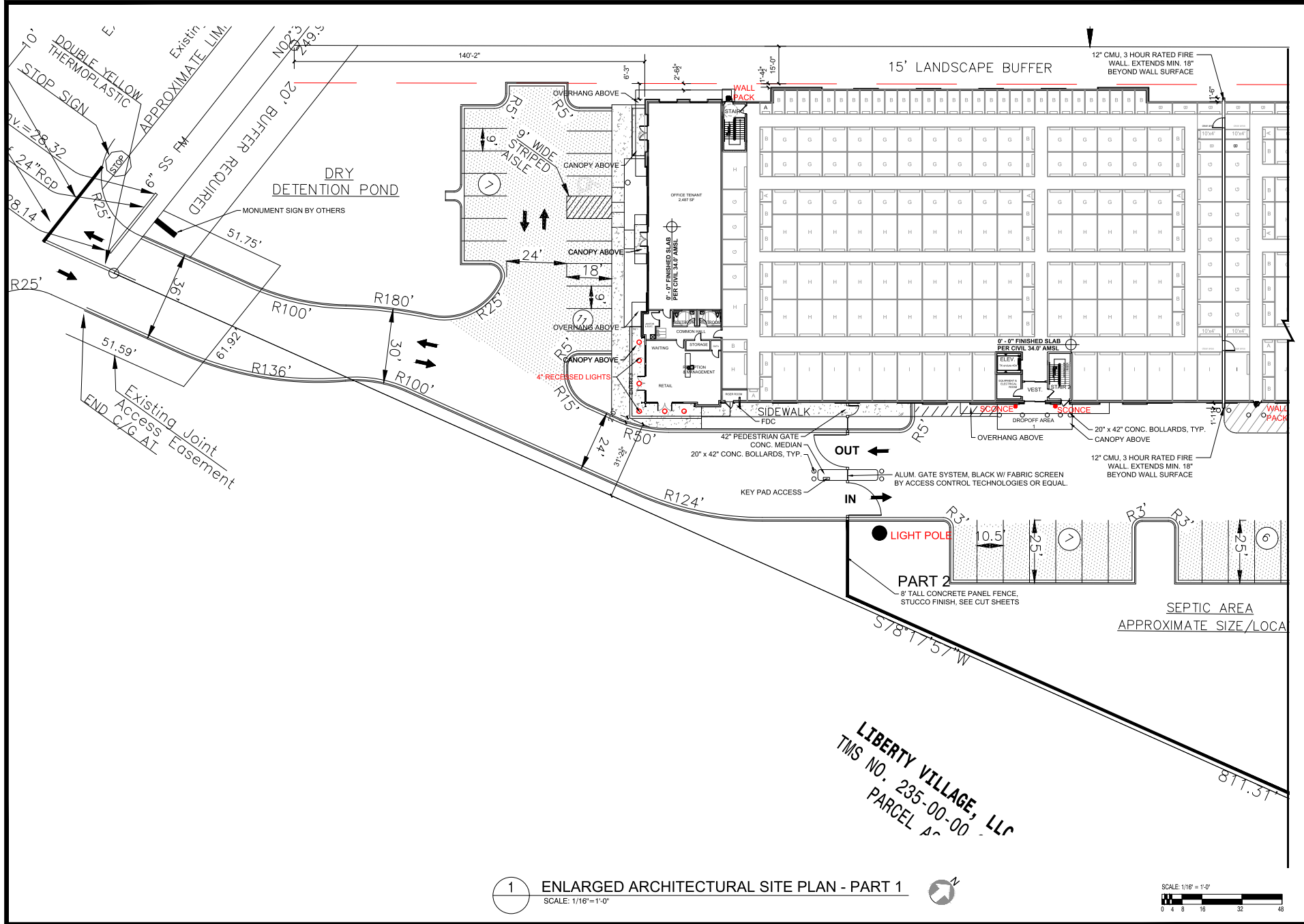
SHEET NUMBER & TITLE

A001

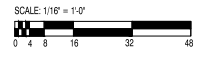
FINAL ARB  
09.20.2022

ORIGINAL LAYOUT SIZE: 24x36

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1 ENLARGED ARCHITECTURAL SITE PLAN - PART 1  
 SCALE: 1/16"=1'-0"



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 LOUISE F. HENNINGER, AIA  
 louise@lfkarch.com  
 phone: 803.330.8949

DATE	21-153
DESIGNER	JMB
CHECKED	LFK

REVISION NOTES:

BRICKHOPE SELF STORAGE  
 HENRY BROWN BOULEVARD  
 GOOSE CREEK, SC  
 ENLARGED ARCHITECTURAL SITE PLAN - PART 1

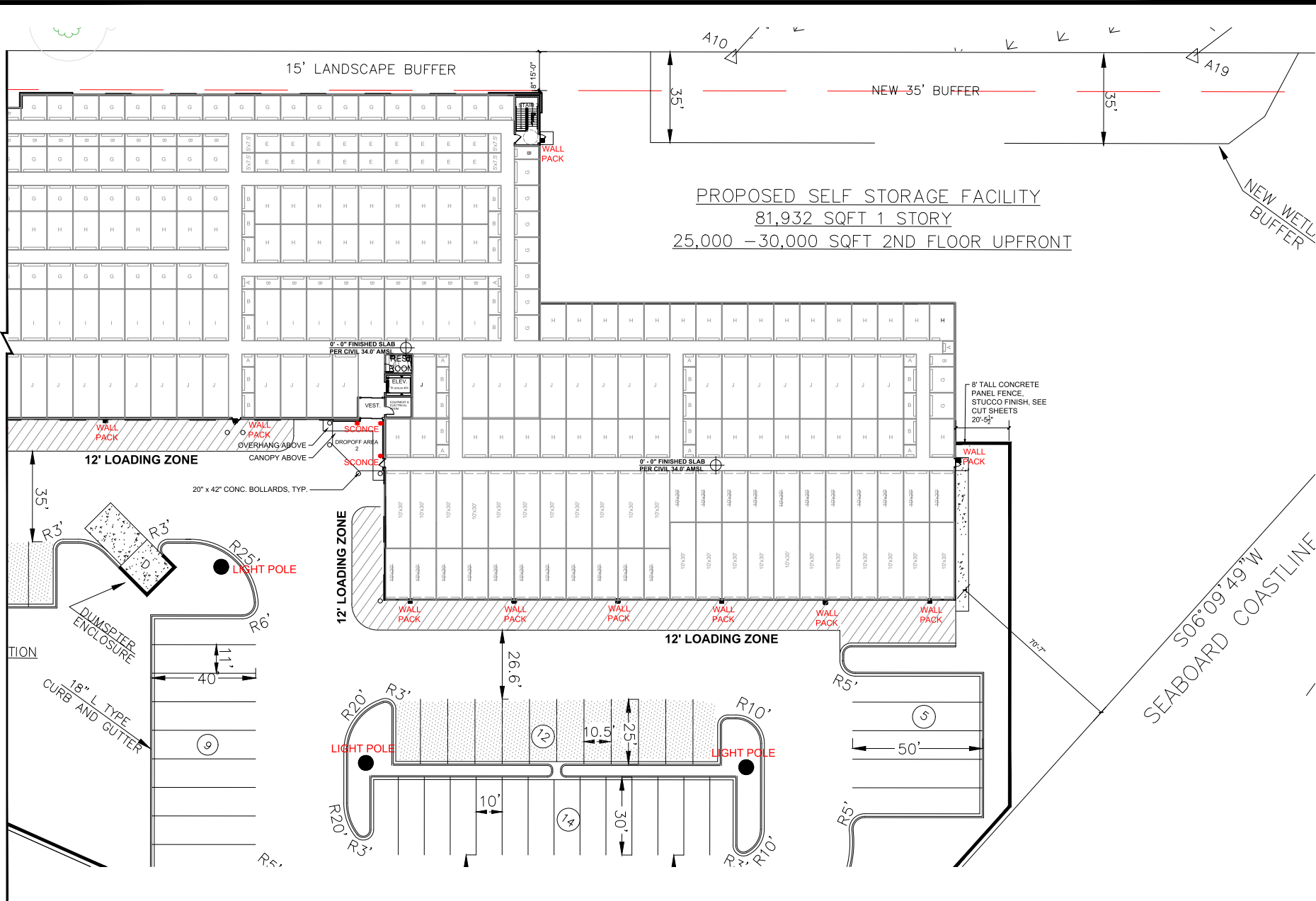
SHEET NUMBER & TITLE

A002

FINAL ARB  
 09.20.2022

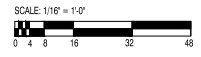
ORIGINAL LAYOUT SIZE: 24x36

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PROPOSED SELF STORAGE FACILITY  
 81,932 SQFT 1 STORY  
 25,000 - 30,000 SQFT 2ND FLOOR UPFRONT

1 ENLARGED ARCHITECTURAL SITE PLAN - PART 2  
 SCALE: 1/16"=1'-0"



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 www.lfkarchitects.com  
 phone: 803.339.8585

DESIGNER	LFK
CHECKED	LFK
DRAWN	LFK
JOB	
DATE	21-153

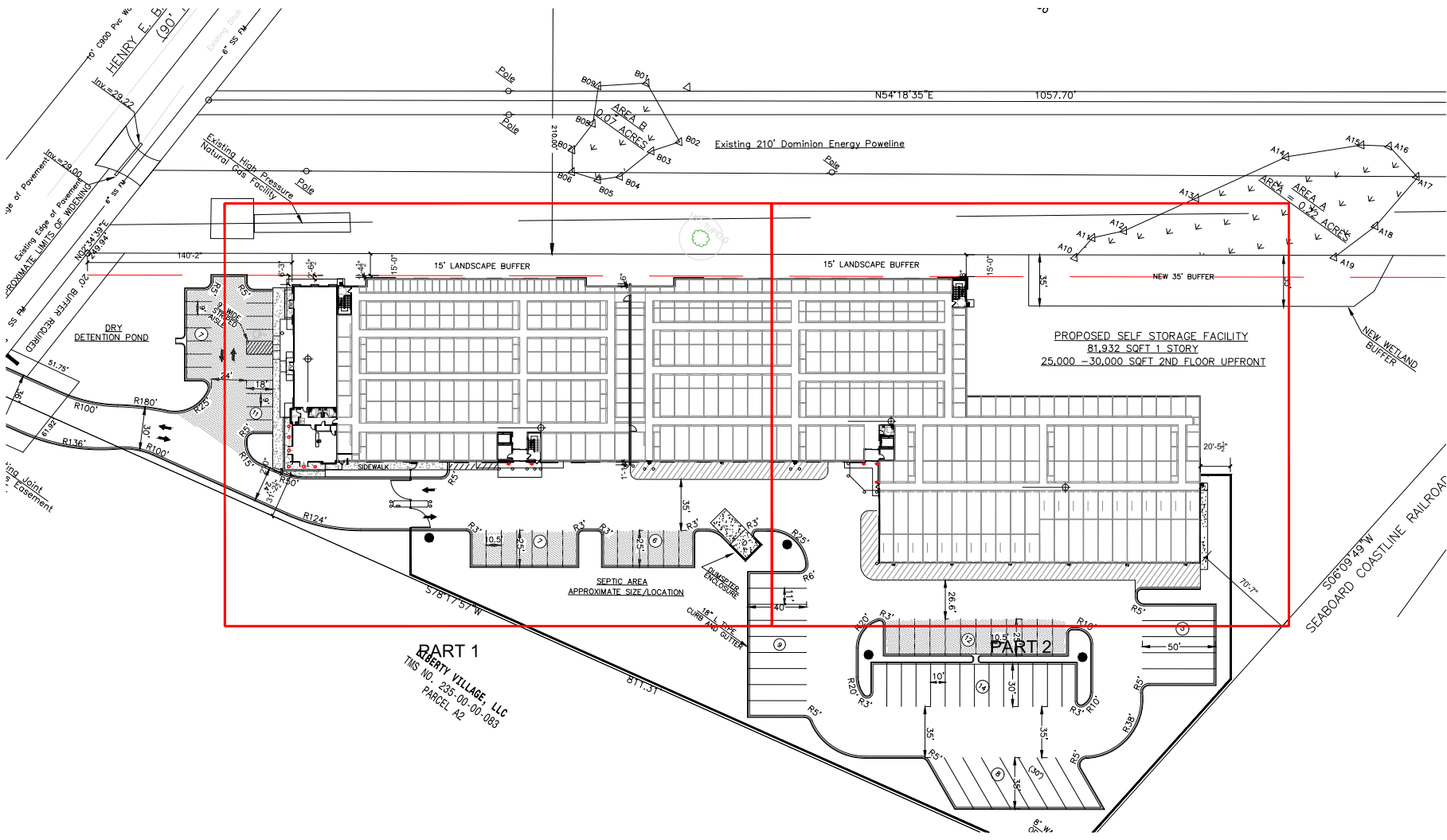
REVISION NOTES:

BRICKHOPE SELF STORAGE  
 HENRY BROWN BOULEVARD  
 GOOSE CREEK, SC  
 ENLARGED ARCHITECTURAL SITE PLAN - PART 2

SHEET NUMBER & TITLE

A003

FINAL ABB  
 09.20.2022

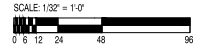


**PART 1**  
 LIBERTY VILLAGE, LLC  
 TMS NO. 235-00-00-083  
 PARCEL A2

**1 FIRST FLOOR PLAN**  
 SCALE: 1/32"=1'-0"



AREA CALCULATIONS:  
 FIRST FLOOR TOTAL: 80,287 SF GROSS



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 LICENSE # 18348 IN S.C.  
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 Phone: 803.339.8888

CS NUMBER:	Z1153
DRAWN:	JMB
CHECKED:	LFK

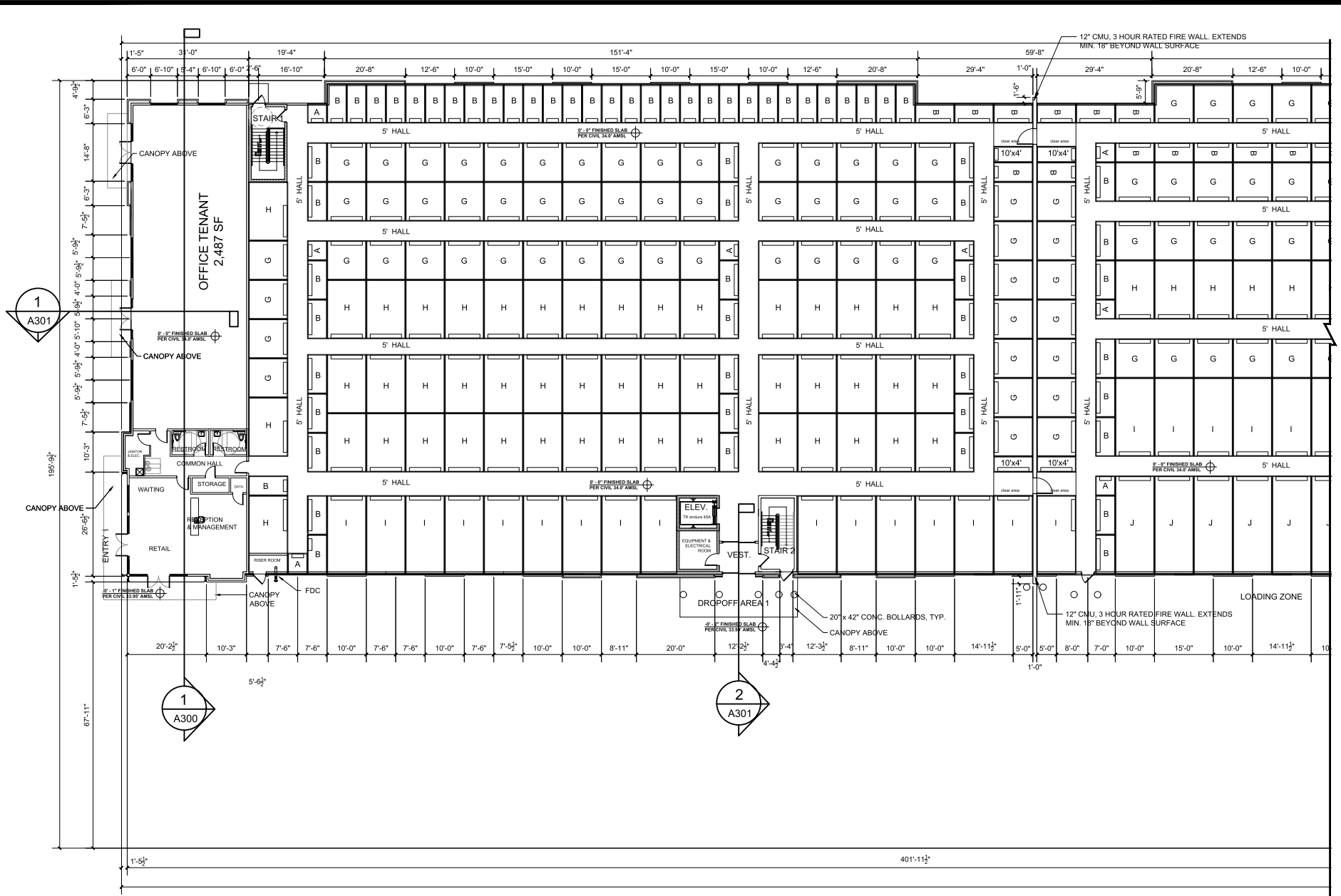
REVISION NOTES:

**BRICKHOPE SELF STORAGE**  
 HENRY BROWN BOULEVARD  
 GOOSE CREEK, SC  
**FIRST FLOOR PLAN**

SHEET NUMBER & TITLE

**A100**

FINAL ARB  
 09.20.2022



1  
A301

1  
A300

2  
A301

1 ENLARGED FIRST FLOOR PLAN - PART 1  
SCALE: 3/32"=1'-0"



SCALE 3/32" = 1'-0"  
0 1 2 3 4 5 6 7 8 9 10



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JOB NUMBER:	Z1153
DESIGNER:	JHB
DRAWN:	LFK
CHECKED:	LFK

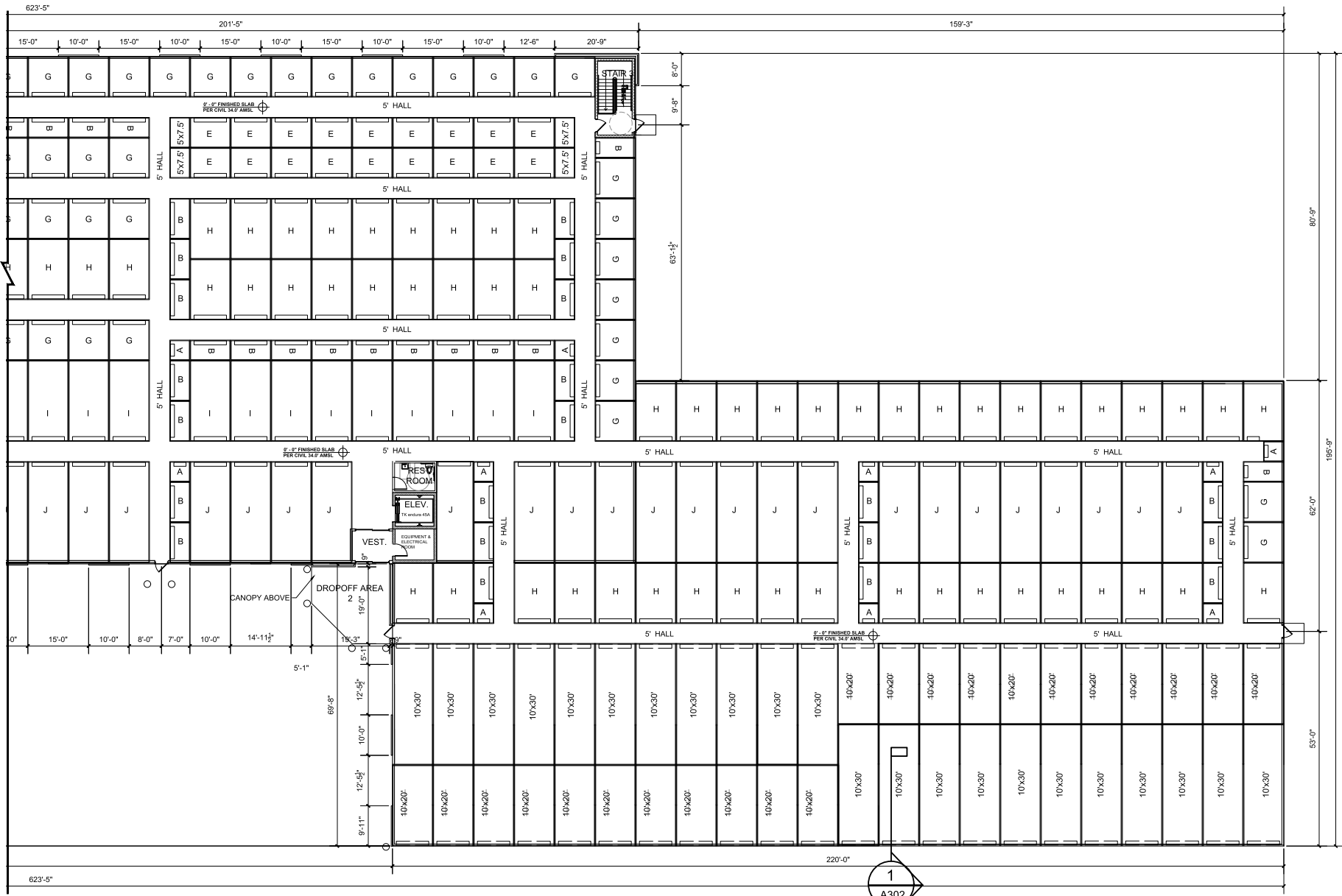
REVISION NOTES:

**BRICKHOPE SELF STORAGE**  
 HENRY BROWN BOULEVARD  
 GOOSE CREEK, SC  
 ENLARGED FIRST FLOOR PLAN - PART 1

SHEET NUMBER & TITLE

**A101**

FINAL ARB  
 09.20.2022



1 ENLARGED FIRST FLOOR PLAN - PART 2  
SCALE: 3/32" = 1'-0"

SCALE 3/32" = 1'-0"  
1" = 1'-0"



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JOB NUMBER: 21-153  
DRAWN: JHB  
CHECKED: LFK

REVISION NOTES:

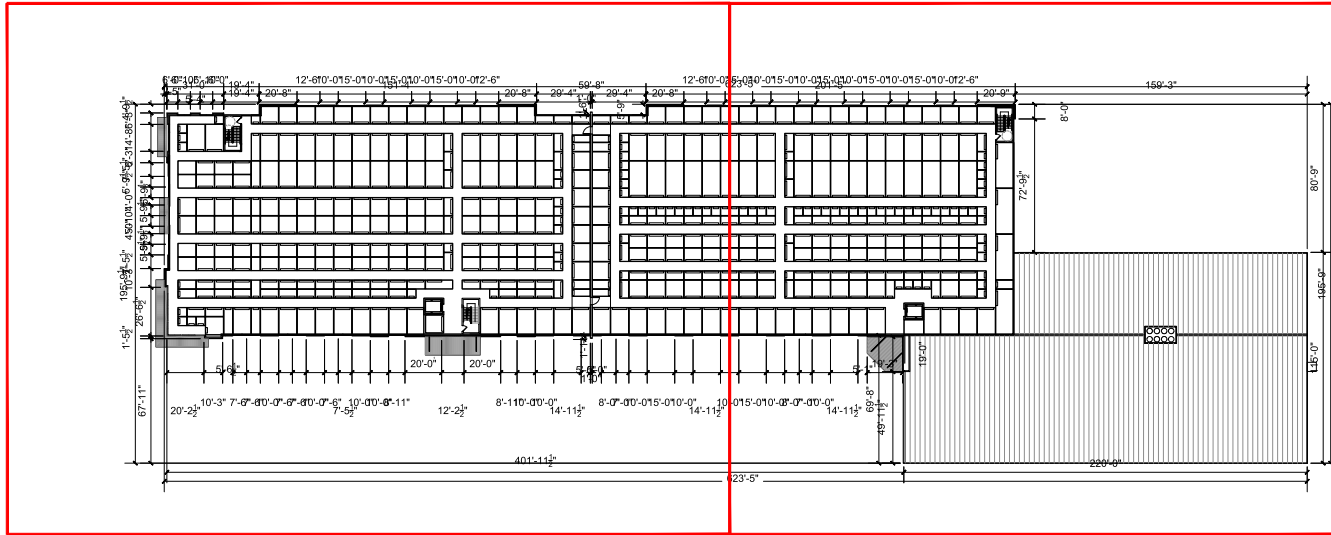
**BRICKHOPE SELF STORAGE**  
HENRY BROWN BOULEVARD  
GOOSE CREEK, SC  
ENLARGED FIRST FLOOR PLAN - PART 2

SHEET NUMBER & TITLE

**A102**

FINAL ARB  
09.20.2022





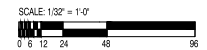
PART 1

PART 2

1 SECOND FLOOR PLAN  
 SCALE: 3/32"=1'-0"



AREA CALCULATIONS:  
 SECOND FLOOR TOTAL: 57,631 SF GROSS



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JOB NUMBER:	21-153
DRAWN:	JMB
CHECKED:	LFK

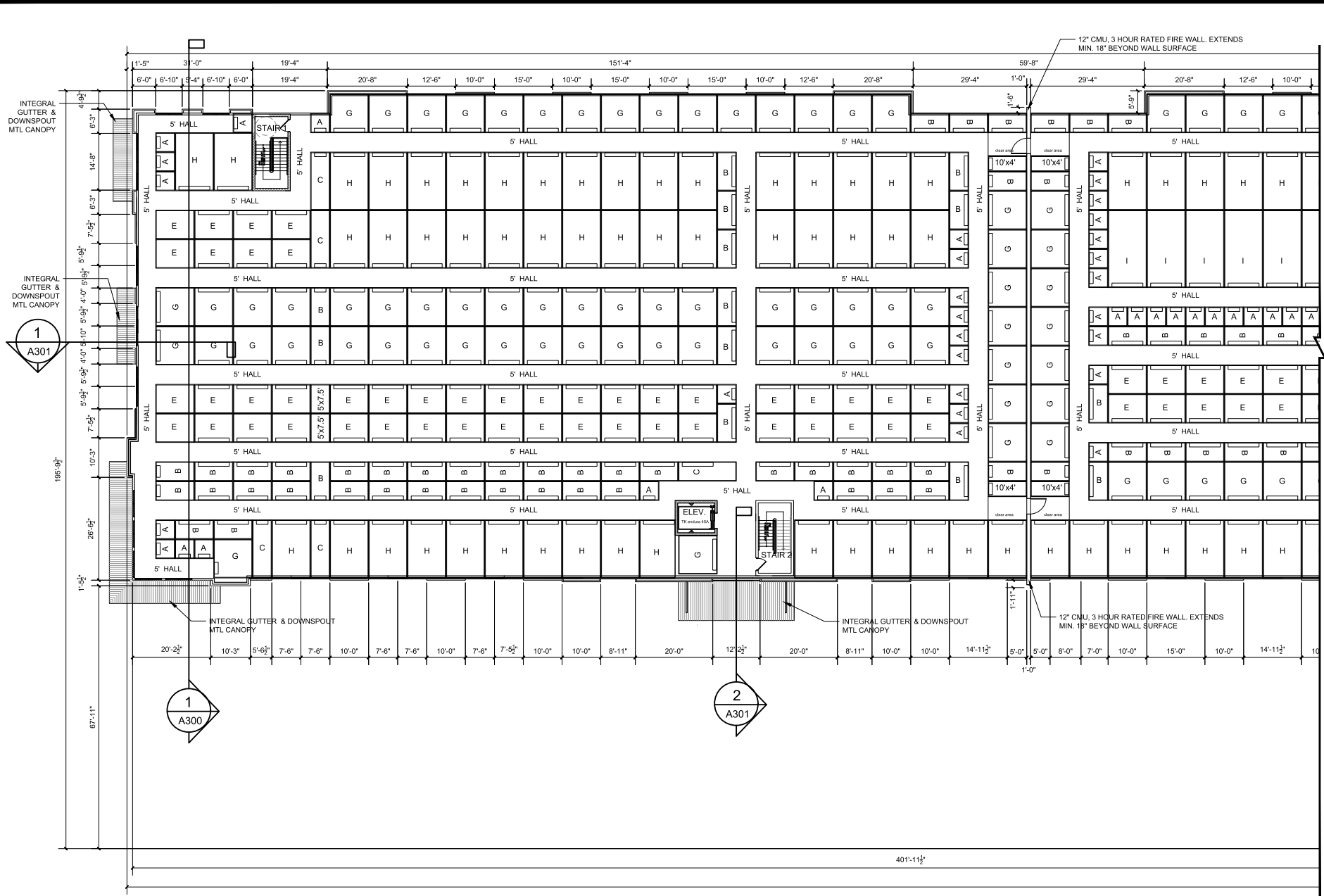
REVISION NOTES:

BRICKHOPE SELF STORAGE  
 HENRY BROWN BOULEVARD  
 GOOSE CREEK, SC  
 SECOND FLOOR PLAN

SHEET NUMBER & TITLE

A103

FINAL ARB  
09.20.2022



1 ENLARGED SECOND FLOOR PLAN - PART 1  
 SCALE: 3/32" = 1'-0"



SCALE 1/32" = 1'-0"  
 1" = 1'-0"



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 phone 843-300-8800

JOB NUMBER	21-110
DRAWN	JHR
CHECKED	LFK

REVISION NOTES:

NO.	DATE	DESCRIPTION

**BRICKHOPE SELF STORAGE**  
 HENRY BROWN BOULEVARD  
 GOOSE CREEK, SC  
 ENLARGED SECOND FLOOR PLAN - PART 1

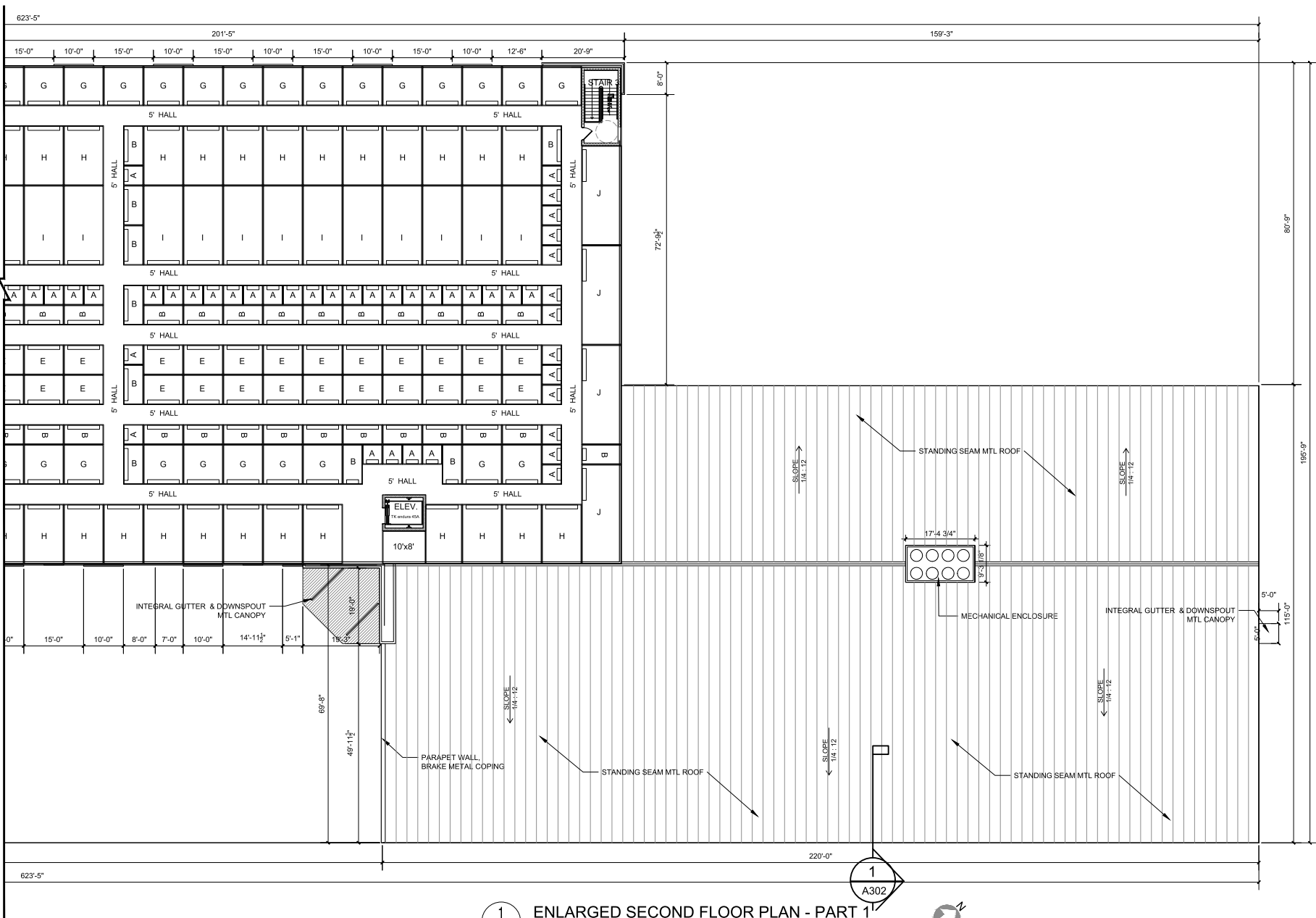
SHEET NUMBER & TITLE

**A104**

FINAL ARB  
 09.20.2022

ORIGINAL LAYOUT SIZE 24x36

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1 ENLARGED SECOND FLOOR PLAN - PART 1  
 SCALE: 3/32" = 1'-0"



SCALE 1/32" = 1'  
 1" = 12"



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 PHONE: 843.771.1100  
 FAX: 843.771.1100  
 www.lfkarch.com

JOB NUMBER: 21-153	DATE: _____
DRAWN: JHR	CHECKED: LFK

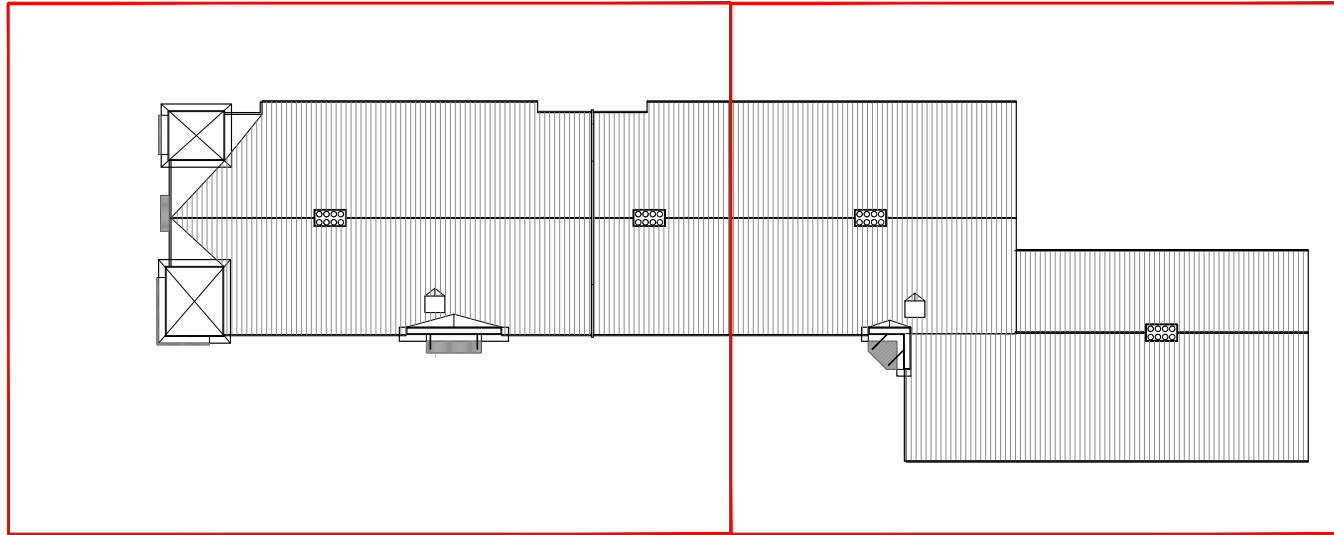
REVISION NOTES:

**BRICKHOPE SELF STORAGE**  
 HENRY BROWN BOULEVARD  
 GOOSE CREEK, SC  
 ENLARGED SECOND FLOOR PLAN - PART 2

SHEET NUMBER & TITLE

**A105**

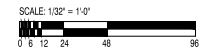
FINAL ARB  
 09.20.2022



PART 1

PART 2

1 ROOF PLAN  
 SCALE: 1/32" = 1'-0"



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 LOISELLE ANDRETTI, AIA  
 LOISELLEANDRETTI.COM  
 PHONE 843-202-8800

JOB NUMBER: 21-153	DATE: 09/20/2022
DRAWN BY: JHR	CHECKED BY: LFK

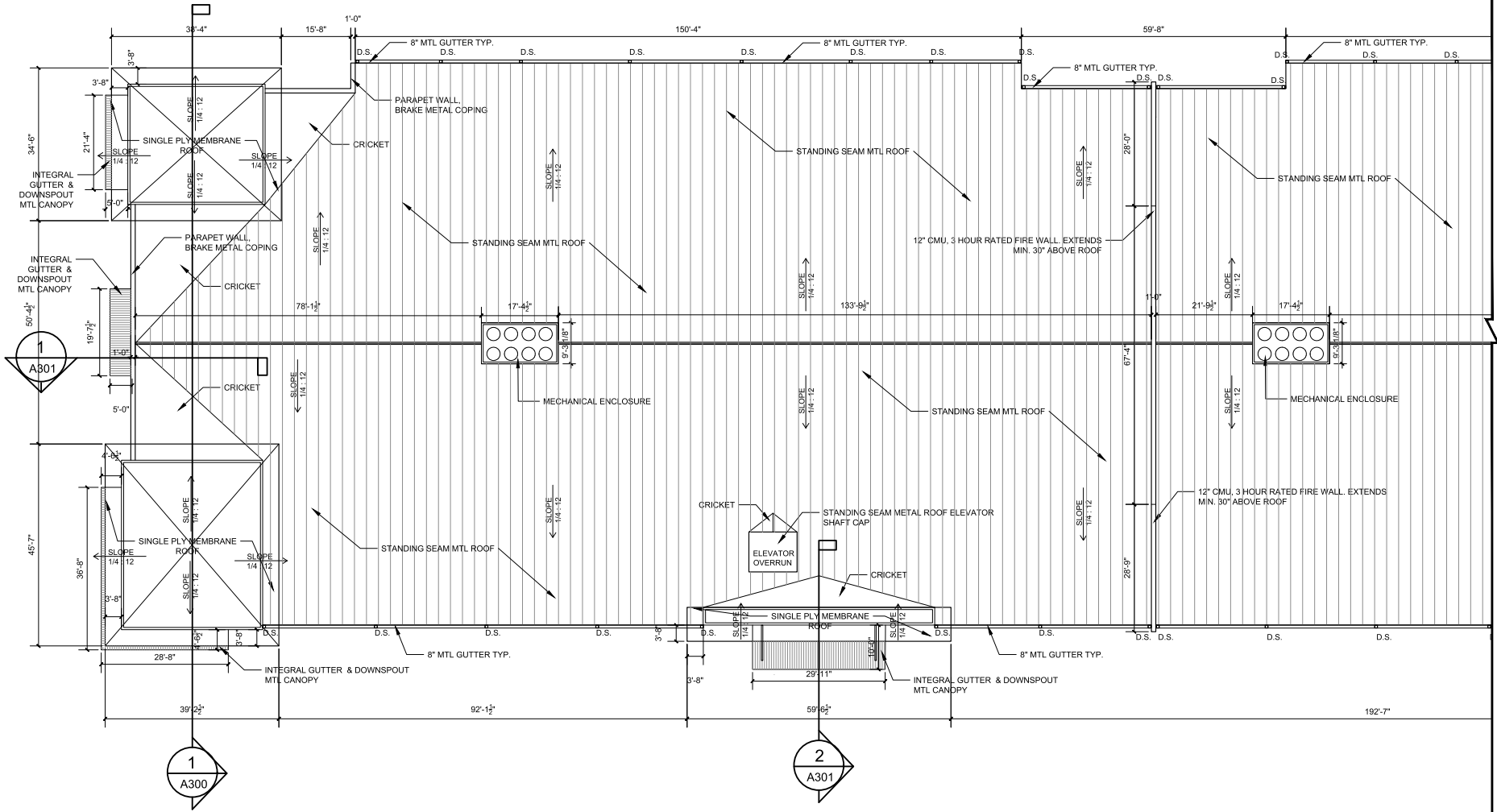
REVISION NOTES:

**BRICKHOPE SELF STORAGE**  
 HENRY BROWN BOULEVARD  
 GOOSE CREEK, SC  
 ROOF PLAN

SHEET NUMBER & TITLE

**A106**

FINAL ARB  
 09.20.2022



1 ENLARGED ROOF PLAN - PART 1  
SCALE: 3/32" = 1'-0"



SCALE: 1/32" = 1'-0"  
1" = 12'-0"



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LORIE A. ANDRETTI, AIA  
lorie@lflkarch.com  
Phone: 843-200-8800

JOB NUMBER: 21-153	DATE: 09/20/2022
DRAWN: JHR	CHECKED: LFK

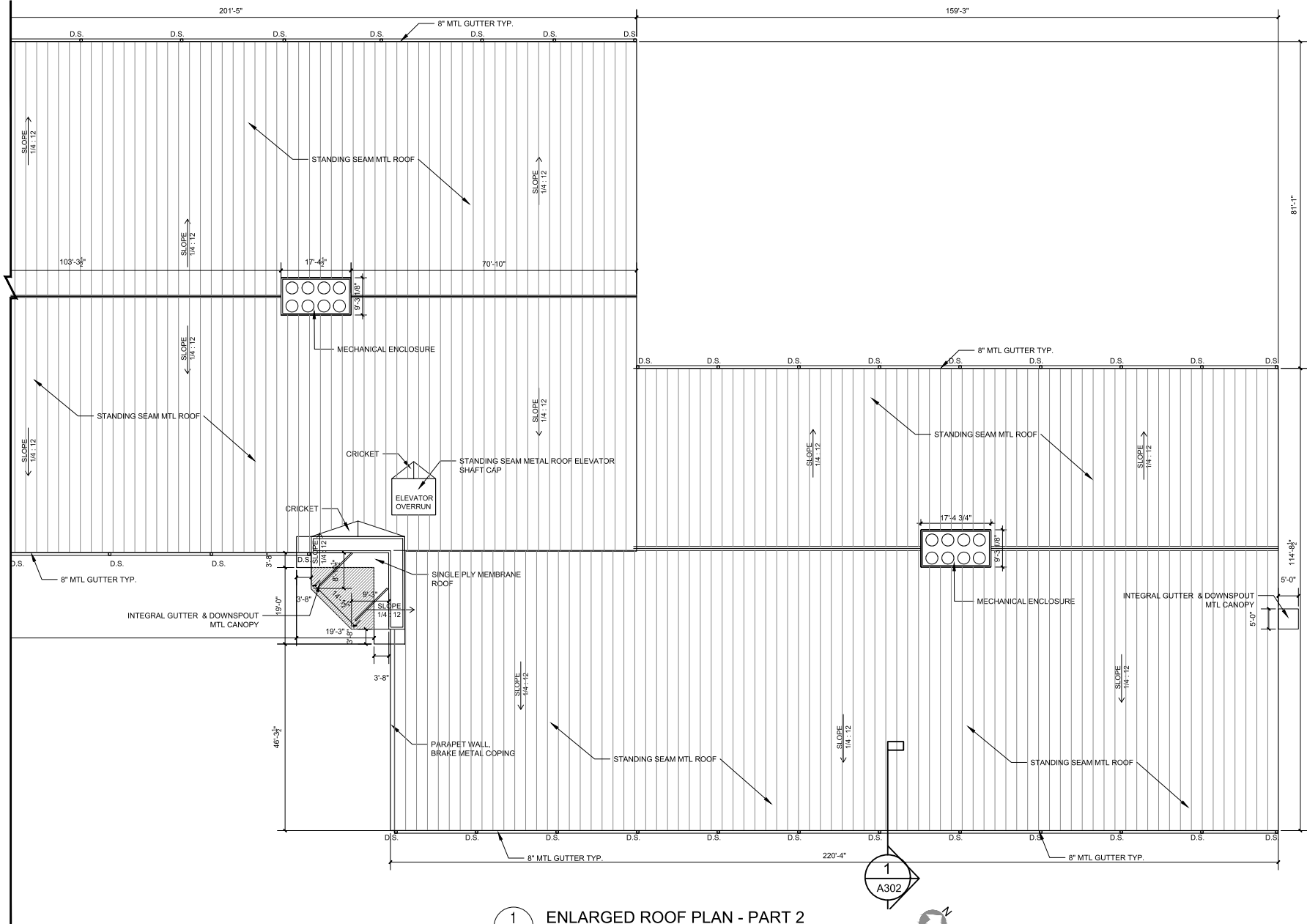
REVISION NOTES:

**BRICKHOPE SELF STORAGE**  
HENRY BROWN BOULEVARD  
GOOSE CREEK, SC  
ENLARGED ROOF PLAN - PART 1

SHEET NUMBER & TITLE

**A107**

FINAL ARB  
09.20.2022



1 ENLARGED ROOF PLAN - PART 2  
SCALE: 3/32" = 1'-0"

SCALE 1/32" = 1'-0"  
0 1 2 3 4 5 6 7 8 9 10



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Phone: 803.651.1111

JOB NUMBER: 21-153	DATE: 09/20/2022
DRAWN: JHR	CHECKED: LFK

REVISION NOTES:

**BRICKHOPE SELF STORAGE**  
HENRY BROWN BOULEVARD  
GOOSE CREEK, SC  
ENLARGED ROOF PLAN - PART 2

SHEET NUMBER & TITLE

**A108**

FINAL ARB  
09.20.2022



Previous (3) Story Final ARB Approved Submittal 4.20.2020



Proposed (2) Story Final ARB Submittal





Bird's Eye to East







Bird's Eye to North





Bird's Eye to West





Bird's Eye to South





Bird's Eye to West





Perspective South from Henry Brown Blvd





Henry Brown Blvd

Perspective East from Henry Brown Blvd





Front Elevation Perspective





Main Entry and Canopy Feature







Secondary Office Tenant Entry and Canopy Feature





Primary Dropoff Area and Canopy

Note- View behind stucco fence enclosure





Secondary Dropoff Area and Canopy

Note- View behind stucco fence enclosure

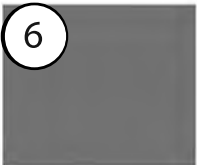




Rear Single Story Area

Note- View behind stucco fence enclosure





**6**  
 PRIMARY CORNICE/FASCIA:  
 -BRAKE METAL, "MUSKET GRAY"  
 -ROLLFAB OR EQ.  
 -FINISH: KYNAR  
 -GUTTER COLOR



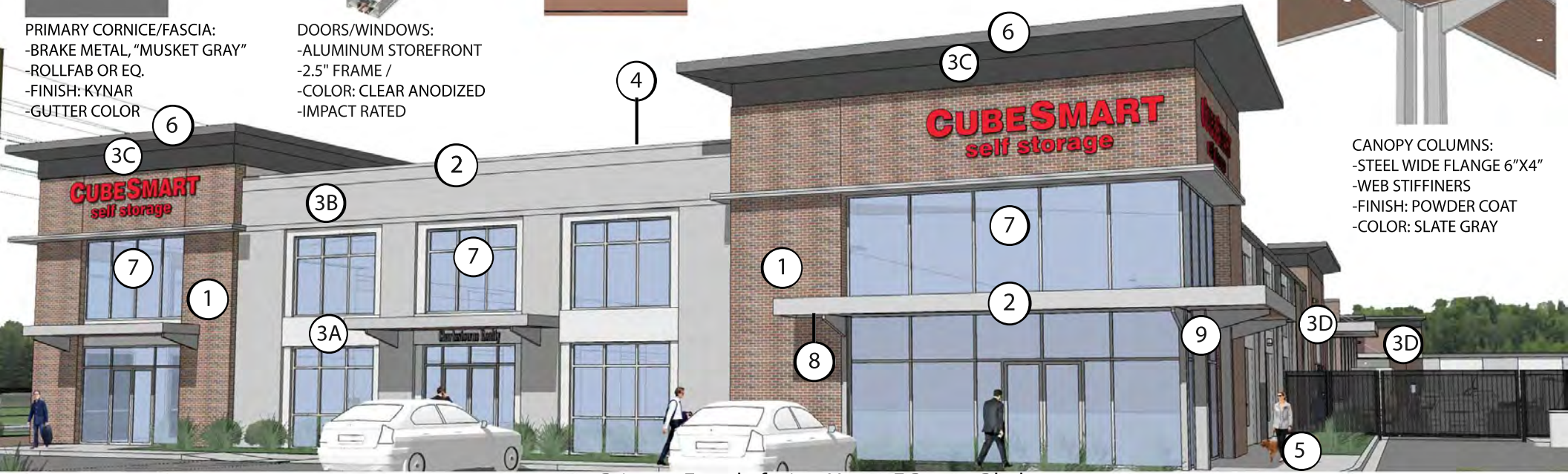
**7**  
 DOORS/WINDOWS:  
 -ALUMINUM STOREFRONT  
 -2.5" FRAME /  
 -COLOR: CLEAR ANODIZED  
 -IMPACT RATED



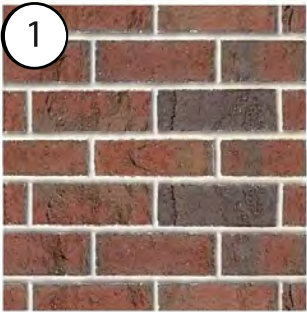
**8**  
 CANOPY SOFFIT:  
 -FIBER CEMENT SIM. TEAK WOOD BOARD  
 -5 1/2" EXPOSURE  
 -COLOR: STAINED FACTORY FINISH  
 -MFR: CAROLINA COLOR TONES OR EQ.



**9**  
 CANOPY COLUMNS:  
 -STEEL WIDE FLANGE 6"X4"  
 -WEB STIFFENERS  
 -FINISH: POWDER COAT  
 -COLOR: SLATE GRAY



Primary Facade facing Henry E Brown Blvd



**1**  
 BRICK: RUNNING BOND, VENEER  
 GENERAL SHALE OR EQ.  
 "OLD LEXINGTON" MODULAR  
 TEXTURED FACE, WIRE CUT  
 FLUSH MORTAR, "STONE WHITE"



**2**  
 CANOPY ACCENT  
 BRAKE METAL  
 -ROLLFAB OR EQ.  
 -FINISH: KYNAR  
 -COLOR: SLATE GRAY



**3A**  
 STO 31137  
 FACADE FINISH:  
 -STUCCO (DRAINABLE EIFS)  
 -FINISH: LIMESTONE SMOOTH  
 -STO OR EQ.  
 -FENCE AROUND RV STORAGE AND DUMPSTER ENCLOSURE TO MATCH



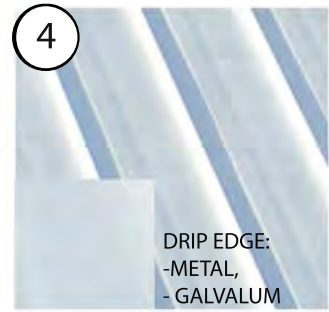
**3B**  
 STO 37204



**3C**  
 STO 37102  
 PRIMARY  
 CORNICE



**3D**  
 STO 33231  
 SECONDARY  
 SIDE ENTRY



**4**  
 ROOF: (WILL NOT BE VISIBLE)  
 -METAL, STANDING SEAM  
 - GALVALUM, 1.75" RIB  
 -SNAP LOCK PROFILE



**5**  
 PRIMARY SIDEWALKS:  
 SCORED CONCRETE  
 FINISH: SAND  
 4'X4' PATTERN

\*All signage by others **Exterior Materials Palette**





JOB NUMBER	21-110
DATE	
DRAWN	JHR
CHECKED	LFK

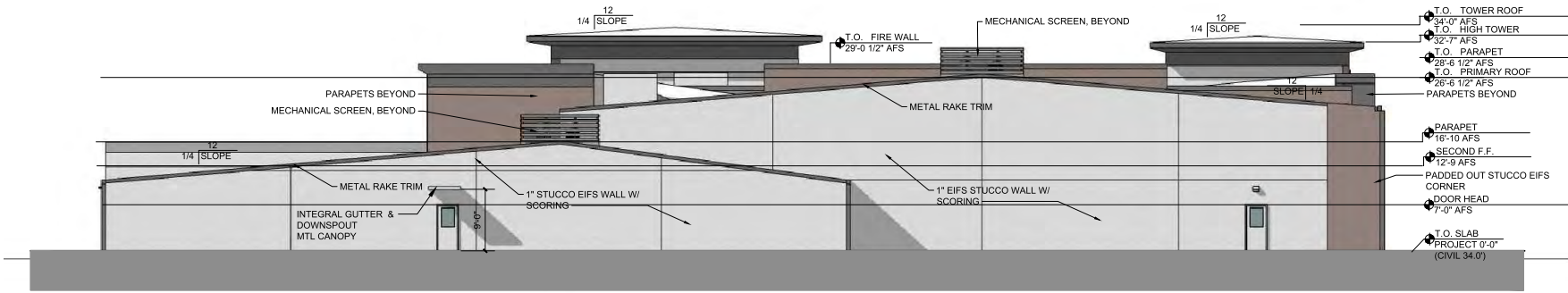
REVISION NOTES:

BRICKHOPE SELF STORAGE  
 HENRY BROWN BOULEVARD  
 GOOSE CREEK, SC  
 EAST AND WEST ELEVATION

SHEET NUMBER & TITLE

A200

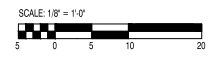
FINAL ARB  
09.20.2022

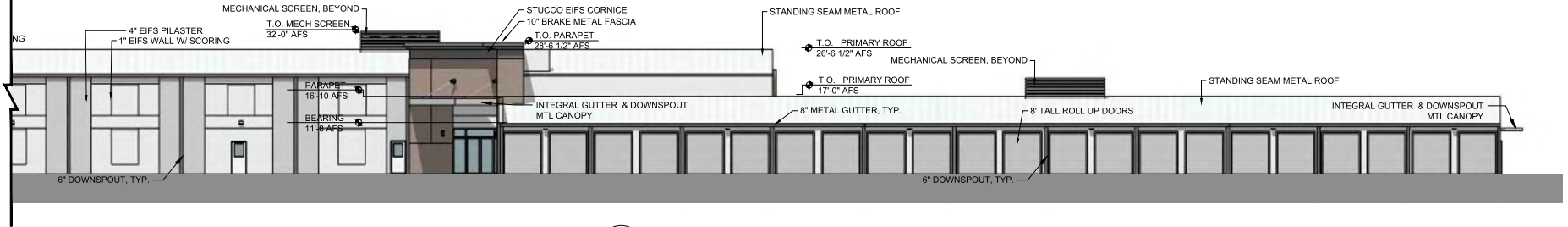


2 EAST ELEVATION (REAR FACING TRAIN TRACKS)  
 SCALE: 1/8"=1'-0"

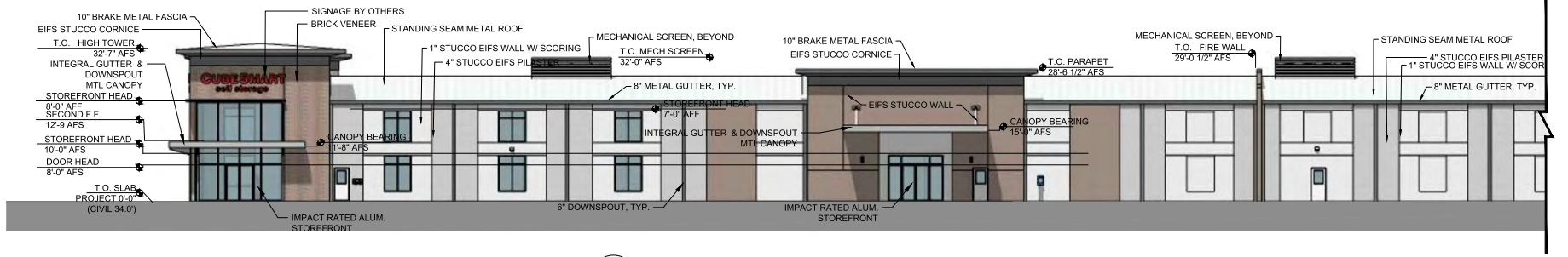


1 WEST ELEVATION (FRONT FACING HENRY BROWN BLVD.)  
 SCALE: 1/8"=1'-0"





3 SOUTH ELEVATION - PART 2  
SCALE: 3/32"=1'-0"



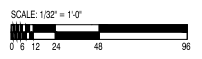
2 SOUTH ELEVATION - PART 1  
SCALE: 3/32"=1'-0"



PART 1

PART 2

1 SOUTH ELEVATION (SIDE FACING PARKING)  
SCALE: 1/32"=1'-0"



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SUITE 100  
MOUNT PLEASANT, SC 29564  
LORIE A. ANDRETTI, AIA  
lorie@lfkarch.com  
Phone: 843-204-8860

JOB NUMBER: 21-1153	DATE: 09/20/2022
DRAWN: JHR	CHECKED: LFK

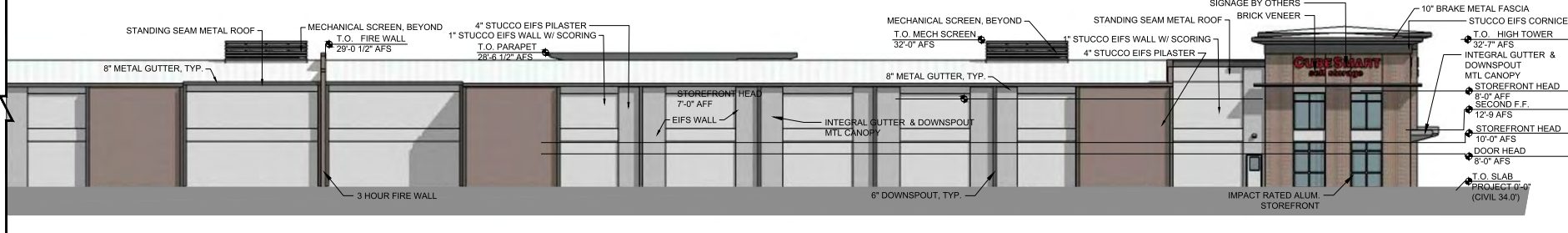
REVISION NOTES:

BRICKHOPE SELF STORAGE  
HENRY BROWN BOULEVARD  
GOOSE CREEK, SC  
SOUTH ELEVATION

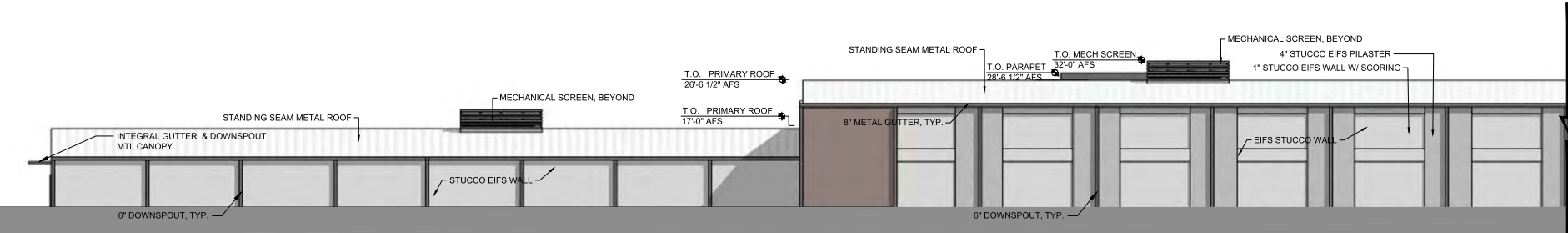
SHEET NUMBER & TITLE

A201

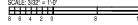
FINAL ARB  
09.20.2022



3 SOUTH ELEVATION - PART 2 (SIDE FACING 210' POWER LINE EASEMENT)  
SCALE: 3/32"=1'-0"



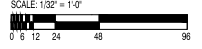
2 SOUTH ELEVATION - PART 1 (SIDE FACING 210' POWER LINE EASEMENT)  
SCALE: 3/32"=1'-0"



PART 1

PART 2

1 NORTH ELEVATION (SIDE FACING 210' POWER LINE EASEMENT)  
SCALE: 1/32"=1'-0"



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 info@lflk.com  
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JOB NUMBER: 21-110	DATE: 09/20/2022
DRAWN: JHR	CHECKED: LFK

REVISION NOTES:

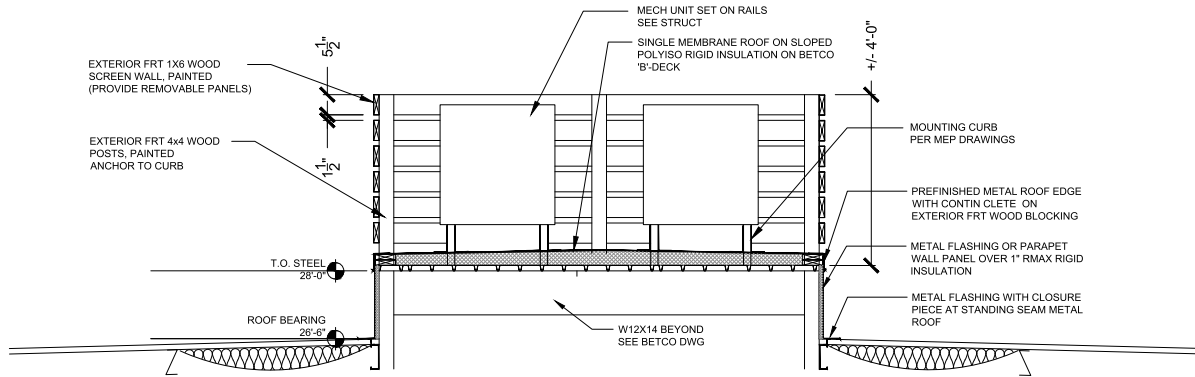
NO.	DATE	DESCRIPTION

BRICKHOPE SELF STORAGE  
 HENRY BROWN BOULEVARD  
 GOOSE CREEK, SC  
 NORTH ELEVATION

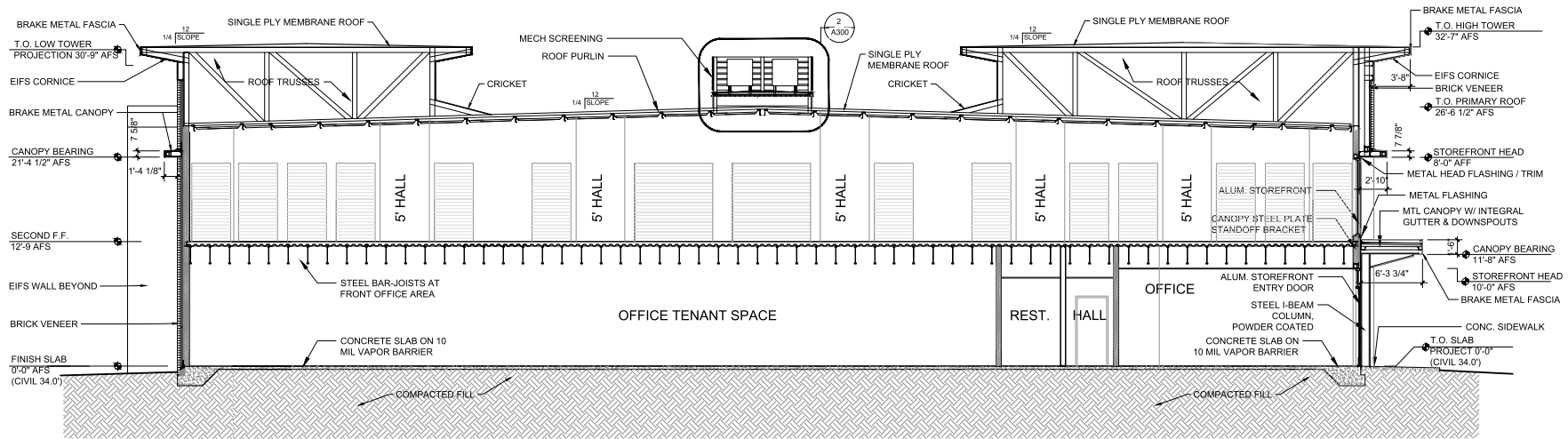
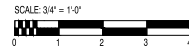
SHEET NUMBER & TITLE  
**A202**

FINAL AFB  
 09.20.2022

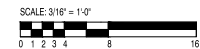




**2** MECHANICAL CURB SECTION DETAIL  
SCALE: 3/4" = 1'-0"



**1** PROPOSED TYPICAL BUILDING SECTION  
SCALE: 3/16" = 1'-0"



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LORIE A. ANDRETTI, AIA  
lorie@lfkarch.com  
phone: 843-204-8868

JOB NUMBER: 21-153	DATE: 09/20/2022
DRAWN: JHR	CHECKED: LFK

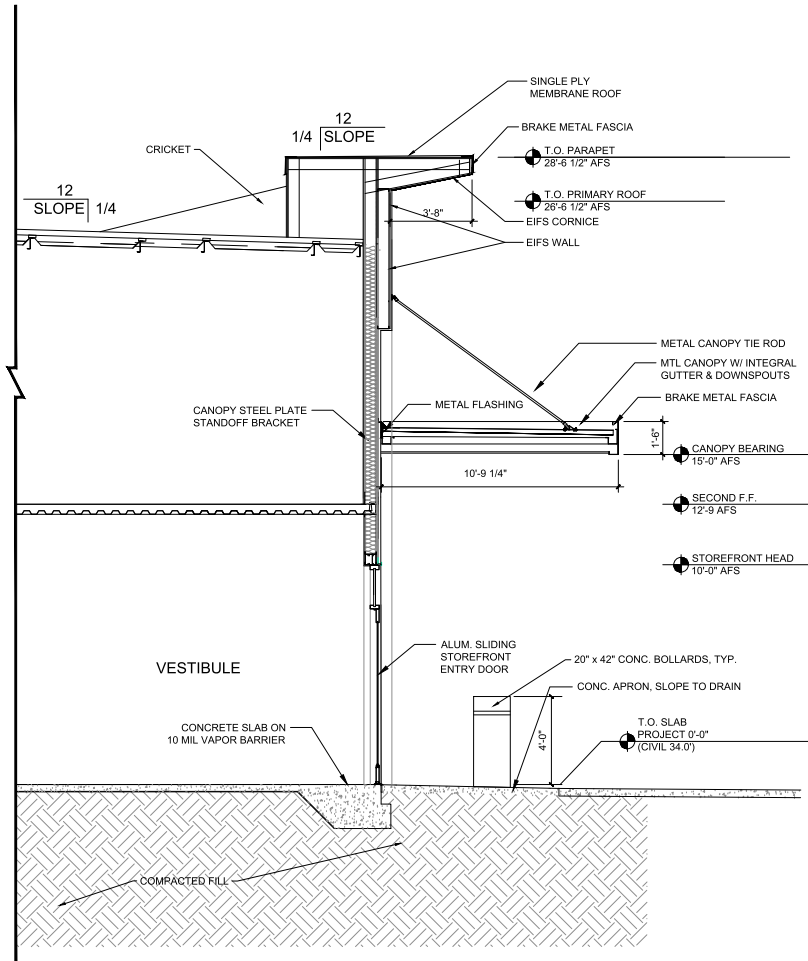
REVISION NOTES:

**BRICKHOPE SELF STORAGE**  
HENRY BROWN BOULEVARD  
GOOSE CREEK, SC  
BUILDING SECTION & MECH CURB SECTION DETAIL

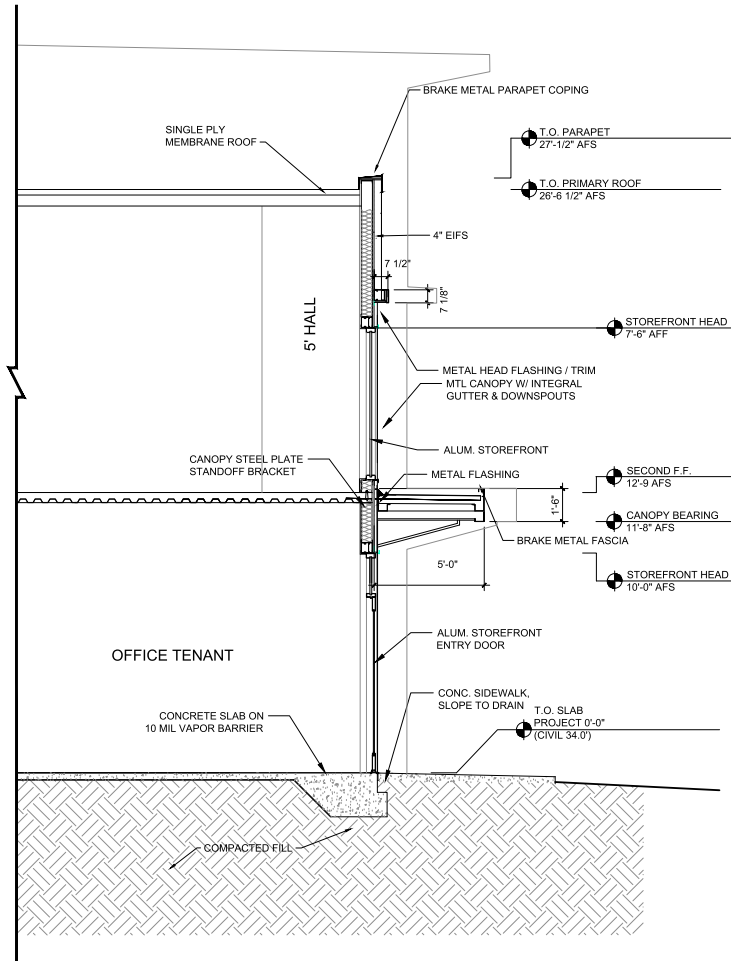
SHEET NUMBER & TITLE

**A300**

FINAL AFB  
09.20.2022



**2** PROPOSED WALL SECTION AT DROPOFF AREA1  
SCALE: 3/8" = 1'-0"



**1** PROPOSED WALL SECTION AT FRONT PARAPET WALL  
SCALE: 3/8" = 1'-0"



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MOUNT PLEASANT, SC 29524  
GOOSE CREEK RD. #44  
HARRISBORO, SC 29525  
www.lfkarch.com  
Phone: 843-200-8800

JOB NUMBER	21-1103
DATE	JHR
DRAWN	LFK
CHECKED	LFK

REVISION NOTES:

NO.	DESCRIPTION

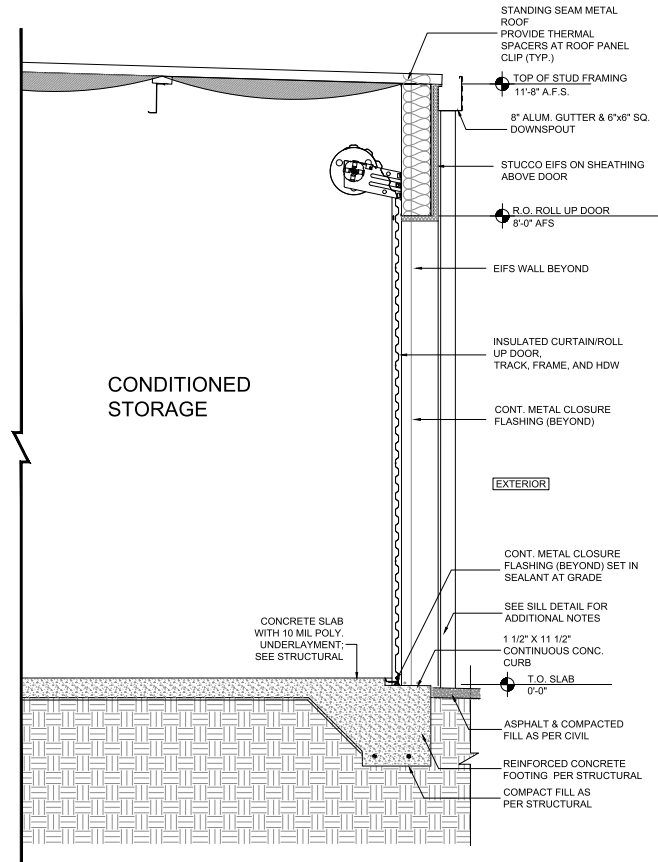
BRICKHOPE SELF STORAGE  
HENRY BROWN BOULEVARD  
GOOSE CREEK, SC

WALL SECTIONS

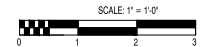
SHEET NUMBER & TITLE

**A301**

FINAL ARB  
09.20.2022



1  
**PROPOSED WALL SECTION AT SINGLE STORY PORTION**  
 SCALE: 1" = 1'-0"



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 SUITE 100  
 MOUNT PLEASANT, SC 29524  
 803.652.1144  
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JOB NUMBER: 21-153	DATE: 09/20/2022
DRAWN: JHR	CHECKED: LFK

REVISION NOTES:

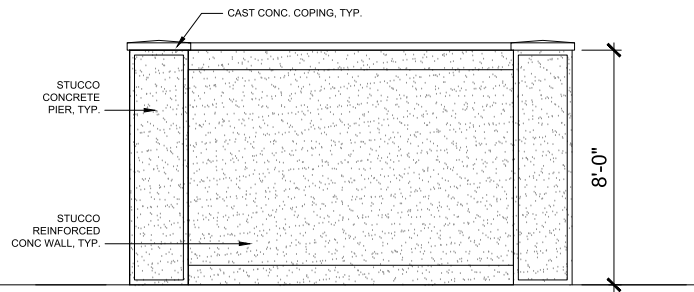
NO.	DATE	DESCRIPTION

**BRICKHOPE SELF STORAGE**  
 HENRY BROWN BOULEVARD  
 GOOSE CREEK, SC  
 WALL SECTIONS

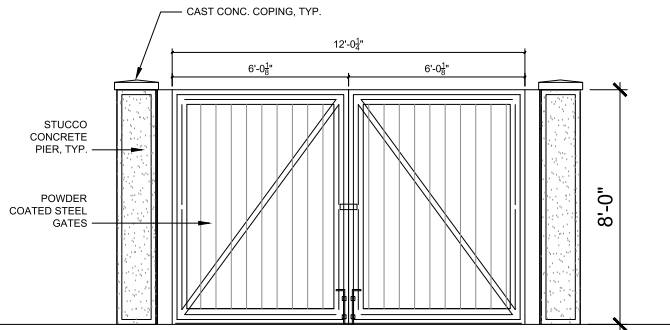
SHEET NUMBER & TITLE

**A302**

FINAL ARB  
 09.20.2022

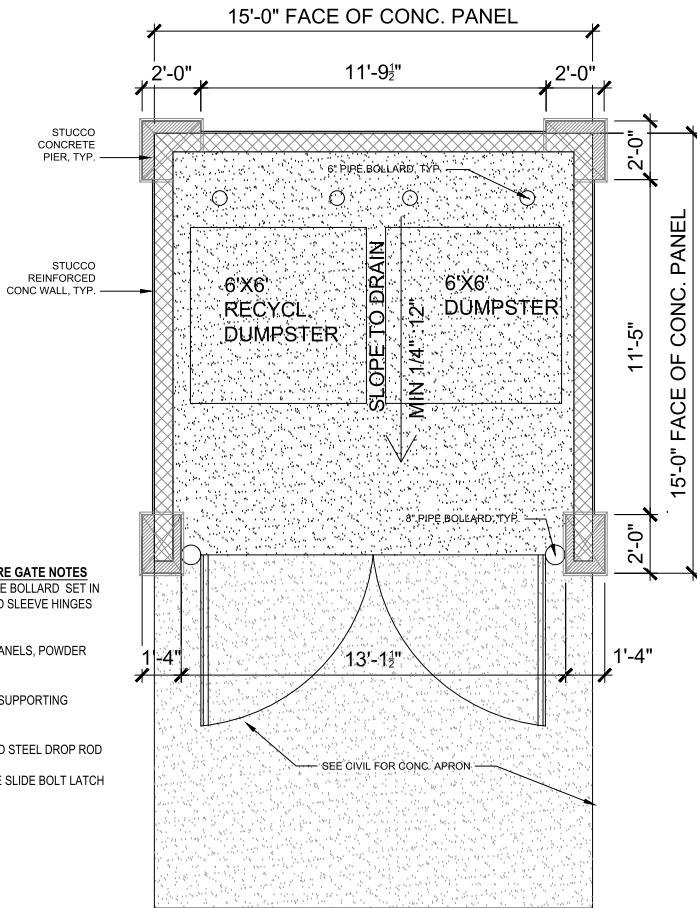


**SIDE & REAR ELEVATIONS**



**FRONT ELEVATION**

**DUMPSTER ENCLOSURE GATE NOTES**  
 8" DIA. GALV. STEEL PIPE BOLLARD SET IN CONC. STEEL GREASED SLEEVE HINGES OR EQ.  
 CORRUGATED STEEL PANELS, POWDER COATED  
 WELDED 2X2X $\frac{1}{2}$ " STEEL SUPPORTING FRAME, PAINTED  
 $\frac{5}{8}$ " DIA. POWDER COATED STEEL DROP ROD  
 POWDER COATED GATE SLIDE BOLT LATCH W/ PAD EYELET LOCK.



**1 PROPOSED DUMPSTER ENCLOSURE**  
 SCALE: 1/2" = 1'-0"



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 PHONE: 843.202.1144  
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 EMAIL: info@lfkarch.com

JOB NUMBER: 21-153	DATE: 09/20/2022
DRAWN: JHR	CHECKED: LFK

REVISION NOTES:

**BRICKHOPE SELF STORAGE**  
 HENRY BROWN BOULEVARD  
 GOOSE CREEK, SC  
**DUMPSTER ENCLOSURE**

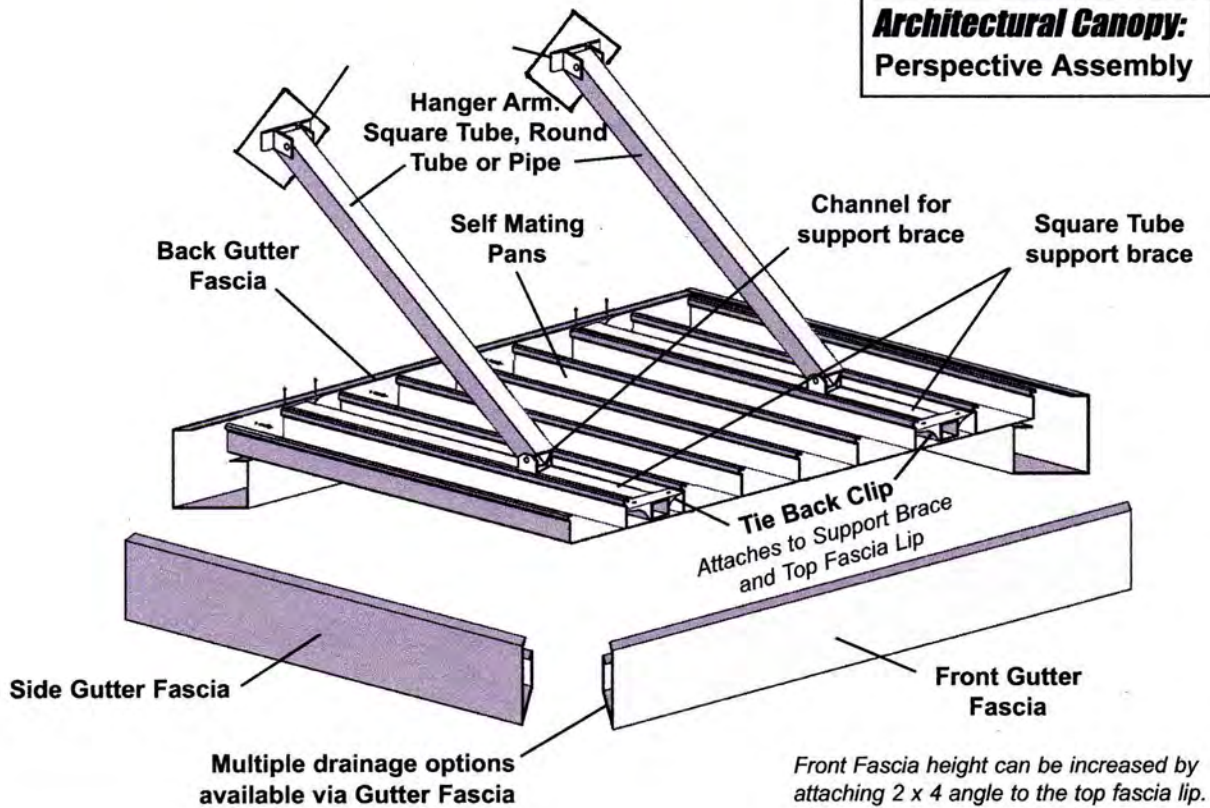
SHEET NUMBER & TITLE

**A303**

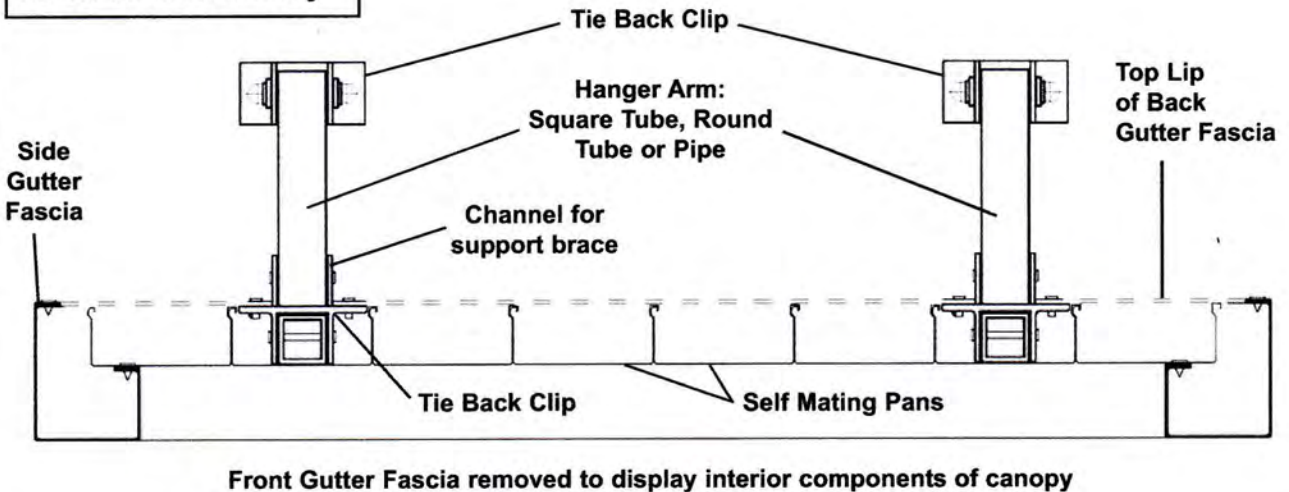
FINAL ARB  
 09.20.2022

# Extruded Architectural Canopy

## Architectural Canopy: Perspective Assembly



## Architectural Canopy: Front View Assembly



Architectural 05

**Jackson  
Williams**  
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Colored Metal Products, Inc.  
P.O. Box 2572  
Shelby, N.C. 28151  
Ph. 704-482-7943  
Fax 704-482-7993

# PFL540 LED

## Street and Area Lighting

1/10

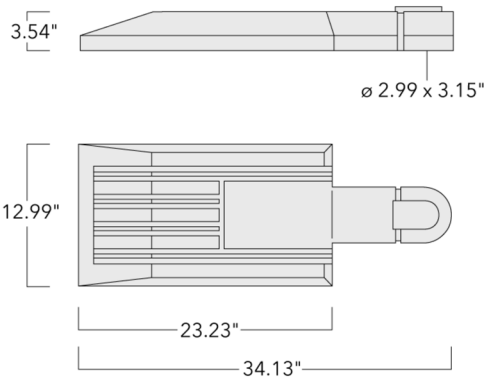


BMW Hindenburgdamm, Berlin, Germany

# PFL540 LED

## Street and Area Lighting

2/10



### Description

IP66. Class I. IK08. Marine-grade, die-cast aluminum alloy. 5CE superior corrosion protection including PCS hardware. Silicone CCG® Controlled Compression Gasket. RFC® Reflection Free Contour main lens. CAD-optimized optics for superior illumination and glare control. Integral driver in thermally separated compartment. OLC® One LED Concept. Factory-installed LED circuit board. 0-10V Dimming comes standard with luminaire. The luminaire is factory-sealed, factory-wired and supplied with 33' of black, three conductor, flexible SEOW cord for power connection at pole-base hand hole. Recommended mounting height 12-40 ft, depending on lamp type selected. Specify product with 7 Digit product code – Finish Color. Accessories, such as mounting, optical, and electrical, must be specified separately. Example: XXX-XXXX-9004 (Black) + XXX-XXXX (Accessory 1)

# PFL540 LED







## Street and Area Lighting

3/10



## Specifications

### Material Specification

Body:	Marine-grade die-cast aluminium alloy
Lens:	PMMA RFC Reflection Contour Lens technology
Colours:	 RAL9004 Black  RAL9007 Grey Metallic  RAL9016 White  RAL8019 Dark Bronze
 ETL	ETL, UL-1598 equivalent, CSA-C22.2#250.0. Suitable for Wet Locations.
 Quick Ship	Quickship features a one week ship time for Steplights and two week ship time for the rest of our Core products. All applicable information must be included for orders to be processed and colors must be in one of our 4 standard finishes. A maximum order quantity of 30 pieces applies.
Gasket:	Silicone rubber gasket
Fasteners:	PCS Polymer Coated Stainless Steel hardware
Ingress protection:	IP66
Impact protection:	IK08
Corrosion protection:	5CE
Surge protection:	In-line bracket 10kV Surge Protector
Mounting:	Luminaire mounts directly to pole top tenon. No bracket required for single luminaire configuration. See mounting accessories for other mounting bracket options.
Listings:	ETL, UL-1598, CSA-C22.2#250.0. Suitable for Wet Locations.
Windage EPA (ft²):	0.5

### Electrical Specification

Power supply:	Integral [ECG] electronic driver 120V-277V. 0-10V dimmable, to be specified with order.
Power factor:	> 0.9
Driver / Ballast:	Standard. DALI up to 1050 mA on request

### Lifetime

Ta=25°/40° L90B10 > 90000h



# PFL540 LED

## Street and Area Lighting

4/10



### Choices

#### Light Distributions

	pedestrian crossing, left-hand traffic [P45L]
	pedestrian crossing, right-hand traffic [P45R]
	[S60] Type III Short
	[S65] Type III Medium
	[S70] Type II Short
	[A60] Type IV Very Short
	[R65] Type IV Medium

#### Nominal Lumen

5592
5903
8388
8854
8880
9360
10800
11184
11805
13320
14040
16200
17760
18720
21600
22715

#### Nominal Watt

48
72
96
108
144
207

#### Colour Temperatures

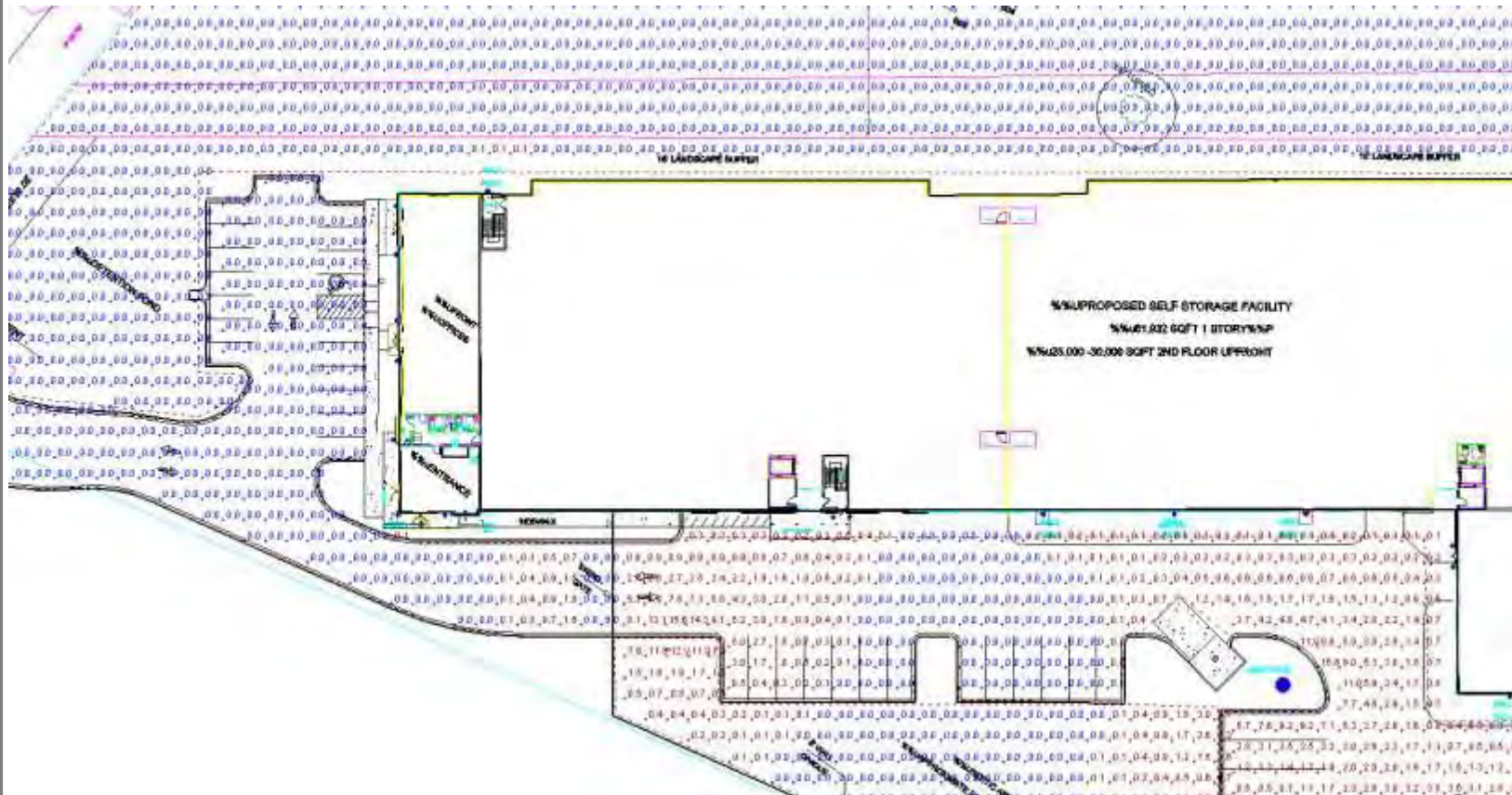
	2700 K
	3000 K
	4000 K

#### Colours

	RAL9004 Black
	RAL9007 Grey Metallic
	RAL9016 White
	RAL8019 Dark Bronze



Brickhope Self Storage



Current View

**Statistics**

Description	Symbol	Avg	Max	Min
Outer Property and Wetlands	+	0.0 fc	0.0 fc	0.0 fc
Parking	+	1.6 fc	29.3 fc	0.0 fc
Property	+	0.0 fc	22.4 fc	0.0 fc
Property Inside Wall	+	0.3 fc	12.9 fc	0.0 fc
Railroad (edge)	+	0.0 fc	0.0 fc	0.0 fc

Schedule				
Quantity	Manufacturer	Catalog Number	Description	Wattage
12	WE-EF USA	131-9673_us	PLS430 [M] IP66:LED-12/36W/3K;PLS430 LED, Wall Luminaires / Surface Mounted	42
7	WE-EF	108-2641	PFL540 LED, Street and Area Lighting PFL540 [S65] IP66:LED-48/207W/2,7K;PFL540 LED, Street and Area Lighting	214
11	Gotham Architectural Lighting	ICO4UDWC 35/30 AR LSS 60D - DOWN	INCITO 4 INCH WALL MOUNT DIRECT/INDIRECT CYLINDER, ROUND, 3500K, 3000 LUMENS, CLEAR, SEMI-SPECULAR, 60 DEGREE BEAM, CRI80	34.12

**Designer**

SLC

**Date**

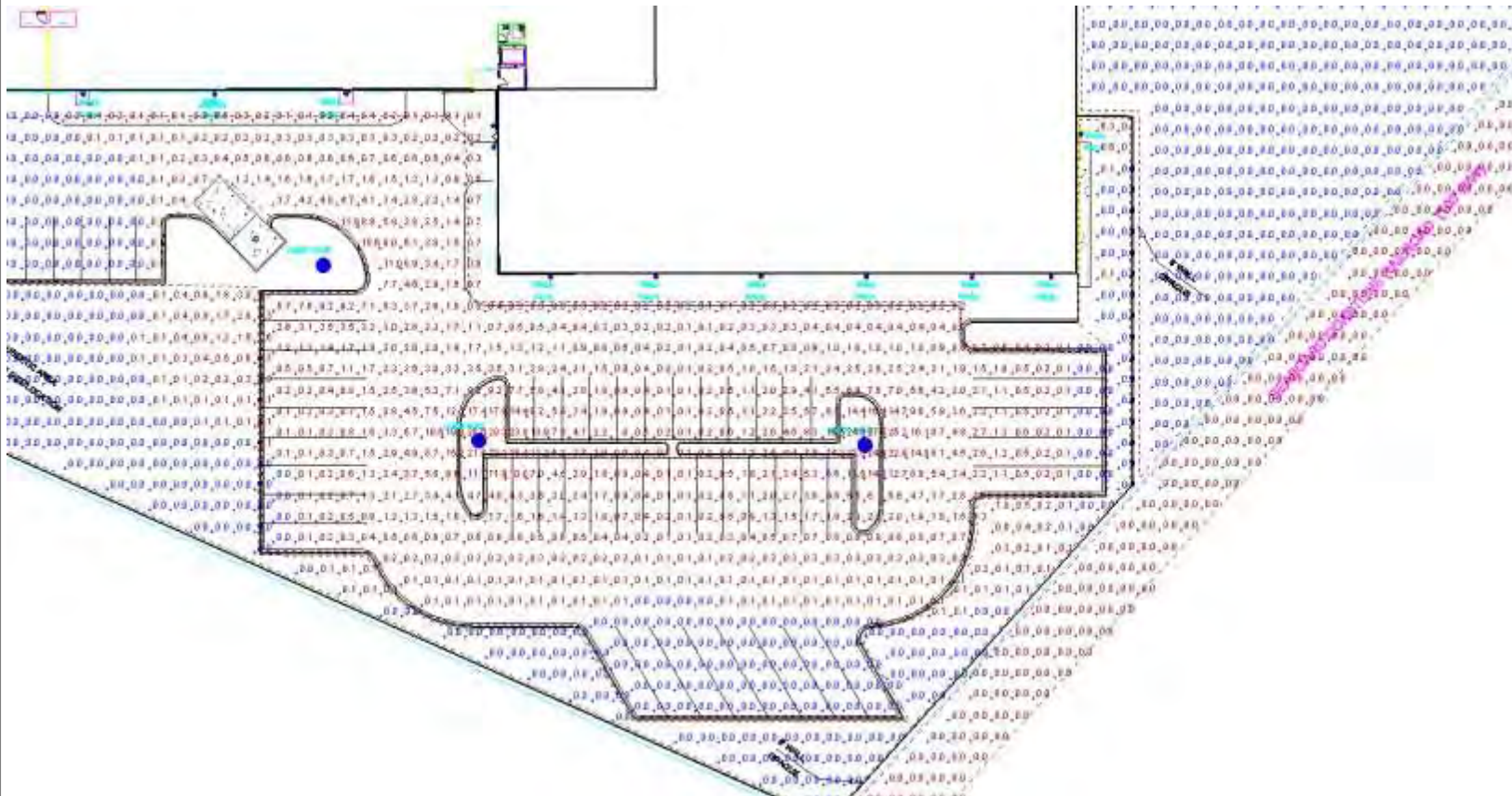
9/19/2022

**Scale**

Not to Scale

**Drawing No.**

**Summary**



Current View

**Statistics**

Description	Symbol	Avg	Max	Min
Outer Property and Wetlands	+	0.0 fc	0.0 fc	0.0 fc
Parking	+	1.6 fc	29.3 fc	0.0 fc
Property	+	0.0 fc	22.4 fc	0.0 fc
Property Inside Wall	+	0.3 fc	12.9 fc	0.0 fc
Railroad (edge)	+	0.0 fc	0.0 fc	0.0 fc

Schedule					
Quantity	Manufacturer	Catalog Number	Description	Wattage	
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11	Gotham Architectural Lighting	ICO4UDWC 35/30 AR LSS 60D - DOWN	INCITO 4 INCH WALL MOUNT DIRECT/INDIRECT CYLINDER, ROUND, 3500K, 3000 LUMENS, CLEAR, SEMI-SPECULAR, 60 DEGREE BEAM, CRI80	34.12	



Brickhope Self Storage

**Designer**

SLC

**Date**

9/19/2022

**Scale**

Not to Scale

**Drawing No.**

**Summary**

**SEMINOLE MASONRY, LLC**  
3850 E. Lake Mary Blvd. • Sanford, FL 32773  
Tel: 407-971-2464 • Fax: 407-971-2519  
www.seminolemasonry.com  
FDOT PLANT #55 INCIDENTAL PRECASTER



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## PRECAST WALL DIVISION



**P**recast walls are fabricated under strict quality control conditions. The product is manufactured from a high strength concrete mix design that reaches a compressive strength of 4500 to 5500 psi at 28 days. Precast walls are reinforced with metal fiber and steel. All materials are vertically cast, thereby creating a form finish on both sides of the wall – there is no “bad” side.

The rigid footing support works as follows: Due to the modular composition, it does not require a continuous footing for structural support. Because each section is 15ft apart, a pier footing is constructed at each 15ft interval that is designed by structural engineer to meet the local and job site specifications for the soil conditions and wind load.

Once the footing has been prepared, a 4 inch steel I-beam is set into the footing with half of the I-beam in the footing, the other half protruding out of the footing.



## PRECAST WALL DIVISION



Smooth



Stacked Stone



Split Face Block



Ashlar Stone



Stand Alone Column



Ledge Stone



Brick Pattern

## PRECAST WALL DIVISION



What makes Seminole Masonry's walls different from other concrete systems on the market is that this product is the only system that is vertically produced where the column and panel sections are manufactured as one integral wall section resulting in the ability of the wall to be installed faster and safer than other products.



VA Hospital Perimeter Wall

## PRECAST WALL DIVISION



Camp Shelby Military Training Facility

Engineered and Designed with Unsurpassed Quality and Attention to Detail:

- Multi functional applications for commercial, residential and industrial projects including security walls, sound barriers and boundary walls
- Formed finish with intricate detail on both sides
- Seminole Masonry's walls will enhance the landscape design of any project
- The walls can be natural concrete or color stained to accommodate any design
- Walls can be engineered to sit on top of retaining wall



FPL Sub Station