

THE CITY OF GOOSE CREEK

BERKELEY CO. EST. 1961 SO. CAROLINA

SUPPORTING MATERIALS FOR ARCHITECTURAL REVIEW BOARD

FEBRUARY 15, 2021

6:30 PM

MARGUERITE BROWN MUNICIPAL CENTER
CITY HALL COUNCIL CHAMBERS
519 N. GOOSE CREEK BLVD.
GOOSE CREEK, SOUTH CAROLINA

MEMORANDUM

TO: MEMBERS OF THE ARCHITECTURAL REVIEW BOARD

FROM: LILI ORTIZ-LUDLUM, ADMINISTRATIVE ASSISTANT

DATE: FEBRUARY 15, 2021

SUBJECT: MEETING NOTIFICATION

WHERE: MARGUERITE H. BROWN MUNICIPAL CENTER

This is to remind everyone that the next meeting of the Architectural Review Board is scheduled for Monday, February 15, 2021 at 6:30 p.m.

Please review the enclosed packet. Should you have any questions or comments prior to Monday's meeting, please do not hesitate to contact Brenda Moneer, Planning and Zoning Technician (x1116) or Mark Brodeur, Planning and Zoning Director(x.1118) at 843-797-6220.



MINUTES

MINUTES

CITY OF GOOSE CREEK

ARCHITECTURAL REVIEW BOARD MEETING TUESDAY, JANUARY 19, 2021, 6:30 P.M.

MARGUERITE H. BROWN MUNICIPAL CENTER 519 N. GOOSE CREEK BOULEVARD

I. CALL TO ORDER

Chairperson Clopton called the meeting to order at 6:30 p.m. and initiated the Pledge of Allegiance.

II. ROLL CALL

Present: Sharon Clopton; Ricky Dresel; Gary Becker; Lisa Burdick; Mary

Kay Soto; Jen Wise

Absent: David Cantrill.

Staff Present: Director of Planning and Zoning Mark Brodeur; Planning and

Zoning Technician Brenda Moneer

III. REVIEW OF MINUTES - DECEMBER 21, 2020

Motion: A motion was made to accept the minutes with corrections.

Moved by Board Member Dresel, Seconded by Board Member

Wise.

Discussion: None.

Vote: All voted in favor (6-0). Motion carried.

IV. MINOR APPLICATIONS - NEW BUSINESS

A. VERIZON: 117 ST.JAMES AVE - SIGNAGE

A representative presented the application. She is proposing changing the black to gray and installing a new monument sign. Board Member Dresel stated he would like to see the address added to both sides of the monument sign. She stated they are relocating the dumpsters and adding pavement. The applicant stated they repainted part of the building gray to match the sign. It was stated this did not come before the board. Chairperson Clopton stated she would like to see the rest of the building to match what was already painted.

Motion: A motion was made to approve the application as submitted

with the addition that the rest of the building be painted the same color that was already painted, and to include the address on both sides of the monument sign. **Moved by** Board Member

Burdick, Seconded by Board Member Dresel.

Discussion: The board inquired if landscaping was required. The applicant

stated she will include the landscaping around the monument

sign that is shown in the application.

Vote: All voted in favor (6-0). Motion carried.

B. AGAPE CARE: 374 MYERS ROAD - SIGNAGE

A representative was not present. The board revisited this agenda item later in the meeting.

C. ST. JAMES UNITED METHODIST CHURCH: 512 ST. JAMES AVE - SHED

A representative presented the application. He stated they need to expand their storage and is proposing a 10x20 shed that will be placed in the rear of the building. The representative stated the proposed shed is brown in color with a black shingled roof. The board inquired if there are plans for landscaping around the shed. The representative stated no.

Motion: A motion was made to approve the application as submitted.

Moved by Board Member Dresel, **Seconded by** Board Member

Wise.

Discussion: None.

Vote: All voted in favor (6-0). Motion carried.

V. NEW YEAR BUSINESS

A. ELECTION OF CHAIRMAN FOR 2021

Motion: A motion was made to nominate Ricky Dresel for Chairman.

Moved by Board Member Wise, **Seconded by** Board Member

Soto.

Discussion: None.

Vote: All voted in favor (6-0). Motion carried.

B. ELECTION OF VICE CHAIRMAN FOR 2021

Motion: A motion was made to nominate Lisa Burdick for Vice Chairman.

Moved by Board Member Dresel, **Seconded by** Board Member

Wise.

Discussion: None.

Vote: All voted in favor (6-0). Motion carried.

V. <u>COMMENTS FROM THE BOARD</u>

Board Member Wise stated the window at the dentist office still has signage covering the entire window and inquired as to the estimated time it will be brought into compliance. Mr. Brodeur stated he sent a return receipt request to the owner and has not received any response. Chairperson Clopton stated Title Max has two banners up. Chairperson

Clopton stated that at the time of signage approval for Barbers Inc, a condition for approval was that they take down the sign on the end of their property from the previous business and paint the façade, this has not been done. She also stated there are signs on Farm Drive.

VI. COMMENTS FROM STAFF

A. SIGN DESIGN GUIDELINES DRAFT

Mr. Brodeur presented a draft sign design guideline to the board. He asked the board to e-mail him any modifications. He currently stated the City Attorney is reviewing the City's Sign Ordinance. Discussion regarding regulating sign content ensued.

Mr. Brodeur stated at the last meeting the Chipotle project came before the board. He stated the approval gave the staff some flexibility in improving the exterior wall. He stated they have come back to us with a new problem. He stated he would like to read a letter from the project manager it into the record.

"Per our discussion last week, we would like to request a small change to the site plan that was approved. As it turns out, the existing driveway access that is behind the bank and part of the original shopping center design (built in the early 1990's) was never coordinated with Santee Cooper, the owner of the power line easement. Additionally, this stub is in close proximity to the existing power structure (picture below helps to show this). Our intention was to extend from this existing access to the new development. Well Santee Cooper disagreed and will not allow us to utilize this access. Their reasoning is safety and security of the existing pole (fear of it getting hit) and maintenance and replacement. We did take this up the chain of command with Santee Cooper and kept getting shot down. However, I think we have come up with a design solution that works for all parties: The Developer, Santee Cooper, and the City. Our new concept would be to continue the drive aisle that is directly behind the Dunkin Donuts (running parallel to the existing buildings) through the existing parking lot and loop into the Chipotle site. This continues to allow access for Chipotle to the existing shopping center. We have increased the separation between the existing power structure and the drive aisle. We have also added new landscape islands to the existing parking lot in front of Los Arcos and Sushi 101. In these new tree islands, we would propose planting trees similar to what is on the new site (Red Oak, Elm or Maple). This new access also sets up potential future development for more retail in the open space left over. Given the direction from Santee Cooper, we think this is a good second option with a lot of benefits. Santee Cooper has seen this new layout and would be willing to approve. Plans are attached for your review (be sure to see the second page showing the improvements to the existing parking lot)."

Mr. Broder reviewed the changes with the board. Mr. Brodeur stated he would like to be able to approve the new driveway and the exterior wall at the same time.

Motion: A motion was made to allow Staff to approve the new access in

conjunction with the exterior wall. Moved By: Board Member

Becker, **Seconded By:** Board Member Burdick.

Discussion: None.

Vote: All voted in favor (6-0). Motion carried.

THE BOARD REVISITED AGAPE CARE

Motion: A motion was made to table this item based on a representative

not attending and samples not provided. Moved By: Board

Member Dresel, **Seconded By:** Board Member Wise.

Discussion: None.

Vote: All voted in favor (6-0). Motion carried.

Chairperson Sharon requested if Staff could ask the applicant to come back with a revised colored. Mrs. Moneer stated we can ask the applicant.

VII. ADJOURNMENT

Motion: A motion was made to adjourn (7:13p.m.) Moved By: Board

Member Burdick, Seconded By: Board Member Wise.

Discussion: There was none.

Vote: All voted in favor (6-0). Motion carried.

	Data	
Sharon Clopton, Chairperson	Date	
Sharon Glopton, Ghan person		



OLD BUSINESS: MINOR APPLICATIONS

AGAPE-SIGNAGE

OFFICE USE ONLY

PERMIT #: AMOUNT DUE: \$ DATE PAID: 043033 75.00 12-21-

2020

CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

	Today's Date: 12/15/20	Permit Fee: \$75.00
1.	Business Owner	
	Name of Business AGAPE CARE Alternate Phone	
	Street Address of Business 374 Myrs Road, Sum	moville, SC
	Landlord/LessorLandlord's Phone	
	Sign Company Signa Rama Columbia Sign Co. Phone	803-407-9284
	Sign Co. Contact / att Vanahn Sign Co. Address /735 /2th	Street Carry 51 2903=
2.	Cost of Sign(s) \$ 5,200. \(\omega \) Sign Installation Cost \$ 768. \(\omega \)	Total Cost \$ 5968. 00
	How many signs are you applying for? How many signs does this bu	siness already have?/
1.	What kind of signs does this business already have? Mnument -	□ None
5.	What type of business is applying for this sign permit: A. A stand alone business? B. A part of a shopping center? Yes No If yes, shopping center name	
	What is the TMS number for this property? 222 - 000 -000 - 28	ne:
	What is the front setback of the business in feet? (The distance from the front A. For corner lots only, what is the front setback for second street frontage in feet?	property line to the front of business)
3.	What is the width of the business in feet? (The distance from wall to wall A. For corner lots only, what is the width of the business for second street frontage in	of feet? das net show
	What is the property's road frontage in feet? (This only applies to shopping or	
0.	Please attach photos showing:	
	A. The storefront in relation to adjacent businesses;	OFFICE USE ONLY
	 B. The specific location of proposed sign(s) on the property or building; and C. The actual sign if it already exists. 	MAX. NO. OF ALLOWED SIGNS:
1.	Please attach drawings of each proposed sign showing (drawn to scale): A. The completed sign as it will actually appear on the building	MAX ALLOWED SIGN AREA:
	B. All dimensions; C. Where the colors will appear;	
	D. The location on the property (on a plat) of proposed & existing freestanding signs	
	E. The location on the building of proposed & existing building signs	
2.	Please attach swatches, samples, and/or paint chips of all proposed colors to the applications of the swatches are supplied to the application of the swatches are supplied to the samples are supplied to the swatches are supplied to the samples are supplied to the samples are supplied to the swatches are supplied to the samples are suppl	ation.
3.	Please complete the Sign Information Table located on the following page.	
A	You are required to attend the Architectural Review Board meeting in which your sign	

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

Re-face Existing origin only

SIGN INFORMATION TABLE

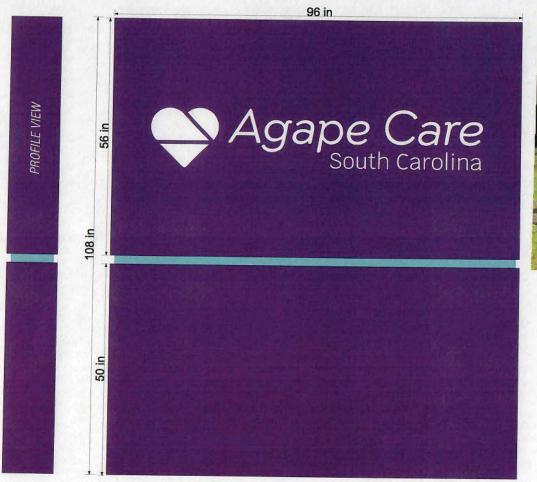
Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	Motal/plastic		
Illumination: Exterior, interior or not lighted	Motal/plastic Exterior mnument		
Type of Sign:	mnument		
Height (FEET)	91	The second secon	
Width (feet)	81		
Area (square feet)	72 , 7		
All colors used on sign	purple/whole,		
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	re we		
Projection from building or cabinet width (thickness)			
Number of styles of lettering	2		
Height of letters (if channel letters)			
If mounting individual letters, space between letters			
If mounting individual letters, space between words			
If window sign, size of window			
If changeable copy sign (reader board), number of lines			
If freestanding sign, distance between sign and street curb (ft)			
If freestanding sign, total height above grade (ft)			
If freestanding sign, landscaping materials to be planted at base of sign			

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.

| 19/15/20 - |
| Signature of Applicant | Date |
| OFFICE USE ONLY |

Approval: Zoning Administrator ______ Issued by: ______ Date: _____





NOTES

NEW MONUMENT:

-routed letters painted white -mounted to aluminum backer painted Agape purple -externally illuminate



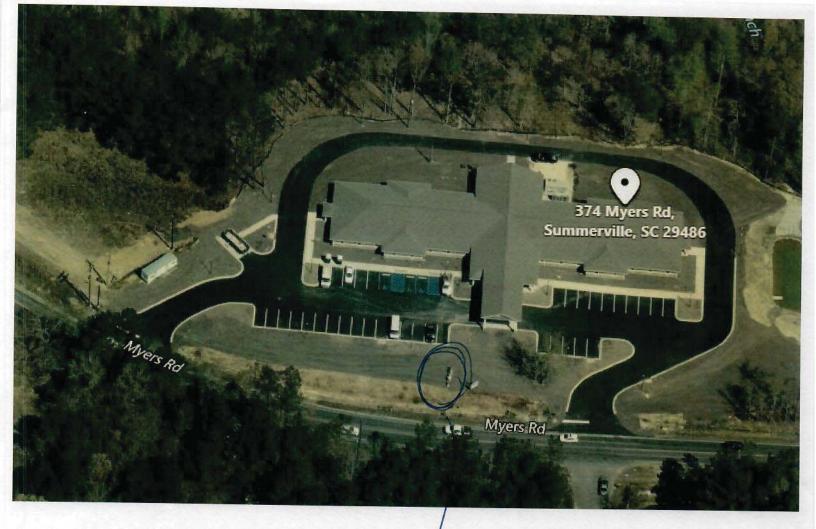
NOTE: COLORS SHOWN ARE REPRESENTATIVE ONLY

Please review this proof carefully for all content and spelling. If changes are required please inform your sales representative. Production does not begin until approval is received. Any changes after approval is received, will result in additional charges.



1735 12th Street Cayce, SC 29033 803.407.9284

File Name:Agape Summerville
Directory Name: S:\Production\Jobs\2020\11



Cristins page



NEW BUSINESS: MINOR APPLICATIONS

BB&T DRIVE UP ATM



BB&T NOW TRUIST - GOOSE CREEK

Remote Drive-Up ATM

ISSUE FOR REVIEW 01/04/2021 ARCHITECTURAL REVIEW BOARD SUBMITTAL 01/29/2021

144 SAINT JAMES AVENUE GOOSE CREEK, SOUTH CAROLINA 29445

PROJECT NUMBER: 120-26.00

PROPERTY OWNER
FIRST FEDERAL SAVINGS & LOAN ASSOC PO BOX 167
WINSTON SALEM. NC 271020167

ENGINEER:
INFINITY ENGINEERING GROUP, LLC
1208 E. KENNEDY BOULEVARD
SUITE 230
TAMPA, FL 33602
PH: (813) 434-44770
FAX: (813) 445-4211
CONTACT: TODD STICKLER

	DRAWING INDEX
SHEET NO.	SHEET TITLE
CS.1	COVER SHEET
C00.01	CIVIL SPECIFICATIONS
C00.02	OVERALL SITE PLAN
C01.01	DEMOLITION PLAN
C02.01	SITE PLAN
C12.01	DETAILS
C12.02	DETAILS
C12.03	DETAILS
C12.04	EROSION AND SEDIMENT CONTROL DETAILS
E00.01	ELECTRICAL LEGEND ABBREVIATIONS, AND GENERAL NOTES
E00.02	ELECTRICAL SPECIFICATIONS
E01.01	ELECTRICAL SITE PLANS
E01.02	PHOTOMETRIC PLAN AT 36" ABOVE GRADE
E02.01	ELECTRICAL DETAILS
E03.01	ELECTRICAL PANEL SCHEDULES AND RISER DIAGRAM
A-1.0	EXTERIOR ELEVATIONS
A-2.0	ATM PLANS



NISIT SAPPARKHAO, P.E. SC REG. NO. 29128

GENERAL NOTE

- ALL CONSTRUCTION SHALL BE EXECUTED AS SHOWN ON THESE PLANS. ANY REVISIONS AND/OR DEVIATIONS MUST BE APPROVED BY THE ENGINEER OF RECORD AND MAY RESULT IN ADDITIONAL PERMITTING EFFORTS THROUGH THE RELATED PERMITTING AGENCY. THE CONTRACTOR SHALL ACKNOWLEDGE THAT REVISIONS AND/OR DEVIATIONS MAY RESULT IN ADDITIONAL PERMITTING REQUIREMENTS AND POSSIBLY AFFECT SCHEDULING OF WORK.
- UNLESS OTHERWISE NOTED ON PLANS, OR WITHIN THE PROJECT PERMITTING AGENCY HAVING JURISDICTION; THE LOCALLY ADOPTED BUILDING CODE; AND ALL APPLICABLE LOCAL AND STATE CODES AND ORDINANCES.
- PERMITS MAY BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR IS TO ACKNOWLEDGE AND SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
- THIS PARCEL OF LAND MAY BE SUBJECT TO ANY AND ALL RECORDED (AND POSSIBLY UNRECORDED) EASEMENTS, RESTRICTIONS, AND COVENANTS.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR VERIFICATION OF UTILITIES WITHIN THE LIMITS OF CONSTRUCTION, CALL AREA ONE CALL SYSTEM 48 HOURS PRIOR TO ANY
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS AND BENCHMARKS FROM DISTURBANCE. SURVEY MONUMENTS DISTURBED BY CONSTRUCTION ARE TO BE REPLACED AND ADJUSTED VIA A LAND SURVEYOR REGISTERED IN THE STATE FOR WHICH THE PROJECT IS LOCATED.
- THE CONTRACTOR SHALL COORDINATE WORK EFFORTS WITH THE OWNER TO MINIMIZE TRAFFIC INTERFERENCE AND OPERATIONS OF THE FACILITIES.
- IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED HOWEVER IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURE, MIMEDIATE HORTPY ENGINEER AN OWNER, HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.

REGULATORY STANDARDS AND REQUIREMENTS

- COMPLY WITH ANSI A10.6, "SAFETY REQUIREMENTS FOR CONSTRUCTION AND
- 3. COMPLY WITH NFPA 241, "SAFEGUARDING CONSTRUCTION, ALTERATION AND

DEMOLITION AND CLEARING

- DEMOLITION AND CLEARING OPERATIONS SHALL CONFORM TO APPLICABLE DEBRIS, BURNING OF DEBRIS ON SITE, AND USE OF HERBICIDES. DEMOLITION WASTE SHALL BE DISPOSED OF IN A LEGAL MANNER REMOVE
- DEMOLITION WAS IS SHALL BE DISPOSED OF IN A LEGAR MANNER. REMOVED DEMOLITION WASTE MATERIALS FROM PROJECT SITE AND DISPOSE OF WASTE IN AN EPA-APPROVED LANDFILL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. DO NOT BURY OR BURN DEMOLITION WASTE ON-SITE.
- THAT MAY BE UNCOVERED DURING DEMOLITION REMAIN THE PROPERTY OF THE
- ON-SITE OPERATIONS OR OPERATIONS OF ADJACENT OCCUPIED BUILDINGS
- CONDUCT BUILDING DEMOLITION AND DEBRIS REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, WALKWAYS, OR OTHER ADJACENT OCCUPIED AN USED FACILITIES WITHOUT PRINSISION FORM OWNER AND AUTHORITIES
- AUTHORITY FOR PERFORMING SITE CLEARING INDICATED ON PROPERTY ADJOINING OWNERS PROPERTY MUST BE OBTAINED BY OWNER PRIOR TO COMMENCEMENT OF CLEARING. DO NOT PROCEED WITH WORK ON ADJOIN PROPERTY UNTIL DIRECTED BY ENGINEER.
- PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS:

 * **MFRIFY THAT HAZARDOUS MATERIALS, IF PRESENT, HAVE BEEN REMEDIATED. B. REVIEW PROJECT RECORD DRAWINGS OF EXISTING BUILDING AND EXISTING SITE IMPROVEMENTS.
 C. INVENTORY AND RECORD THE CONDITION OF ITEMS TO BE SELECTED.
- MISCONSTRUED AS DAMAGE CAUSED BY SALVAGE CHERATIONS.

 4. CLEAN, PACK, IDENTIFY, AND TRANSPORT SALVAGED ITEMS TO STORAGE
 AREA DESIGNATED BY OWNER.

 6. REMOVE REFRIGERANT FROM THE MECHANICAL EQUIPMENT ACCORDING TO
- 40 CFR 82 AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION COORDINATE ANY ADDITIONAL REQUIREMENTS FOR DEMOLISHING OR RELOCATING SITE MECHANICAL AND ELECTRICAL ITEMS WITH OWNER AND OTHER AUTHORITIES HAVING JURISDICTION.
- OTHER AUTHORITIES HAVING JARBOOTTON.

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- PRIOR TO COMMENCEMENT OF SITE CLEARING OPERATIONS, VERIFY THE LOWING: TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE
- AND IN WORKING ORDER.

 IN UTILITY LOCATOR SERVICE HAS DETERMINED AND FLAGGED THE LOCATION
 OF UNDERGROUND UTILITIES.

 EXISTING SITE IMPROVEMENTS AND UTILITIES TO REMAIN HAVE BEEN

- DISTURBANCE.
 TREES AND VEGETATION TO REMAIN (OR TO BE RELOCATED) HAVE BEEN LOCATED AND CLEARLY FLAGGED IN ACCORDANCE WITH TREE PROTECTION

- 10. IN THE EVENT BUILDINGS IMMEDIATELY ADJACENT TO THE DEMOLITION AREA WILL BE OCCUPIED, CONDUCT SITE DEMOLITION SO OPERATIONS OF OCCUPIED
 BUILDINGS WILL NOT BE DISRUPTED. MAINTAIN ACCESS TO AND FROM EXISTING
 WALKWAYS. EXITS. AND OTHER FACILITIES USED BY OCCUPANTS OF ADJACENT
- ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSOGNEWYS, AS NECESSARY, AND AS REQUIRED BY ALTHORITIES HAVING JURISDICTION. REMOVE TEMPORARY BARRIERS AND PROTECTIONS WHERE HAZARDS NO LONGER EXIST, WHERE OPEN EXCAYATIONS OR OTHER HAZARDOUS CONDITIONS REMAIN, LEAVE TEMPORARE. RIERS AND PROTECTIONS IN PLACE.
- PROTECT EXISTING UTILITIES FROM DAMAGE DURING DEMOLITION OPER. IN OPERATION OF UTILITY SERVICES TO REMAIN. PROVIDE AT LEAST 72 NOTICE TO OCCUPANTS OF AFFECTED BUILDINGS IF SHUTDOWN OF
- I MAJANJENI UCUUHED BÜLDINGS, MANTAIN CONTINUITY OF SER: BENT BULLONGS BY PROVIDING TEMPORARY UTILITIES THAT BYPASS NOS AND STRUCTURES TO BE DEMOLISHED. TEMPORARY BYPASS DES SHALL BE PROVIDED IN ACCORDANCE WITH UTILITY COMPANY IRTIES HAVING JURISDICTION.
- BEING DEMOLISHED. ALL SHORING OPERATIONS SHALL BE DESIGNED BY A
- DUTION OF STRUCTURAL FRAMING MEMBERS SHALL PROCEED
 BMATCALLY FROM HIGHER TO LOWER LEVEL. COMPLETE BUILDING
 JUTION OFFSETATIONS ABOVE EACH LOOK OF STER SECRED ESTURBAINS
 ORTING MEMBERS ON THE NEXT LOWER LEVEL. REMOVE DEBRIS FROM
 ATED PORTIONS OF THE BUILDING BY CHUTE, HOST, ON OTHER DEVICE
 ALL CONVEY DEBRIS TO GRADE LEVEL. IN A CONTROLLED DESCENT.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY BUILDING DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE BUILDING DEMOLITION OPERATIONS

CLEARING AND GRUBBING

- AREMOVE OBSTRUCTIONS, TREES, SHRUBS, GRASS, AND OTHER VEGETATION TO PERMIT INSTALLATION OF NEW CONSTRUCTION. DO NOT REMOVE TREES, SHRUBS, AND OTHER VEGETATION INDICATED TO REMAIN OR TO BE
- ELOCATED. UT MINOR ROOTS AND BRANCHES OF TREES INDICATED TO REMAIN IN A LEAN AND CAREFUL MANNER AND ONLY WHERE SUCH ROOTS AND RANCHES OBSTRUCT INSTALLATION OF NEW CONSTRUCTION.
- CLEAR UNDERGROWTH AND DEADWOOD WITHOUT DISTURBING SUBSOIL.
 GRIND STUMPS AND REMOVE ROOTS, OBSTRUCTIONS, AND DEBRIS
 EXTENDING TO A DEPTH BELOW EXPOSED SUBGRADE AS FOLLOWS:
 FOOTINGS, SLABS ON GRADE AND BOTTOM SLABS OF STRUCTURES: 36
- INCHES. ROADS AND PAVEMENT AREAS: 18 INCHES.
- SSED OR LANDSCAPED: 8 INCHES.
- ABEASTO BE GRASSED OR LANDSCAPED. 8 NO-LESS.
 ABEASTO TO BE LELLED. 12 NO-LES.
 ABEASTO TO BE LELLED. 12 NO-LES.
 ABEASTO TO BE LELLED. 12 NO-LES.
 ABEASTO TO BE CONTROLLED WITHIN THESE PROTECTION.
 LUI LISC SOLITION OF LEATHWOOK IS SINCLATED, FELL UNLESS FURTHER EXCLAIDATION OF EARTHWOOK IS SINCLATED, FELL UNLESS FURTHER EXCLAIDATION OF EARTHWOOK IS SINCLATED, FELL SINCLAIDATION OF MACHINERY OF THE SINCLAID OF PROTECTIONS WITH STATE AND AND COMPACT EXCLAIDATION OF THE SINCLAIDATION OF THE SINCLAID
- TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.
- TOPIOL STREPPING

 REMOVE SO DANG GRASS BEFORE STRIPPING TOPIOL.

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 SITRE TOPIOL TO WHATEVER GOTPING ARE ENCOUNTEED IN AMANEST

 THE STREPPING ARE STREPPING ARE STREPPING ARE STREPPING ARE STREPPING.

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 SIT CONCILL TOPIOL STREPPING ARE STREPPING ARE STREPPING.

 WHITE WATERWARD AND ARE STREPPING ARE STREPPING.

 WHITE TOPIOL STROPPING TOPIOL STREPPING ARE STREPPING TOPIOL.

 WHITE PROTECTION ZURGES TOPIOLE SURPAUS TOPIOLI TO ALLOW

 FOR RESERVACIONE GETTE TOPIOL.

- ITE MIPROVEMENTS:

 REMOVE EXISTING ABOVE-AND BELOW-GRADE IMPROVEMENTS AS INDICATED
 AND AS INCESSARY TO FACILITATE NEW CONSTRUCTION. REMOVE SLABS,
 PAVING, CURBS, DUTTERS, AND AGGREGATE BEAR AS INDICATED.

 UNLESS DUSTING FULL-DEPTH JOINTS CONCIDE WITH LIKE OF DEMOLITION,
 NEATLY SANIVALL TEACHT OF EXISTING PAVEMENT TO REMAIN BEFORE
 REMOVING EXISTING PAVEMENT. SANIVALT ALL FACES VERTICALLY.

 PAINT CUT EXISTS OF STEER REINFORCEMENT IN CONCIDENT TO REMAIN TO

- REMOVE SURPLUS SOIL MATERIAL. UNSUITABLE TOPSOIL. OBSTRUCTIONS. NEMOVE SURPLUS SOLI MA TENAL, UNSUITABLE I DIPOSILI, USBI RUCITUMS, DEMOLSHED MATERIALS, AND MASTE MATERIALS, INCLUDING TRABH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNERS PROPERTY. REMOVE AND TENASPORT DEBRIS MOR DIBBISH IN A MANNER THAT WILL PREVENT SPILLAGE ON STREETS OR ADJACENT AREAS. CLEAN UP SPILLAGE FORM ATTERIOR AND ADJACENT AND ADJACENT AREAS.
- ROM STREETS AND ADJACENT AREAS. COMPLY WITH FEDERAL STATE AND LOCAL HAULING AND DISPOSAL
- REGULATIONS.

 SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NON-RECYCLABLE STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING

TREE PROTECTION AND TRIMMING

- INSTALL TEMPORARY FENCING AROUND TREE PROTECTION ZONES TO PROTECT TREES AND VEGETATION DESIGNATED TO REMAIN FROM CONSTRU DAMAGE, MAINTAIN TEMPORARY FENCING AROUND TREE PROTECT AND REMOVE WHEN CONSTRUCTION IS COMPLETE.
- DO NOT STORE CONSTRUCTION MATERIALS, DEBRIS, OR EXCAVATED MATERIAL INSIDE TREE PROTECTION ZONE; OR PERMIT VEHICLES OR FOOT TRAFFIC WITHIN TREE PROTECTION ZONE, OR ALLOW FIRES WITHIN TREE PROTECTION
- PROTECT TREE ROOT SYSTEMS FROM THE FOLLOWING:

 DAMAGE CAUSED BY RINOFF OR SPILLAGE OF NOXIOUS MATERIALS WHILE
 MIXING, PLACING, OF STOSING CONSTRUCTION MATERIALS;

 DAMAGE CAUSED BY PONDING, ERODING, OR EXCESSIVE WETTING FROM
 DEWATERING OPERATIONS.

- UNLESS OTHERWISE INDICATED, DO NOT EXCAVATE WITHIN TREE PR ZONES. WHERE EXCAVATION FOR NEW CONSTRUCTION IS UNAVOIDA CLEAR AND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS.

- TREE PRUNING: PRUNE TREES ACCORDING TO ANSI A300 (PART 1), 'TREE SHRUB, AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTIC

EROSION AND SEDIMENTATION

- FROM LEAVING THE CONSTRUCTION AREAS AND ENTERING EXISTING STORMWATER FACILITIES AND SURFACE WATERS. ADDITIONAL MEASURES BEYOND THOSE SHOWN WITHIN THESE PLANS MAY BE NECESSARY DURING CONSTRUCTION, INCLUDING TEMPORARY VEGETATIVE MEASURES AND INSTALLATION OF OTHER SILT TRAPPING MEASURES.
- HE CONTRACTOR IS REQUIRED TO ADJUST THE EROSION AND SEDIMENT ONTROLS AS NECESSARY AND AS SHOWN ON THE DRAWINGS, AND ADD DIDITIONAL CONTROL MEASURES AS REQUIRED TO INSURE THE SITE MEETS LL FEDERAL, STATE AND LOCAL EROSION AND SEDIMENT CONTROL
- TO DAY OPERATIONS, OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST EVERY OTHER WEEK AND FOLLOWING A STORM EVENT OF 0.5 INCHES OR ORBITALE.

EARTHWORK

- I THE EVENT OF ANY UNFORESEEN CONDITIONS THAT ARE ENCOUNTERED AND OT COVERED BY THESE NOTES DURING GRADING OPERATIONS, THE ENGINEER 5. HALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
- CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND RELATED OFF-SIT WORK 50 AS TO ESTABLISH THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SPECIFIED WITHIN THE PLANS.
- ADECULATE SUCCESSOR IS TO BE DESIGNED AND SPONIDED BY THE CONTRACTO ADEQUATE SHORNO IS TO BE DESIGNED AND PROVIDED BY THE CONTRA TO PREVENT UNDERSHINNG OF ANY ADJACENT FEATURES OR FACILITIES ANDIOR CAVING OF THE EXCAVATION. ALL SHORING AND ASSOCIATED TEMPOPARY STRUCTURES SHALL BE DESIGNED BY A LICENSED PROFESS AND INSTALLED PURSUANT TO OSHA REQUIREMENTS.

- UNSATISFACTORY SOILS CONSIST OF SOIL CLASSIFICATION GROUPS ML, OL, CH, MH, OH, AND PT, OR A COMBINATION OF THESE GROUPS LIVISATISFACTORY SOILS ALSO NOLLIDE SATISFACTORY SOILS AND TAINTAINED WITHIN 3 PERCENT OF OPTIMUM MOISTURE CONTENT AT TIME OF COMPACTION.
- SATISEACTORY SOLI SHARTH DIGGST SOLI CHASSIEICATION ODOLISS A

- EARLY PRELIMATIC-TIRED EQUIPMENT TO IDENTIFY SOFT POCKETS AND AREAS. FEXCESS YELDING, DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES. COMPLETELY PROOF-ROLL SUBGRADE IN TWO DIRECTIONS, REPEATING PROOF ROLLING IN DIRECTION PERPENDICULAR TO FIRST DIRECTION. LIMIT
- IGLE SPEED TO 3 MPH, DOF-ROLL WITH A LOADED 10-WHEEL, TANDEM-AXLE DUMP TRUCK
- VELORISHM NOT LESS ITHIN 19 TONS.

 EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS. AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY ENGINEER AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED.

- *. S LOCATIONS OF LINDERGROUND LITTLETIES FOR RECORD.

- IES INM AND INSPECTING UNICERCULOUS OF ILITIES.

 REMOVING CONCRETE FORMWORK.

 REMOVING TRASH AND DEBRIS.

 REMOVING TRASH AND DEBRIS.

 REMOVING TRASH AND SHEETING.

 INSTALLING PERMANENT OR TEMPORARY HORIZONTAL BRACING ON HORIZONTAL SUPPORTED WALLS.

COMPACTION OF SOIL BACKELLS AND ELLS

- CONTRACTOR SHALL PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOI MORE THAN 8-INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HE COMPACTION COLUMBATION OF DUPMENT, AND NOT MORE THAN LINCHES IN LOOSE DEPT MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- PLACE BACKFILL AND FILL SOIL MATERIALS EVENLY ON ALL SIDES OF STRUCTURES TO REQUIRED ELEVATIONS, AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE.
- COMPACT SOIL MATERIALS TO NOT LESS THAN THE PLAN SPECIFIED PERCENTAGES OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 OR ASTM D 1557, (SEE CIVIL DETAILS FOR SUMMARY OF TRENCH BACKFILL AND BEDOING MATERIALS AND PLACEMENT SPECIFICATIONS).

- GENERAL: UNFORMLY GRADE AREAS TO A SMOOTH SURFACE. FREE OF IRREGULAR SURFACE CHANGES COMEY WITH COMPACTION REQUIREMENTS AND GRADE TO DETAILED MIDICATED RODGS SECTIONS LUNES, AND ELEVATION INDICATED IN FLASS, PROVIDE A SMOOTH TRANSITION IS ETWEEN ADJACENT EXISTING GRADES AND NEW GRADES. OUT OUT 50°T SPOTTS, FILL LOW SPOTTS, AND TRAIN HORS STOTS TO COMEY WITH REQUIRED SURFACE TOLERANCES.
- SITE GRADING: SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TE GRADING: SLOPE GRADES TO DIRECT WATER ANAY FROM BUILD OPREVENT PORIONIS, FINISH SUBGRADES TO REQUIRED ELEVATION OF UNIFORM TOLERANCES:
 LAWN OR UNPAWED AREAS: PLUS OR MINUS ONE (1) INCH.
 WALKS: PLUS OR MINUS ONE (1) INCH.
 PAVEMENTS: PLUS OR MINUS ONE-HALF (112) INCH.

- SNOW, ON ICE.

 PLACE SUBBASE AND BASE COURSE 6 INCHES OR LESS IN COMPACTED
 THICKNESS IN A SINGLE LAYER.

 PLACE SUBBASE AND BASE COURSE EXCEEDING 6 INCHES IN COMPACTED
- COMPACT SUBBASE AND BASE COURSE AT OPTIMUM MOISTURE CONTENT TO REQUIRED GRADES, LINES, CROSS SECTIONS, AND THICKNESS ACCORDING 1 ASTM D 698 OR ASTM D 1557, AS INDICATED ON THE DRAWING DETAILS.

FIELD QUALITY CONTROL:

- BACKFILL LAYER. CONTRACTOR SHALL PROCEED WITH SUBSEQUENT
 EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK
 COMBIT VARIATION BOOK INSTRUMENTS. 5. PVC PLASTIC PIPE AND FITTINGS SHALL NOT BE STORED IN DIRECT SUNLIGHT
- FOOTING SUBGRADE: AT FOOTING SUBGRADES, AT LEAST ONE TEST OF EASOL STRATLM WILL BE PERFORMED TO VERRY DESIGN BEARING CAPACITIES SUBSEQUENT VERIFICATION AND APPROVAL OF THE FOOTING SUBGRAD MAY BE BASED ON A VISUAL COMPARIS
- THE TESTING AGENCY WILL TEST COMPACTION OF SOILS IN PLACE ACCORDING TO ASTIN 0 1568, ASTIM D 2167, ASTIM D 2022, AND ASTIM D 2807, AS APPLICABLE. TESTS WILL BE PERFORMED AT THE FOLLOWING LOCATIONS AND FREQUENCIES a. PAYED AND BULDING SLAB AREAS. AT SUBGRADE AT EACH COMPACTED FILE. AND BACKFILL LAYER, AT LEAST 1 TEST FOR EVERY 10,000 SQ. FT. OR LESS OF PAVED AREA OR BUILDING SLAB, BUT IN NO CASE FEWER THAN 3 TESTS.
 - LEAST 1 TEST FOR EACH 100 FEET OR LESS OF WALL LENGTH, BUT NO FEWER THAN 2 TESTS.
- THAN 2 TESTS.

 TRENCH BACKFILL: AT EACH COMPACTED INITIAL AND FINAL BACKFILL LAYER
 AT LEAST 1 TEST FOR EACH 150 FEET OR LESS OF TRENCH LENGTH, BUT NO
 FEWER THAN 2 TESTS. IF THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRI RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- ALL FIELD QUALITY CONTROL TESTS THAT FAIL TO MEET THE SPECIFIED

GENERAL UTILITY NOTES

- THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS PRIOR TO THE START OCCUPATION ANY DISCREPANCIES SHALL BE REPORTED TO THE ENC
- THE CONTRACTOR SHALL COORDINATE WORK EFFORTS WITH THE OWNER TO
- EXISTING UTILITIES SHOWN HEREIN ARE BASED ON AVAILABLE RECORDS AND FIELD INVESTIGATIONS. THE CONTRACTOR SHALL VERIFY HORIZONTAL AND WERTICAL LOCATIONS OF UTILITIES PRIOR TO EXCAVATION WITHIN WORK REASE. THE ENGINEER SHALL SHOTTIFED UPON DISCOVERY OF ANY SIGNEPANCIES THAT ULA FFECT INSTILLATION OF WORK OR DISCOVERY OF SIGNEPANCIES THAT ULA FFECT INSTILLATION OF WORK OR DISCOVERY OF THE PROPERTY OF THE SHALL WE WERE THE SIGNED AND THE SHALL WINDOWS THE SHALL SH
- WHERE APPLICABLE, THE CONTRACTOR SHALL MAINTAIN ALL FENCING, SIGN DETOURS, FLAGMEN, SIGNALS, ETC., FOR ANY OPEN TRENCHES, HOLES OR I ALL TRENCHES, HOLES OR PITS SHALL BE CLOSED OR PROTECTED BY BARRICADES AT THE END OF THE DAY.
- PERMITS MAY BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR IS TO ACKNOWLEDGE AND SECURE ALL PERMITS AND NSPECTIONS REQUIRED FOR WORK WITHIN PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW THE CONSTRUCTED CONDITIONS OF ALL WORK INSTALLED. SEE "AS-BUILT" REQUIREMENTS FOR ADDITIONAL INFORMATION
- ALL VALVE BOXES, METER BOXES, VAULTS, CLEANOUTS, HOLE COVERS, FIRE HYDRANTS AND OTHER APPURTENANCES THAT ARE TO REMAIN IN SERVICE WITHIN THE PROJECT AREA SHALL BE ADJUSTED TO CONFORM TO FINISHED
- AS-BUILT SURVEY: THE CONTRACTOR SHALL VERIFY WATER, SEWER, GAS, POWER, AND TELECOM BY PROVIDING AN "AS-BUILT" SURVEY OF CONSTRUCTED CONDITIONS FROM A LICEN SURVEYOR REGISTERED IN THE STATE OF PROJECT SURVEYOR REGISTERED IN THE STATE OF PROJECT.

 LOCATION, THE "AS-BUILT" SURVEY SHALL INCLUDE VERTICAL AND HORIZONTAL
 INFORMATION PERTAINING TO THE INSTALLATION OF THE UTILITY SYSTEMS.

 DATUM ELEVATION AND BENCHMARK LOCATIONS SHALL BE INDICATED. M ELEVATION AND BENCHMARK LOCATION RMATION TO BE INCLUDED IS AS FOLLOWS
- PIPE TYPE, SIZE. VOLTAGE (WHERE APPLICABLE) AND INVERT ELEVATIONS.
 LOCATION OF MANHOLE, VALVE, POST INDICATOR, FIRE HYDRANT. JUNIOTION.
- ELEVATIONS FOR MANHOLE. ELEVATIONS SHOULD INCLUDE RIM, BOTTOM,

STORM DRAINAGE

- ESS OTHERWISE SHOWN ON PLANS, ALL PVC PIPE AND FITTINGS SHALL IFORM TO THE FOIL DAMING:
- CONFORM TO THE FOLLOWING.

 POPE STREM FREAD FITTINGS, MPS 15-INCH AND SMALLER ASTM D 3034,
 SDR 35, WITH BELL-MIND-SPOT ENDS FOR GASKETED JOHTS USING ASTM F
 477, ELASTOMERIC SEALS.

 D. PVC SEWER PIPE AND FITTINGS, MPS 18-INCH AND LARGER ASTM F 679, T-1
 WALL THOCHESS, WITH BELL-MIND-SPICOT ENDS FOR GASKETED JOHTS
 USING ASTM F 477, ELASTOMERIC SEALS.

 D. PPE JOHNS 19-MALE BWATER-TICKED.
- NLESS OTHERWISE SHOWN ON THE PLANS, ALL REINFORCED CONCRETE PIPE ND FITTINGS SHALL CONFORM TO THE FOLLOWING: ASTM C 76, WITH BELL-AND-SPIGOT OR GROOVE AND TONGUE ENDS AND
- GASKETED JOINTS WITH ASTMIC 443 RUBBER GASKETS.

 b. RCP PIPE SHALL BE CLASS III, WALL B.

 c. WHEN LOCATED IN TRAFFIC AREAS WITH LESS THAN 2 FEET OF COVER. REP.
- c. WHEN. LOCATED IN TRAFFIC AREAS WITH LESS THAN 2 FEET OF COVER, REP PIPE SHALL BECKAS IN WALLE. A GOOD THE STATE OF THE STATE DECLARS IN WALL BY WITH OF RIGHT OF THE STATE OF THE STA

- 6. ALL PIPE. FITTINGS, GASKETS, AND SEALS SHALL BE PROTECTED FROM DIRT
- ALL STORM SEWER LINES SHALL BE TELEVISED AND THE VIDEO REPORTS SUBMITTED TO THE ENGINEER FOR REVIEW.

 a. VIDEO REPORTS ARE TO BE SUBMITTED ON CORONN OR DIVO COMPACT DISKS.
 b. ALL LINES MUST BE FLUSHED AND CLEANED WITH POTABLE WATER PRIOR TO
- I VIDEO REPORTS WILL BE USED TO VIEW THE ENTRANCE INVERT.

 VIDEO REPORTS WILL BE USED TO VIEW THE CONDITION OF THE STORM
 SEWER PIPE PRIOR TO ACCEPTANCE. WORKMANSHIP AND CLEANLINESS OF
 THE INSTALLATION WILL BE CHECKED.
- RTICAL AND HORIZONTAL INFORMATION PERTAINING TO THE I THE STORM SEWER SYSTEM PIPING AND STRUCTURES. DATU ID BENCHMARK LOCATIONS SHALL BE INDICATED. INFORMATIO
- AND DENOMBRIS LOCATIONS SHALL BE INDICATED. INFORMATION TO BE NICLUDED IS A FOLLOWS:

 IN PIPE TYPE, SIZE, AND INVERT ELEVATIONS.

 IN MINIOLE, DROP INLET, CURS IN HELT, YARD DRAIN, AND POND CONTROL STRUCTURE LOCATIONS WITH ELEVATIONS OF BOTTOM, RIM OR GRATE ELEVATION SHOWN.
- NTROL STRUCTURES: SHOW INFORMATION ON ALL FLOW CONTROL APPLIETENANCES AND OUTLIET PIPING

ASPHALT PAVING

- THE CONTRACTOR IS TO PROVIDE BARRICADES, SIGNS, FLASHERS, AND FLAG PERSONNEL AS INCESSARY TO INSURE THE SAFETY OF WORKERS AND VISTORS. ALL CONSTRUCTION SIGNON, BARRICADION, AND TRAFFIC DELINEATION IS TO CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". LATEST EDITION.
- ALL ASPHALT PAVING MATERIALS, WORKMANSHIP, AND INSTALLATION REQUIREMENTS SHALL COMPLY WITH THE STANDARD SPECIFICATIONS OF TSTATE DEPARTMENT OF TRANSPORTATION, QO. T. FOR THE STATE IN WHICK THE WORK OCCURS WITH SOME EXCLUSIONS. THE DOT PAYMENT PROCEDU
- AND SAFETY REQUIREMENTS SHALL GENERALLY NOT APPLY.

 a. COARSE AGGREGATE. FINE AGGREGATE AND MINERAL FILLERS: IN
 ACCORDANCE WITH D.O.T. MATERIAL STANDARDS AND ASSOCIATE
- ASPHALT BINDER, ASPHALT CEMENT, PRIME COAT, AND TACK COAT: IN ACCORDANCE WITH D.O.T. MATERIAL STANDARDS AND ASSOCIATED CONSTRUCTION SPECIFICATIONS.

 2. JOHN TSEALANT. ASTIN 6680 OR AUSHTON 324. TYPE III OR III, HOT APPLIED, SINGLE COMPONENT, PCLYMER-RADOIFED BITUINNOUS SEALANT.

 4. PAVEMENT-MARKING PAINT. IN ACCORDANCE WITH I D.O.T. MATERIAL STANDARDS AND ASSOCIATED CONSTRUCTION SPECIFICATIONS. COLORS AS INDICATED.
- DO NOT APPLY ASPHALT MATERIALS IF SUBGRADE IS FROZEN, WET, OR EXCESSIVELY DAMP, OR IF RAIN IS IMMINENT OR EXPECTED BEFORE TIME REQUIRED FOR ADEQUATE CURE. APPLY ONLY AT D.O.T. RECOMMENDED SURFACE TEMPERATURE.

- ENT THICKNESS: THE AVERAGE OF THE MEASURED THICKNESSES OF
- THE PAVEMENT LAYERS SHALL MEET OR EXCEED THE REQUIRED THICKNESS FOR THOSE LAYERS, AND THE MINIMUM THICKNESS IN ANY ONE AREA SHALL NOT BE LESS THAN 0.25 INCHES BELOW THE REQUIRED THICKNESS. NOT BE LESS THAN U.S INCHES BELOW THE REQUIRED THICKNESS.

 PAVEMENT SURFACE SMOOTHNESS: COMPACT EACH COURSE TO PRODUCE A SURFACE SMOOTHNESS WITHIN THE FOLLOWING TOLERANCES AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED TRANSVERSELY
- DETERMINED BY DURING A DEPUTED THROUGH EDGE APPLIED TRANSVERGELT OR LONG TO THE TRANSVERGELT OR LONG THROUGH THE TRANSVERGELT OR LONG THROUGH THE TRANSVERGE COURSE: 14 NICH COUNTED SURFACES CHEST WITH CROWNED TEMPLATE CENTERED AND AT RIGHT ANGLE TO CROWN, MAXIMUM ALLOWABLE VARIANCE FROM TEMPLATE
- PAYMENT MISSINGS SHALL BE MUCK STRIKEN TERMINAT NATIO ACTIVILITY MARKON PAYMENT AND THE OTTO MISSINGS TO GOT OTHER THAN THE OPENING THAN THE OTHER OTHER OTHER THAN THE OTHER OTHER

AS-BUILT SURVEY

- COMPLETION OF THE WORK, THE SITEWORK SUB-CONTRACTOR SHALL TAIN THE SERVICES OF A PROFESSIONAL LAND SURVEYOR TO PERFO I "AS-BUILT" SURVEY. THE "AS-BUILT" SURVEY SHALL INCLUDE LOCATII EVATION DATA FOR ALL CONSTRUCTED IMPROVEMENTS. SPECIFIC
- - EVALIDA DATA FURAL LOUNDI NOLED IMPROVENDENTS. SPECIFIC OFONNATION INCLUDED IN THE SURVEY SHALL BE AS FOLLOWS: ALL PAVEMENT SURFACES INCLUDING CURBS, WALKS, RAMPS, PADS, ETC ALL SANTARY SEWER ALL STORM SEWER

 - OUT BUILDINGS, IF APPLICABLE WATER, GAS, BURIED ELECTRIC AND BURIED TELECOM LINES





1208 Fast Kennedy Boulevan

Tampa, Florida 33602 [p]: 813.434.4770 [f]: 813.445.4211

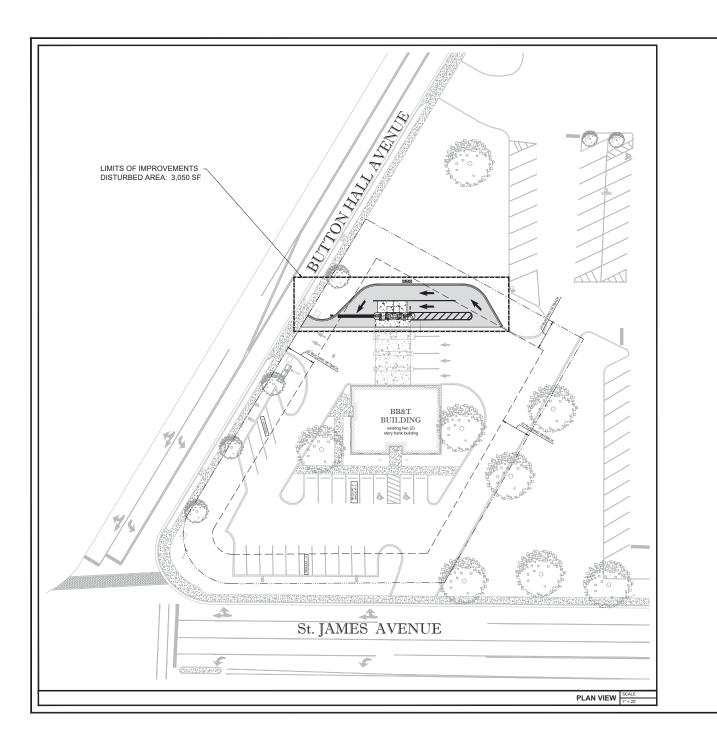


SC REG. NO. 29128

GOOSE CRE

C00.01 AS NOTED

CIVIL





PARKING DATA:

PROPOSED PARKING: 21 STANDARD SPACES, 2 HANDICAP SPACE, 23 TOTAL BUILDING AREA: 3,590 SF REQUIRED PARKING: 1 / 200 SF GFA = 18 SPACES REQUIRED < 23 SPACES PROPOSED

SITE DATA

APPROX. 40,684 SF 2. TMS NO.: 243-08-06-026 4. ZONING: GC - GENERAL COMMERCIAL 5. EXISTING BUILDING: TWO (2) STORY; ±3,590 SF 6. BUILDING SETBACK:

7. PROPOSED ATM CANOPY ±72 SF 8. ATM CANOPY HEIGHT: 12 FEET

FLOOD ZONE: THE PROPERTY IS WITHIN FLOOD ZONE X, BASED ON FEMA MAP NUMBER 45015C0595E, EFFECTIVE DATE 12-07-2018.



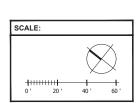


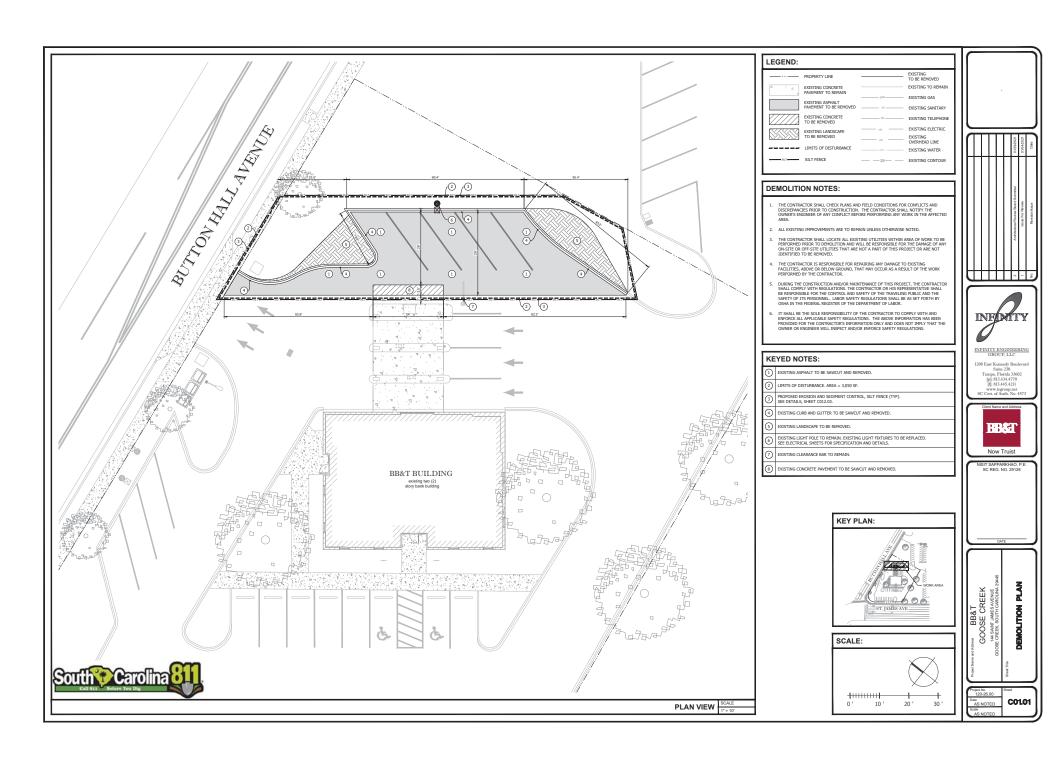
1208 East Kennedy Boulevard Suite 230 Tampa, Florida 33602 [p]: 813.434.4770 [f]: 813.454.4711 www.legroup.net SC Cert. of Auth. No. 4573

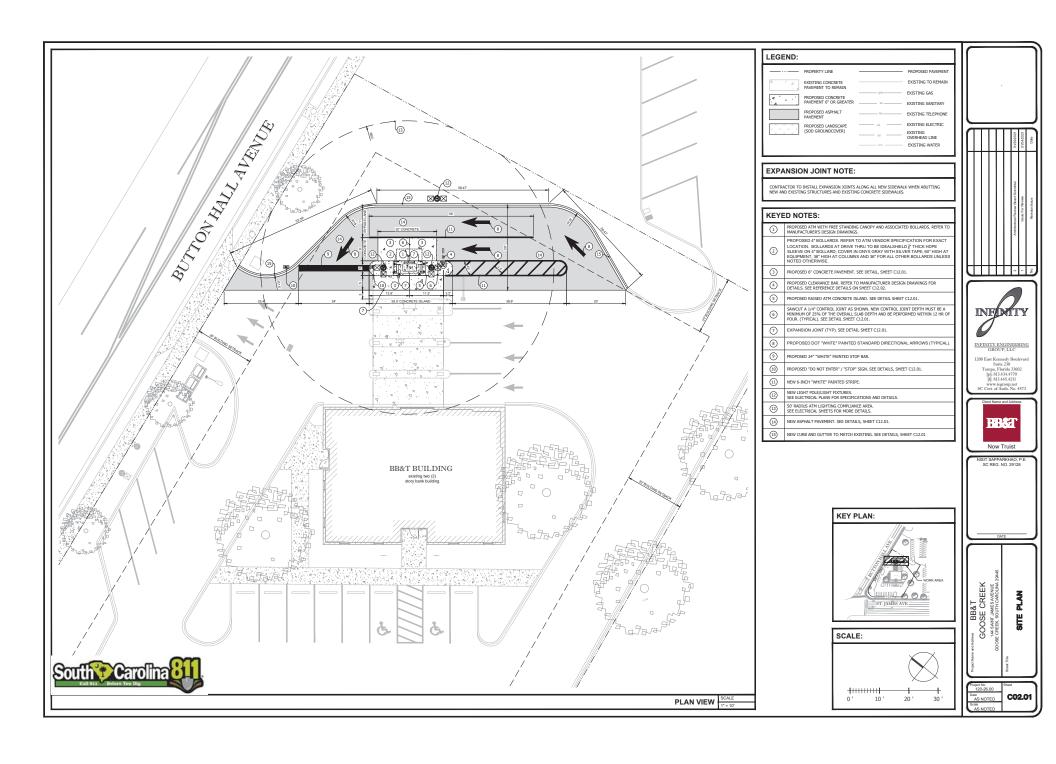


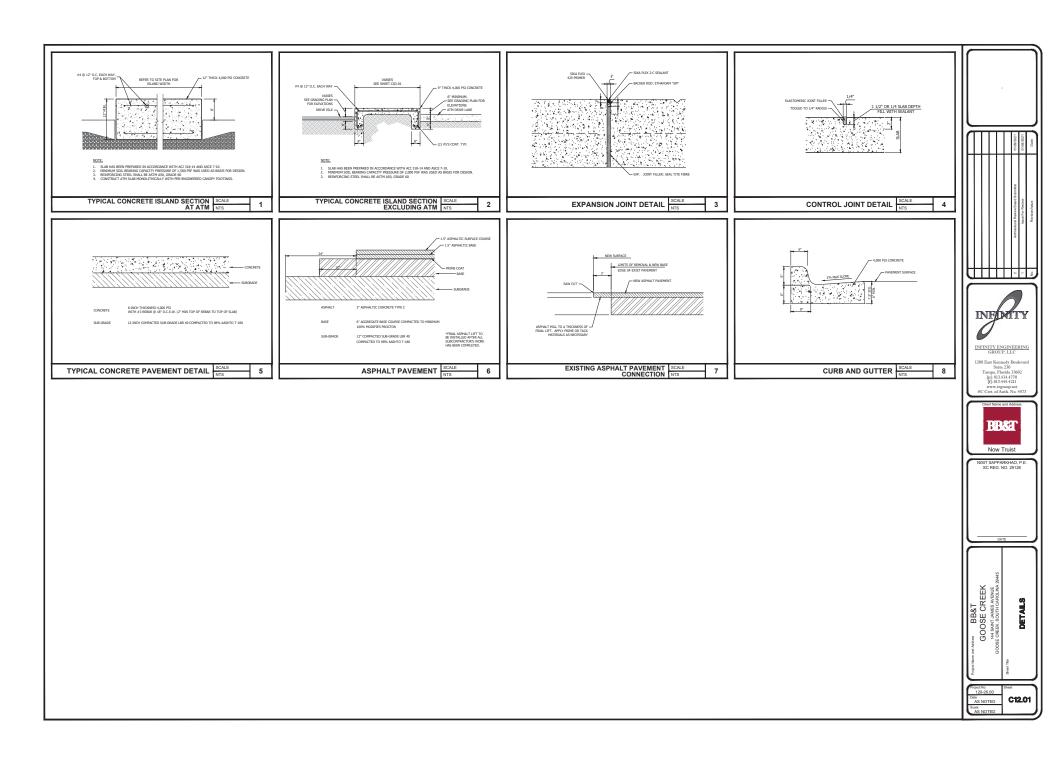
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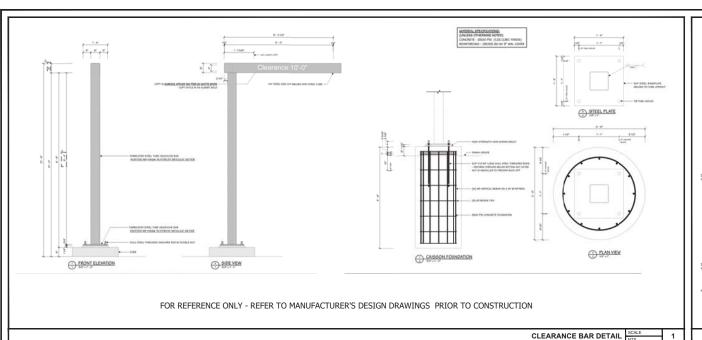
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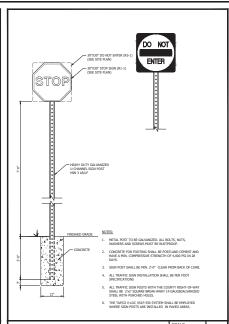


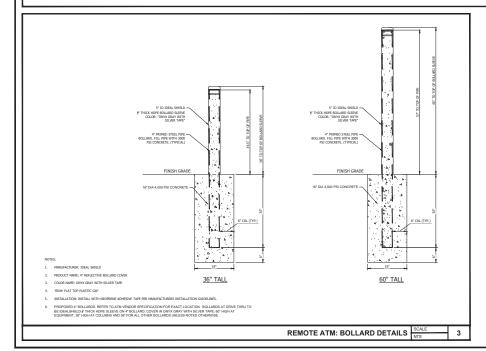


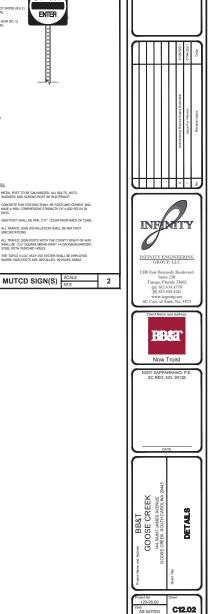


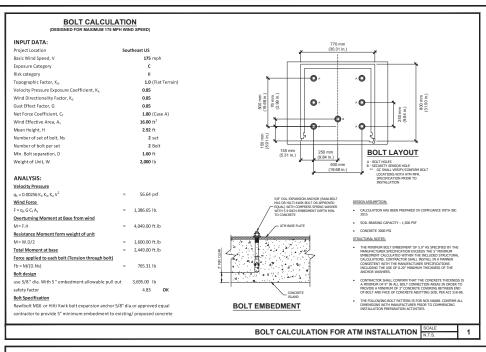


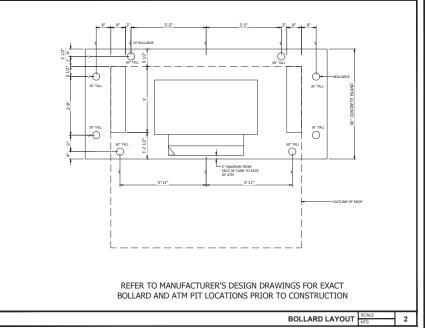


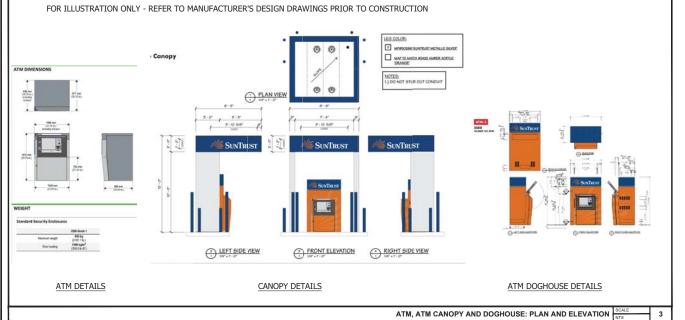






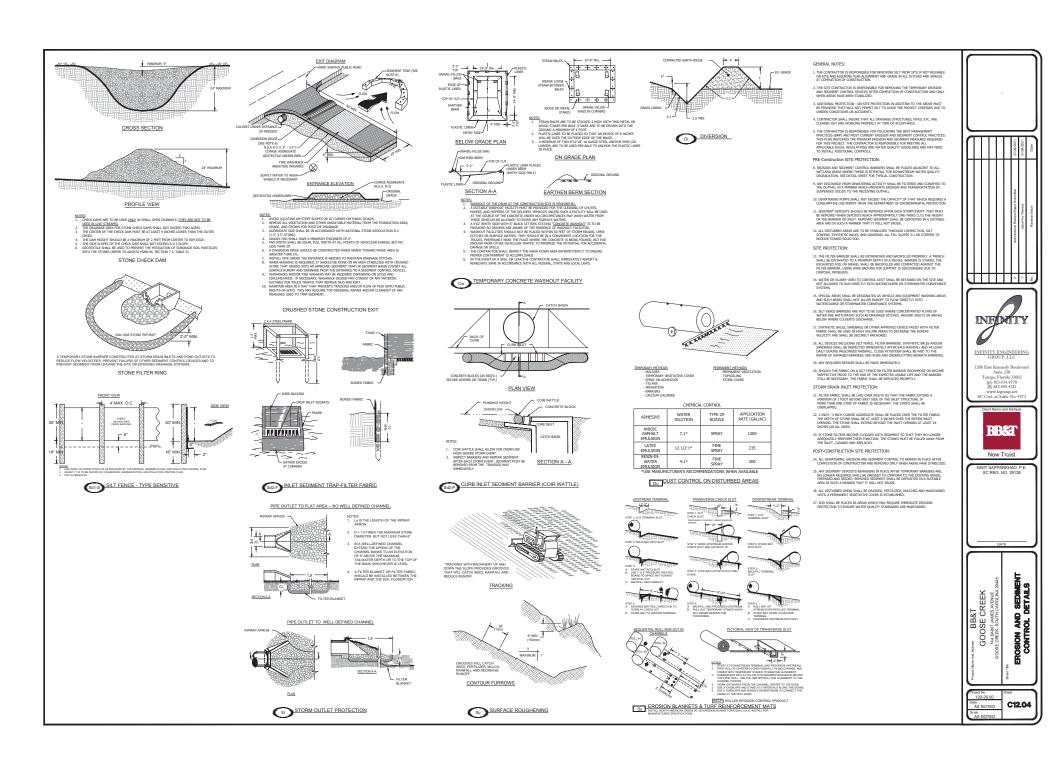


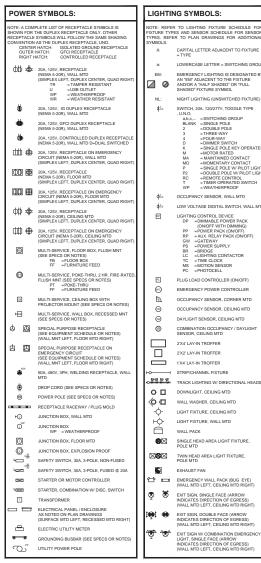






C12.03





ELECTRICAL SHEET INDEX

ELECTRICAL LEGEND. ABBREVIATIONS. AND

GENERAL NOTES
ELECTRICAL SPECIFICATIONS
ELECTRICAL SITE PLANS
PHOTOMETRIC PLAN AT 36' ABOVE GRADE
ELECTRICAL DETAILS
ELECTRICAL PANEL SCHEDULES AND RISER DIAGRAM

CODES IN EFFECT(SC):

ALL WORK SHALL BE IN STRICT ACCORDANCE WITH-

NATIONAL ELECTRICAL CODE - 2017

SC STATE BUILDING CODE - 2018 ASHRAE 90.1 - 2007

INTERNATIONAL ENERGY CONSERVATION CODE

AND PRACTICES LISTED HEREIN. THEIR RESPECTIV DATES ARE FURNISHED AS THE MINIMUM REQUIREMENT (UNLESS OTHERWISE DETERMINED BY THE LOCA AUTHORITIES HAVING JURISDICTION).

SPECIAL SYSTEMS SYMBOLS:

OTE: UNLESS NOTED OTHERWISE, PROVIDE VERSIZED JUNCTION BOX AND CONTRACTOR FOR FINAL REQUIREMENTS

TELEPHONE OUTLET, WALL MTD 1 TELE OUTLET, U.N.O.

CAPITAL LETTER ADJACENT TO FIXTURE

EMERGENCY LIGHTING IS DESIGNATED BY

NIGHT LIGHTING (LINSWITCHED FIXTURE)

SWITCH, 20A, 120/277V, TOGGLE TYPE

a,b,c,... = SWITCHING GROUP BLANK = SINGLE POLE

=THREE-WAY

=DIMMER SWITCH =SINGLE POLE KEY OPERATED =MOTOR RATED

=MOTOR RATED

= MAINTAINED CONTACT

=MOMENTARY CONTACT

= SINGLE POLE W/ PILOT LIGH

= DOUBLE POLE W/ PILOT LIGH

= REMOTE CONTROL

= TIMER OPERATED SWITCH

= WEATHERPROOF

LOW VOLTAGE DIGITAL SWITCH, WALL MTD

=DIMMABLE POWER PACK
(ONNOFF WITH DIMMING)
=POWER PACK (ONNOFF)
=AUX. RELAY PACK (ONIOFF)
(=GATEWAY
=POWER SUPPLY
=BRIDGE
=LIGHTING CONTACTOR
=TIME CLOCK
=MOTION SENSOR
=PHOTOCELL

OCCUPANCY SENSOR WALL MTD.

LIGHTING CONTROL DEVICE

PLUG LOAD CONTROLLER (ON/OFF)

EMERGENCY POWER CONTROLLER

OCCUPANCY SENSOR, CORNER MTD

DAYLIGHT SENSOR, CEILING MTD

TRACK LIGHTING W/ DIRECTIONAL HEADS

2'YA' LAV-IN TROFFER

2'X2' LAY-IN TROFFER

1'X4' LAY-IN TROFFER STRIP/CHANNEL FIXTURE

DOWNLIGHT CELLING MTD

WALL WASHER, CEILING MTD

LIGHT FIXTURE, CEILING MTD

SINGLE HEAD AREA LIGHT FIXTURE, POLE MTD

TWIN HEAD AREA LIGHT FIXTURE, POLE MTD

EMERGENCY WALL PACK (BUG EYE) (WALL MTD LEFT, CEILING MTD RIGHT)

INDICATES DIRECTION OF EGRESS) (WALL MTD LEFT, CEILING MTD RIGHT)

(WALL MTD LEFT, CEILING MTD RIGHT)

LIGHT, SINGLE FACE (ARROW INDICATES DIRECTION OF EGRESS) (WALL MTD LEFT, CEILING MTD RIGHT)

EXIT SIGN W/ COMBINATION EMERGENCY

EXIT SIGN, SINGLE FACE (ARROW

EXIT SIGN. DOUBLE FACE (ARROW

LIGHT FIXTURE, WALL MTD

EXHAUST FAN

AND/OR A "HALF SHADED" OR "FULL SHADED" FIXTURE SYMBOL

COMBINATION TELE/DATA OLITI ET WAL

TELEPHONE OUTLET ▽ 1 TELE OUTLET, U.N.O. (FLOOR MTD LEFT, CEILING MTD RIGHT)

▼ • COMBINATION TELE/DATA OUTLET 1 TELE / 1 DATA OUTLET, U.N.O. (FLOOR MTD LEFT, CEILING MTD RIGHT)

y 9 COMBINATION TELE/DATA OUTLET 1 TELE / 2 DATA OUTLETS, U.N.O. (FLOOR MTD LEFT, CEILING MTD RIGHT)

WAP WAP WIRELESS ACCESS POINT (CEILING MTD LEFT, WALL MTD RIGHT) TELEPHONE BACKBOARD (TBB)

INTERCOM OUTLET INTERCOM STATION BLANK =REMOTE M =MASTER

AUDIO / VIDEO DEVICE
(WALL MTD LEFT, CEILING MTD RIGHT) AV = AUDIO / VIDEO OUTLET
M = MICROPHONE OUTLET
SM = SECURITY MONITOR OUTLET
TV =TELEVISION OUTLET
V = VOLUME CONTROL

AMP SOUND SYSTEM AMPLIFIER SPEAKER

н© © (WALL MTD LEFT CEILING MTD RIGHT) AUDIBLE NOTIFICATION DEVICE B =BELL C =CHIME G =GONG

BUZZER €V BELL & BUZZER COMBINATION

H =HORN S =SIREN AUXILIARY SYSTEM DEVICE BT

Hd

TRANSFORMER
R = RELAY
D = ELECTRIC DOOR OPENER

AUDIBLE NOTIFICATION DEVICE

LV =LOW VOLTAGE TRANSFORMER ANNUNCIATOR

 \Leftrightarrow INDICATOR LIGHT (WALL MTD LEFT, CEILING MTD RIGHT) BL =BURGLAR ALARM LIGHT HO D HO,

CLOCK =DOUBLE FACE =COMBINATION SPEAKER

SECURITY DEVICES

JURITY DEVICES

C = DOOR CONTACT

GB = GLASS BREAK DETECTOR

HU = HEAT DETECTOR

HU = HOLD-UP BUTTON

KP = KEY PORTON

MO = MOTION DETECTOR

PVM = PUBLIC VIEW MONITOR

SD = SOUND DETECTOR

SEC = SECURITY CONTROL

PNME

VS = VIBRATION SENSOR WC = WINDOW CONTACT □ ACCESS CONTROL DEVICE ACP = ACCESS CONTROL PANEL

CR = CARD READER
ES = ELECTRIC STRIKE
ML = MAGNETIC LOCK
PS = PROXIMITY SENSOR
PWR = POWER SUPPLY RX =REQUEST EXIT PUSH BUTTON

SECURITY CAMERA
(WALL MTD LEFT, CEILING MTD RIGHT) PTZ =PAN/TILT/ZOON BX =BOX D =MINI DOME

BL =BULLET WP =WEATHERPROOF ● ● ● PUSHBUTTON STATION

NORMAL / EMERGENCY CALL BUTTON \Box H PUSH BUTTON

ЮΘ THERMOSTAT (WALL MTD LEFT, CEILING MTD RIGHT

RACEWAY SYMBOLS:

LV - LOW VOLTAGE CABLE -- CONDUIT BURIED - CONDUIT CONCEALED — CONDUIT EXPOSED FLEXIBLE CONDUIT CONDUIT UP CONDUIT DOWN CONDUIT SEAL-OFF P CONDUIT TEE BODY

HOMERUN CIRCUIT TO

CONDUIT EL BODY CONDUIT CAP =CONDUIT SLEEVE WITH BUSHINGS

PB PULL BOX нн HAND HOLF

ABBREVIATIONS

AMPERE
AVAILABLE FAULT CURRENT
ARC FAULT CIRCUIT INTERRUPTER
ABOVE FINISHED FLOOR AFCI AFFI AFGI AHJI AICI ATSI BLDGI BRKR ALITOMATIC TRANSFER SWITCH CONTROL POWER TRANSFORMER CT CU CTR EA EG EGC CONDUCTOR EMERGENCY ELECTRONIC OVERLOAD EM EOL FDR FLA GEC FULL LOAD AMPS GROUNDING ELECTRODE GFI GFCI GPOLIND EALILY INTERPLIPTED GROUND FAULT CIRCUIT INTERRUPTER GND GRS HOA IG JB GROUND GALVANIZED RIGID STEEL HAND-OFF-AUTO ISOLATED GROUND JUNCTION BOX KILOVOLT-AMPERE KILOWATT LONG, SHORT, INSTANTANEOUS, GROUND FAULT TRIP LTG MCA MCB MCC MCCB MCCB LIGHTING MINIMUM CIRCUIT AMPS MAIN CIRCUIT BREAKER
MOTOR CONTROL CENTER
MOLDED CASE CIRCUIT BREAKER
MOTOR CIRCUIT PROTECTOR MDP MFS MGB MLO MOCP MAIN DISTRIBUTION PANEL MAXIMUM PUSE SIZE
MAIN GROUNDING BUSBAF
MAIN LUG ONLY
MAXIMUM OVERCURRENT MTD MTS N.C. N.O. NL NTS OCPD MOUNTED
MANUAL TRANSFER SWITCH
NORMALLY CLOSED
NORMALLY OPEN
NIGHT LIGHT OVERCURRENT PROTECTION ОН POLE P PH PNL PWR RECEP RM SCCR POWER RECEPTACLE ROOM SHORT CIRCUIT CURRENT RATING TELE TGB TELECOMMUNICATIONS GROUNDING BUSBAR TELECOMMUNICATIONS MAIN TMGB

UNDERGROUND

WIRE WEATHERPROOF WEATHER RESIS' TRANSFORMER

UNDERGROUND
UNLESS NOTED OTHERWISE
UNINTERRUPTIBLE POWER SUPPLY
VOLT
VERIFY IN FIELD

GENERAL NOTES:

- PRE-BID SITE VISIT: CONTRACTOR PROPOSING TO UNDERTAKE WORK UNDER THIS DIVISION SHALL VISIT THE SITE OF THE WORK AND FULLY INFORM THEMSELVES OF ALL CONDITIONS.
 THAT FEFFCT THE WORK AND COST THEREOF AND EXAMINE THE DRAWINGS AS RELATED TO THE SITE CONDITIONS. RIDDERS WHO DO NOT VISIT THE SITE MAY BE INNIVERSALLY NOT

- INSPECTIONS CONTRACTOR SHALL NOT COMEAN. ANY TWANT WITH THE STATE ACCOPTION OF THE LATEST ACCOPTION WITH LATEST ACCORDING THE LATEST ACCORDING THE
- SHALL SE GROUPEN AND INSTALLED IN KINDS WINCH HER PRAVILED, AND PERPENDICULAR WITH BUILDING LINES.

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- DESCRIPTION DO STORE LOCATIONS LOCATIONS CONTROL ELECTRICAL PLANS ARE PHYROLAMST EXACT LOCATIONS BULL BE DETERMINED FROM ADDITECTURAL PLANS SECTIONS.

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- CONTRACTORS DOWN RISK.

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- EQUIPMENT

 SERTITION AND ALTERATION OF OTHER DISCRIPT HEE SCRIPT HEE SERVING THE SERVING HEEST AND ALTERED COURSEST HE HELD THE SERVING HEEST AND ALTERED COURSEST HEEST AND ALTERED CO
- AND ORECURRENT PROTECTIVE ERVICE AC PARTIOLS FOR EIGNEERS APPROVAL. OPERCURRENT PROTECTIVE ERVICES AC PARTINGS SPALL BE TALLY TALLY MITTAL MINIMAL WIN, MANNEN BETWEEN THE CALLARITE FAIRLY LIES, AND THE SECRET PROFESSOR FOR THE COURT PROFESSOR FOR THE CALLARITE FAIRLY FOR THE CALLARITE FAIRLY FOR PRACHIC FOR THE CALLARITE FAIRLY FOR THE CALLARITE FAIRLY FOR PRACHIC FOR THE CALLARITE FAIRLY SOLVED FOR THE CALLARITE FAIRLY FOR PRACHIC FAIRLY FOR PRACHIC FAIRLY FAIRLY FAIRLY FOR THE CALLARITE FAIRLY FAIRL
- - 480Y/27V, 3-PH 208Y/120V, 3-PH 240D/120V, 3-PH 240120V, 1-PH BROWN BLACK BLACK BLACK BLACK CONDUCTOR PHASE A:
- BOLATED GROUND. GREENYELLOW GREENYELLOW GREENYELLOW GREENYELLOW

 4. BHARD CHRUIN HARD CHRUIN REUTHALS SHALL NOT BE USED UNLESS NIDICATED OTHERWISE ON PANEL SCHEDULE. WHERE USED, CIRCUIT BREAKER HANDLE TIES

 SHALL BE PROVIDED TO DISCONNEET POWART TO EAST HARDS CONDUCTION OF THE GRADER OF WITHOUT AND PROVIDED TO THE GRADER OF THE GRADER O
- SHALE BY ROWNED TO RECOVER FOREST OR EACH HASE CORRUCTOR OF THE SHARED MELTIFIAL GOOD.

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 SHALL BE ROWLESSED IN SIZE OF EQUIL PROPORTION TO THE PHASE CORRUCTORS WEREVER THE PHASE CORRUCTORS HERE HERE HERE HERE HERE TO INMARTIA ACCEPTABLE VOLTAGE

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- CONCIONATION CONTRICTOR CONTRICTO

- AND COVER PLATES, UND.

 (CARMING UPON COMPLETION OF WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE CONTRACT AREA AND ALL OTHER AREAS USED FOR STORAGE, STAGING, ETC. ALL

 COLVERNAT AND DEVICES SHALL BE CLEANED AND YOUGHED IN ACCORDANCE WITH WARRANCH WERE SECONDECATIONS, SOUP AND WHERE CLEANING OR OTHER METHODS THAT

 TESTING. THE COMPANION SHALL TEST ALL OWNERS HIS STATION BORNES THAT STORE OWNERS HIS PROPRIES PRESENTED AND THE STATION AND TESTS. ALL CONNECTIONS AT PAREASONESS, CONTROL PARES, DEVICES, AND EQUIPMENT AND ALL SPLICES MUST BE COMPLETED. EACH SMANCH ORGUIT AND TIS

 RESPECTACE COMPANION SHALL TEST ALL STATIONS OF THE SECOND SHALL SPLICES MUST BE COMPLETED. EACH SMANCH ORGUIT AND TIS

 RESPECTACE COMPANION SHALL STATION SHALL SHALL
- TRAINING OWNER AND/OR OWNER'S REPRESENTATIVE SHALL BE TRAINED ON THE USE OF ANY NEW ELECTRICAL EQUIPMENT AND LIGHTING CONTROLS PRIOR TO FINAL ACCEPTANCE.

 RIVER ACCEPTANCE. AT THE END OF CONSTRUCTION, A FINAL WALK-TREQUEN SHALL BE PERFORMED. ALL DEFICIENCIES IDENTIFIED DURING FINAL INSPECTION SHALL REPRESENTED.
- THE RESIDENCE AND THE WAY OF UNIFORM THE PROPERTY OF THE WAY OF THE PROPERTY OF THE CONTROL OF T
- D. WARRANTY INFORMATION.
- S. WEARATT REPORTATION. IN STEEL STEELS, USED THE CONTRACT SHALL SE LINKES OFTER IN PROSES WERE NOT SOME ON METRICAL WHICH IS AN ARREST WAY. THE STEEL SHALL SE LINKES OFTER IN PROSES WERE ANY DESCRIPTION OF THE STEEL SHALL SHALL









ELECTRICAL LEGEND, ABBREVIATIONS, AND GENERAL NOTES

AS NOTED E00.01

ELECTRICAL GENERAL REQUIREMENTS

PART 1 - GENERAL

- RELATED DOCUMENTS

 A The ceneral provisions of the contract including General and Special Conditions and General Requirements shall apply to all
- 1.02 REQUIREMENTS OF REGULATORY AGENCIES AND STANDARDS

- COULDEMENTS OF REQUIATORY AGENCIES AND STANDARDS

 Equipment, fluxes, martial and installation shall conform to the requirements of the local Building Department, the serving utility companies, the National Electrical Code. National Electrical Salety Code, Life Salety Code, Occapational Salety and Health Act, and epiglical relational, state and local codes, relationates and regulations.

 All explanars that be evaluated to rescribe a servine in regulations of NEMA, IEEE, annual.

 All explanars that be evaluated to rescribe a servine in regulation of NEMA, IEEE, annual regulations, the Contractor shall be carried on the servine in the contractor shall be carried on the servine in the contractor shall be carried on the servine in the contractor shall be carried on the servine in the contractor shall be carried on the servine in the contractor shall be carried on the servine in the contractor shall be carried on the servine in the servine in

All local fees, permits, and services of inspection authorities shall be obtained and paid for by the Contractor. The Contractor shall cooperate fully with local companies with respect to their services. Contractor shall include in his bid any costs to be incurred relable to power service (primary and/or secondary) and telephone service.

- Description of the specifications covers the electrical systems of the project. It includes work performed by the electrical trades as well as trades on normally considered as electrical trades as well as trades or normally considered as electrical trades. Provide all incidentals, equipment, appliances, services, hoisting, scaffolding, supports, tools, supervision, labor consumable imms, fees, licenses, etc., necessary by provide complete systems. Perform start-up and checkout on each them and system to
- provide fully operable systems.

 C. Examine and compare the Electrical Drawings with these specifications, and report any discrepancies between them to the Architect/Engineer and obtain from him written instructions for changes necessary in the work. At time of bid the most stringent requirements must be included in the most stringent requirements must be included in the most advantage of the property of the pr

- D. Examine and compane he Electrical Drawings and Specifications with the Drawings and Specification of other trades, and report any discrepancies between them to the Architectifiquente and dobtain from him written instructions for changes are consequently as the work. At time of bid, the most strengent requirements must be included in said bid.

 Excessary in the work. At time of bid, the most strengent requirements must be included in said bid.

 Excessary in the work. At the most strengent requirements must be included in said bid.

 For excessary in the work of the contraction of the Contractio

- 1.05 REFERENCES
 A. Utilize the following abbreviations and definitions for discernment within the Drawings and Specifications
- ations
 a) NEC National Electrical Code.
 b) OSHA Occupational Safety and Health Act.
 c) ANSI American National Standards Institute
 d) NFPA National Fire Protection Association.

 - of INFPA National Fire Protection Association.

 9 ASA American Standards Associations.

 9 IEEE Institute of Electrical and Electronics Engineers.

 9 INEMA National Electrical Manufacturers Association.

 10 IL Underwriters! Laboratories, Inc.

 10 IESI Billuminating Engineering Society.

 11 ICEA Insulated Cable Engineers Association.

 24 ASTM American Society of Testing Materials.

 11 ICEA Insulated Cable Engineers (Inc.)

 11 ICEA Cartifical Electrical Testing Laboratories, Inc.

 11 ICEA MC-efficial Gallast Manufacturers.

 - D) EIA Electronic Industries Association
 LED Light Emitting Diode.
 OEM Original Equipment Manufactur

- "PROVIDE" means to supply, purchase, transport, place, erect, connect, test, and turn over to Owner, complete and ready for requisir operation, the particular Work referred to.

- spices, sinc ail other items necessary andor required in connection with such Work.

 **CONDUIT means the inclusion of all fittings, hangers, supports, deverse, stell
 **inclusion and the stell
 **CONDUIT Amenia the inclusion of all fittings, hangers, supports, deverse, stell
 **inclusion and the stell
 **CONDUIT Amenia enhanced in masonry or other construction, installed behind wall furring or within double partitions, or installed above hump ceilings.

- COORDINATION OF THE WORK
 A. Cestain materials will be provided by other trades. Examine the Contract Documents to ascertain these requirements.
 B. Carefully nets space requirements with other trades and the physical confines of the area to insure that all material can be installed in the spaces all other the spaces all other trades and the physical confines of the area to insure that all material can be installed in the spaces all other through through the spaces all other through through the spaces all other through through the spa
- modifications thereto as required and approved.

 Transmit to other trades all information required for work to be provided under their respective Sections in ample time for
- Interfact to other trades an information required on which to be provided under mer respective Sections in aimpain the for Interface. The provided interface is trade to the provided interface to the p

- Right-of-Way:

 a) Lines that pitch have the right-of-way over those that do not pitch. For example: steam, condensate, and olumbing drains normally have right-of-way. Lines whose elevations cannot be changed to have right-of-way over
- plumbing disins commily have right of early. Lines whose elevations cannot be charged to have right of way over insex whose elevations can be charged.

 1) Make offsets, transitions and charges in elevation in naceways as required to maintain proper headroom in politic by the committee of the co
- the industry with the local Electric Utility Company and the local Telephone Company as to their requirements for service connections and provide all necessary materials, labor and testing.

 L. Coordinate with contractors for work under other Divisions of this specification for all work necessary to accomplish this

1.08 EXAMINATION OF SITE A. Prior to the submittin

MMALIAN OF SILE

for the substitling of bids, the Contractor shall visit the site of the job and shall familiarize himself with all condition
affecting the proposed installation and shall make provisions as to the cost thereof. Failure to comply with the intent of this
paragraph will no way relieve the contractor of performing all necessary work shown on the Drawings.

1.09 PROGRESS OF WORK A. The Contractor shall order the progress of his work to conform to the progress of the work of other trades and shall complete the entire installation as soon as the conditions of the building will permit. Any cost resulting from the defective or ill-timed work performed under this section shall be borne by the Contractor.

- DELIFERY, STORAGE, AND NADLING
 A. Ship and store all products are materials in a manner that will protect them from damage, weather and entry of debris. If items
 A. Ship and store all products are manufactured in a manner that will protect them from damage, weather and entry of debris. If items
 review and acceptance of the Architect-Engineer.

 Deliver materials in manufacturers composed container flight destrifted with manufacturers name, abord name, hybe, class,
 the size of class.

 The store of the store designeer.

EQUIPMENT ACCESSORIES

- EQUIPMENT ACCESSORIES

 And a surface production of the service of
- 1.12 OPERATIONS AND MAINTENANCE MANUALS
 - nce (O&M) manuals in accordance with the Contract Doc

 - A deterier-Provide operations & materierance (up in manual is accountable with the Contract Locuments.)

 1. Provide the City Cipyled of each frontiers. It inches in hard cover 3-ring (loces-led) binders.

 2. Manuals shall be 6-102 inches X-11 inches in hard cover 3-ring (loces-led) binders.

 3. Manuals shall be complete and in Owner's hands prior to turning building over to Owner and at least 10 days prior to instruction to operating personnel.

 B. Provide manufacturer's literature as regularly published by the respective manufacturers for proper preventative and
 - Provide manufacturer's Bernhue as regularly published by the respective manufacturers for proper preventative and comprehensive manufacturers for proper preventative and comprehensive manufacturers. Provide OSM manufacts including but not limited to the foliating.

 Provide OSM manufacturers from the proper first year of operation.

 So practicing paths them oskimp the first year of operation.

 Operating restructions for complete system including:

 Normal destinance, personal and shut-downs.

 Osmal and starting, operating, and shut-downs.

 Osmal manufacturers and provide procedures, if any.

 Osmal manufacturers and procedures, if any.

 Manufacturers shut for each price of equipment, and date when lubricated.

 Normal procedures are shut to complete systems and the shut-downs.

 Normal procedures are shut-downs.

 Manufacturers data for each price of equipment, and date when lubricated.

 - Intellier's data for each piece of equipment enclaring:

 10 Disenting and expectations.

 10 Parties list, including recommendatems to be stocked.

 10 Complete writing departed carriers are considered parts and all variations from the original system design.

 11 Test and dispection certificates.

 11 Test and dispection certificates.

1.13 RECORD DOCUMENTS

- RECORD DOCUMENTS

 A During construction, latery an accurate mood of all deviations between the work as shown on Drawings and that which is
 A During construction, latery an accurate in proof of all they be failed for review by the Architect Engineer.

 By Disconception of the restallation and acceptance by the connect, transfer all record drawing information to one nest and legible set of prints. Then deliver them to the Architect-Engineer for transmittable to the Owner.

 C Provise in each man electrical exciptation of room a famour copy under glass of the appropriate Single Line Riser Diagram as reviewed by the electrical engineer. Media shall be a high quality presentation type paper. Blueprins or other media which lade shall not be used.

1.14 GUARANTEE

ARANTEE

Garantine all material and workmanship for a period of one (1) year from date of final acceptance by the Owner, except that here of surfaces or warrantees for longer terms are specified herein, such longer term to apply. Within 24 hours after though a conditionation, corner and yelderiones that cour during the guarantee period as the additional cost to the Owner, all to the satisfaction of the Owner and Architect/Engineer. Obtain similar guarantees from subcontractors, manufacturers, suppliers and

PART 2 - PRODUCTS

- MATERIALS

 A Applicable equipment and materials shall be listed by Underwiters' Laboratories and Manufactured in accordance with ASME, NEMA, ANSI or IEEE standards, and as approved by local authorities having jurisdiction as mensioned in Division 1.

 B it products are naterials are specified or insidated on the Divisings for a specific term or system, use those products or approved in the product of the products or approved in the product of the products or approved of Shop Divisings where Shop Divisings are required or as approved in writing where Shop Divisings are not required.

 C All againment repackles, etc. are lated for job site operating conditions. All equipment sensitive to saltudes of ambient temperatures to be detailed and method of destings shown on Shop Divisings. Where operating conditions are solid terminations of the conditions, the equipment of the method of destings shown on Shop Divisings. Where operating conditions and the method of destings of the destination of the destinat

2.02 SUBSTITUTION OF MATERIALS OF EQUIDMENT

- BSTITUTION OF MATERIALS OR EQUIPMENT. The regest must be in the first in thing by the Contract. The regest must be in the All requests for substitution of metastics or expenses that be not substituted and provided the provided of the prov
- substitute a lamerer make or type or opportunities to trial specing, custom as innovament perturent to ordered, adaptibility of the proposed apparatus, and source Architectification adaptibility of the proposed apparatus is discussed. Wherever quantities or a desired and size of apparatus is specified, the make and size of apparatus will propose must conform substantially (in regard or size of perture presents) to that specified or implied. Same shall pagly to importunit dimensions relating to operation of apparatus in coordination with the first of the system, or to properly fitting it is available space conditions. Any substitution of equipment or apparatus in size all included all necessary revisions, as required to complete the space conditions. Any substitution of equipment or apparatus in the size of the system, or to properly fitting its order and the size of the size
- netalisation.

 Acceptance of substitutions, for equipment specified herein, will not be given merely upon submission of manufacturer's name. Acceptance of substitutions, for equipment specified heren, will not be given merely upon submission of manufacturin's names and will be given only with recept of complete and statisticately contributed from the complete of operating and on the given of the complete of programment of the complete of t

2.03 SHOP DRAWINGS

- OP DRAWING.

 Prepare and submit detailed Shop Drawings for materials, systems, and equipment as listed herein, including locations and sizes of all openings in foor docks, walls, and floors.

 The Work described in any Shop Drawing submission shall be carefully checked for all clearances (including those required for maintenance and servicing), field condisons, maintenance of architectural condisions, and proper coordination with all trades or the pick. Each submitted Shop Drawing shall include a certification shall effected and that no
- the job. Each submitted Stop Drawing shall include a certification that all related pto common nave them. Land. An according certification.

 All desempts that be submitted safficiently insolance of life requirements to job any early ties from the charge and results as a construction.

 All desempts and all submitted safficiently insolance of life requirements and required and desibled information.

 Acceptance of any submitted data of Stop Drawings for metantiel, ecapterins apparatus, devices, surregiments, and layout shall not relieve Contractor from responsibility of furnishing same of proper dimensions and weight, capacities, steer, quantity, quality and installation deals), the desiriently perform the requirements and intensic of the Contract. Such acceptance shall not expended to the contract of the
- Submittal Date.
 Certification that the contractor has reviewed the submittal.
 Refer to individual specification sections for additional information re Shop Drawing submittals shall be provided for each specific material, sy 1. As a minimum, make submittals on the following items:
 a) Raceways, conduct & wire

- Disconnect switches
 Motor control centers
 Motor controllers, starters, and contactors
- 2 Refer to i

PART 3 - EXECUTION

- STALLATION

 Follow manufacturer's instructions for installing, connecting, and adjusting all equipment. Provide one copy of such instructions to the Architectificing-leve before installing any equipment. Provide a copy of such instructions at the equipment during any work to the architection of the strate of set and exponential exposurement. As a construction, well as preceded in their trade for all of their trade for all of sections, and in their trade for all of their trade for all of their trade of any exposurement. As a construction of their contractions of their contractions (which cannot all adjusting, underlying, etc., Vork on which this Work is in any way dependent for perfect workmandips and report any condition which prevents performance of first class work. Become thoroughly familiar with actual existing conditions on which corrections may be made or which match a change or called more than the correction match to make the which match a change or all thems.

- 3.02 PREMIUM TIME WORK

 A. The following Work shall be performed at night or weekend other than holiday weekends as directed and coordinated with the
 - Owner.

 All item, cut-over and modifications to the existing electrical system and other existing system requiring tie-ins or modifications shall be arranged and scheduled with the Owner to be done at a time as to maintain continuity of the service and not interfere with normal building operations.

3.03 EXCAVATION, TRENCHING AND BACKFILL

- CONATION, TRENCHING AND BACKFILL Provide examinor for the Work. Excavate all material encountered, to the depths indicated on the drawings or required. Remove from the site, excavated materials not required or suitable for backfill. Provide grading, as may be necessary, to deprevent surface water from flowing; into tenerate or other exacutations. Remove say water accumulating teners. Provide represent surface water from flowing; into tenerate or other exacutations. Remove say water accumulating teners. Provide removals are consistent or an exacutation of the tenerate consistency of the proper execution of the Work. Grade bottom of the tenerate causate type provide unique tenerate consistency and provide tenerate consistency and exercise provide tenerate consistency and the exercise provides and exercis table soil that is incapable of properly supporting the Work, as determined by Architeck/Enginer, is encountered om of the trench, remove soil to a depth required and backfill the trench to the proper grade with coarse sand, fine gra
- her suitable material.

 canada fernéne for utilitées to a depth that will provide the following minimum depths of cover from existing grade or from founds frinkhed grade, whichever is lower, unless otherwise specifically shown.

 Pirmany electric service: tour (4) feet (minimum)

 Secondary electric service: thou (7) feet (minimum)

 Telephore service: tour (7) feet (minimum)

- 3. Telephone service: two (2) feet (minimum). Tendends shall not be placed within test (1) feet of foundation or oral surfaces which must result information forces. Tendends shall not be placed within test (1) feet of foundation or oral surfaces which must result information forces. The property comply with the requirement of other services of these specifications. Results shall create of other services of these specifications. Results shall create of other services of these specifications. Results shall create of other services of these specifications. Results shall create of other services of these specifications. Results shall create of other services of other services of the services of

- 3.04 CUTTING, TATCHING, MOR DEPURSING
 A The work shall be carefully also an advance. Where cutting, channeling, chasing or diffing of floors, walls, partitions, ceilings
 or other surfaces is messasiny for the proper installation, support or anchorage of necessary, outlets or other equipment, the work
 shall be carefully acre. Any damage to the building pinit, equipment of elected fraits plates, revokent, metallative, etc. shall
 be carefully acre. Any damage to the building pinit, equipment of elected fraits plates, revokent, metallation, etc. that
 B. Where conduits, mounting channels, collect, junction, or put boxes are mounted on a painted surface, or a surface to be painted,
 they shall be painted for match the surface. Wherever support channels are out, the bare metall that be cold glashinated.
- they share on parents or the parents of the parents
- Should any existing services interfere with new construction, the Contractor shall (after obtaining written approval from the
- 5. Should any existing services stretten with new construction, the Contractor shall (after obsuming written approval from the Country of the Contractor shall (after obsuming written approval from the Contractor of after on the Contractor of after of the Contractor of after of a

- 3.00 CEANING UP

 A. Contractor shall take care to avoid accumulation of definit, boxes, crates, etc., resulting from the installation of his work.

 Contractor shall remove from the premises each day all debrits, boxes, etc., and keep the premises clean.

 B. Command had lean up all interes and equipment aft the competion of the premises clean.

 Contractor shall remove from the premises and experience of the premises of the prem

3.07 WATERPROOFING

- VAILED TO A CONTRICT OF THE ACT O

3.08 SUPPORTS

- SUPPORT of text in accordance with the best inclusing yearsics and the following.

 A include supporting farmers or nake overlanding naturation from which indicated as being supported from walls where the walls are incapable of supporting the weight. In particular, provide such frames or racks in electric closest.

 C include supporting frames or racks for equipment, interned for vertical surface mounting, which is required in a free standing
- position.

 Supporting bitness or ricks a shall be of standard unjoys, associated channed or specially support system steel members. They shall be supported by the special support system steel members. They shall be supported to the support of supporting the steel steel to a source a workmarkle surregement of all equipment mounted on them.

 Nothing, (including outlet, put and spiciario boxes and fillings) shall depend on electric conduits, rearrangement of a support except that threaded hub type fittings having a gross volume not in excess of 100 cubic inches may be supported from heavy wall conduit, where the conduit is securely supported from the structure within the nethood of the fitting on two opposites.
- Nothing shall rest on, or depend for support on, suspended ceilings media (tiles, lath, plaster, as well as splines, runners, bars and the like in the plane of the ceiling).

 G. Provide required supports and hangers for conduit, equipment, etc., so that loading will not exceed allowable loadings of

3.09 FASTENINGS

- STENINGS.

 Fasten electric work to building structure in accordance with the best industry practice and the following.

 Floor or past mounted equipment shall not be held in place solely by its own dead weight. Include another fastening in all cases

 For items which are shown as being caling mounted at locations where fastening by the building controlled or locations where fastening by the building controlled or locations where fastening by the building ostructural elements.
- 3.10 TESTING EQUIPMENT AND MATERIALS or shall provide all testing instruments, equipment and all materials, connections, labor, etc., required to perform
- 1. The Contractor scale private all exercity instruments, equipment and air materials, contractors, abot, etc., records up personness.
 8. Test all circuits, fixtures, equipment, and systems for proper operation and freedom from grounds, shorts and open circuits before acceptance is requested.
 C. Messure voltage at paneboards and outlets after the building is fully occupied. Make final transformer tap adjustments based on these messurements.
- D. Perform all tests required by local authorities, such as tests of life safety systems, in addition to tests specified herein.
 Perform tests required by other specification sections.





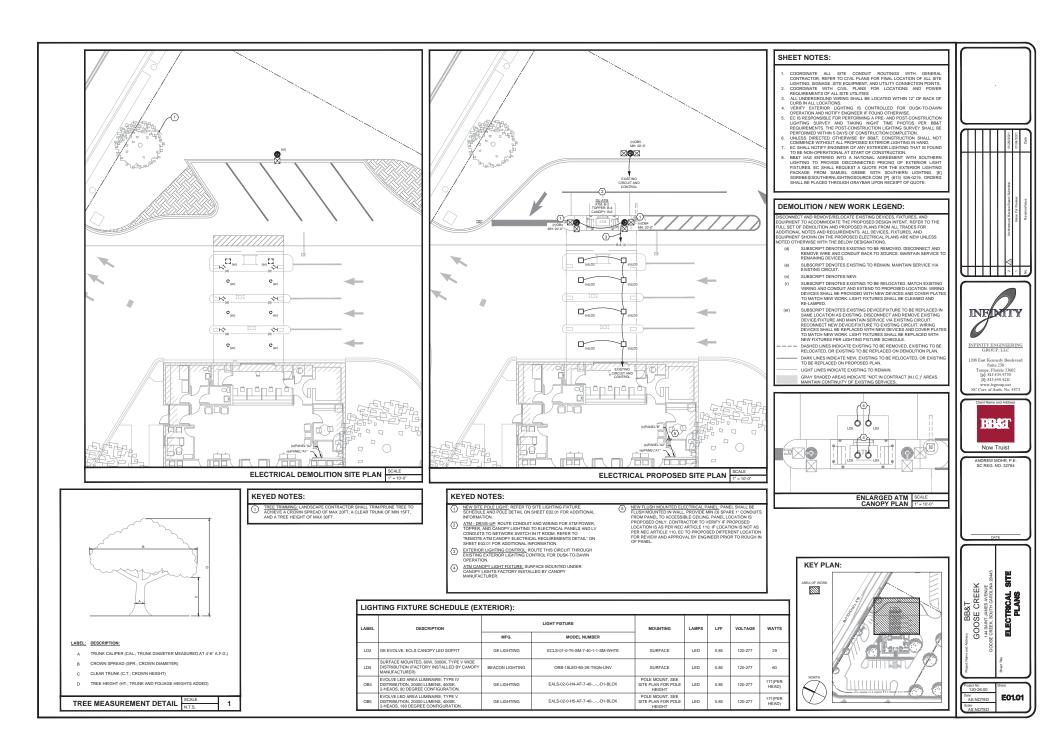


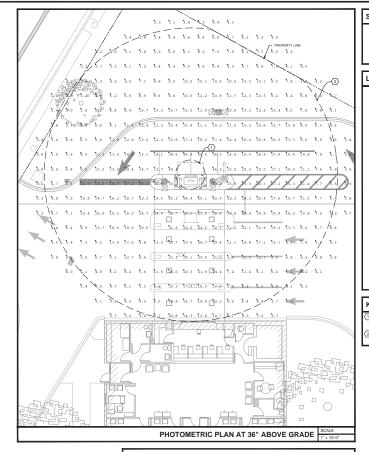
1208 East Kennedy Boulevan

Now Truist SC REG. NO. 32784

ELECTRICAL SPECIFICATIONS GOOSE CREEK
144 SAINT JAMES AVENUE
SE CREEK, SOUTH CARCLINA 2

E00.02 AS NOTED





CALCULATION SUMMARY AT 36" AFG											
LABEL	CALCTYPE	UNIT	AVG	MAX	MIN	AVG/MIN	MAX/MIN				
DRIVE-UP ATM - 5FT COMPLIANCE	ILLUMINANCE	FC		BY MANUFACTURER							
DRIVE-UP ATM - 50FT COMPLIANCE	ILLUMINANCE	FC	12.74	57.9	2.7	4.72	21.44				

SHEET NOTES:

PHOTOMETRIC VALUES SHOWN HEREIN ARE INTENDED FOR DESIGN AND EVALUATION PURPOSES ONLY. THE CALCULATED POINT-BY-POINT VALUES SHOWN ON THIS SHEET ARE BASED ON A COMPUTER LIGHTIMS PROGRAM WITH APPROXIMATED PARAMETERS. AS A RESULT. HOTOMETRIC VALUES MAY VARY FROM ACTUAL FIELD MEASUREMENTS.

LANDSCAPE REQUIREMENTS:

- ALL LANDSCAPE WITHIN ATM COMPLIANCE AREA (OR LANDSCAPE AFFECTING LIGHTING ILLUMINATION LEVELS WITHIN ATM COMPLIANCE AREA) SHALL BE MAINTAINED (TRIMMEDIPPRUNEDTHINDED-OUT) PER THESE REQUIREMENTS AND OWNER'S LANDSCAPE STANDARDS.
- THESE REQUIREMENTS AND OWNER'S LANDSCAPE STANDARDS.

 WI LANDSCAPE LANDSCAPES ON TOTED ON THE PLANS SHALL BE CONSIDERED THE MANIBAN REQUIRED FOR THE SCOPE OF WORK THE CONSIDERED THE MANIBAN REQUIRED FOR THE SCOPE OF WORK THE CONDITIONS AND PROVIDE ADDITIONAL VICESTATION MAINTENANCE TO ACHIEVE OPTIMAL LIGHTURE PERFORMANCE AND COMPLIANCE WITH LIGHT LEVELS ADOUGHOUT AND OWNER STANDARDS FOR MANIBAL CONDITIONAL CONTRACTOR AND PROPERTY OWNER.

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- - VEGETATION, THE FULLDWING SHOULD BE USED IN 18 AN ASSOCIATE

 SHRUBBERY SHALL BE MAINTAINED AT OR AROUND TWENTY-FOUR
 (24) INCHES IF LOCATED WITHIN TEN (10) FEET OF DESIGNATED
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 ATMA.

 - ASSOCIATE ENTRANCESEXTIS, AFTER-HOUR DEPOSITORES OR
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 STATEMENT OF THE CHARGE OF THE STATEMENT OF THE LIGHT STATEMENT OF THE STATEMENT OF THE
- TO LIGHT FIXTURES.

KEYED NOTES:

- ATM FIVE FOOT COMPLIANCE AREA: A MINIMUM OF TEN (10) FOOT CANDLE POWER AT THE FACE OF THE ATM EXTENDING OUTWARD FIVE (5) FEET IN ALL UNOBSTRUCTED DIRECTIONS BY ATM CANOPY MANUFACTURER.
- ATM FIFTY FOOT COMPLIANCE AREA: A MINIMUM OF TWO (2) FOOT CANDLE POWER EXTENDING OUTWARD IN ALL UNOBSTRUCTED DIRECTIONS FIFTY (5 FEET FROM THE FACE OF THE ATM.





 $\frac{\text{INFINITY ENGINEERING}}{\text{GROUP, LLC}}$

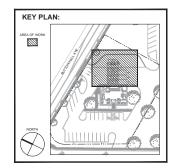
1208 East Kennedy Boulevard 1208 East Kennedy Boulevar Suite 230 Tampa, Florida 33602 [p]: 813.434.4770 [f]: 813.445.4211 www.iegroup.net SC Cert. of Auth. No. 4573

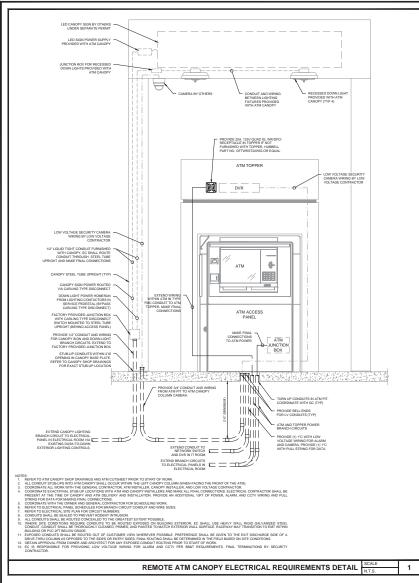


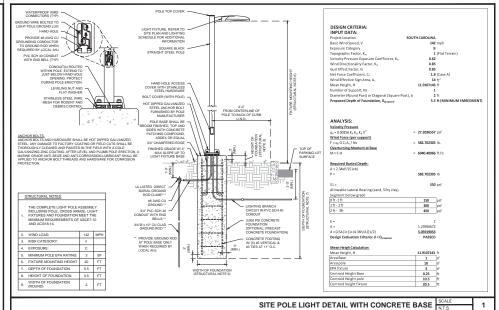
ANDREW MOHR, P.E SC REG. NO. 32784

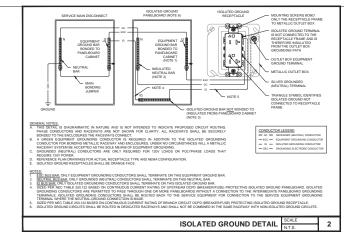
PHOTOMETRIC PLAN AT 36" ABOVE GRADE GOOSE CREEK

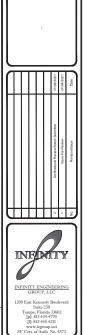
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1



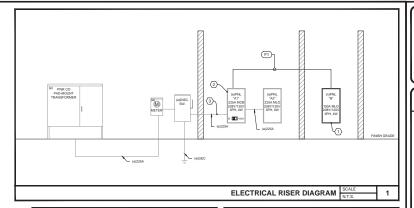
BRST

DETAILS GOOSE CREEK ELECTRICAL

AS NOTED E02.01

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RISER DIAGRAM AND PANEL SCHEDULE NOTE:

RISER DIAGRAM AND PANEL SCHEDULES ARE BASED ON THE BEST INFORMATION RISER DIAGRAM AND PAREL SCHEDULES ARE BREED UNTIL BEST INFORMATION
UNDER THE ENTITION. CORE OF THE PROPERTY OF THE BEST INFORMATION
UNDER THE ENTITION. CORE OF THE PROPERTY OF THE BEST INFORMATION
LODGE THE ENTIT OF THE BEST INFORMATION AND HAS EXCELLED THE
LOAD CAPACITY AND PHYSICAL SPACESSPARES TO ACCOMMODATE THE NEW
LOADS. ALL EQUIPMENTS SHALL BE RISPICTED PRIOR TO BIG AND ANY
DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION
MINEDIATELY.

RISER DIAGRAM KEYED NOTES:

F1) 100A FEEDER: PROVIDE 4-#1, #8 EG & #8 IG IN1-1/2" CONDUIT.

ELECTRICAL PANEL: PROVIDE PANELBOARD AS SPECIFIED ON ELECTRICAL PANEL SCHEDULES.

(2) ISOLATED GROUND BUS BAR: VERIFY THE EXISTENCE OF AN ISOLATED GROUND BUS BAR AND PROVIDE NEW IF FOUND

3 EXISTING FEEDER: VERIFY FEEDER IS PROVIDED WITH AN ISOLATED GROUND CONDUCTOR. PROVIDE NEW #4 IG FROM THE NEUTRAL GROUND BOND IN THE SERVICE DISCONNECT TO ISOLATED GROUND BUS BAR IN PANEL AT IF FOUND OTHERWISE. SIQUATED GROUND CONDUCTOR SHALL BE ROUTED IN SOME CONDUCTOR SHALL BE ROUTED IN SAME CONDUIT AS FEEDER

ELECTRICAL RISER DIAGRAM LEGEND:

SUBSCRIPT DENOTES EXISTING TO BE REMOVED.

SUBSCRIPT DENOTES EXISTING TO REMAIN.

SUBSCRIPT DENOTES NEW.

SUBSCRIPT DENOTES EXISTING TO BE RELOCATED.

DASHED LINES INDICATE EXISTING TO BE REMOVED OR EXISTING TO BE RELOCATED.

LIGHT LINES INDICATE EXISTING TO REMAIN. DARK LINES INDICATE NEW.

PANELBOARD NOTES:

- PROVIDE PANELBOARD AS SPECIFIED ON ELECTRICAL PANEL SCHEDULES
- 1. PROVIDE PANELBOARD AS SPECIFIED ON ELECTRICAL PANEL SCHEDULES AND RISER DIAGRAM.
 2. CONTRACTOR SHALL BESIEWED AL NEX DOWNING SPACE AND RESERVED AND RESERVED

- 9. N EXISTING INSTALLATIONS, NEW CIRCUIT BREAKERS SPINLL MATLER
 EXISTING IN TYPE AND AIR CATING, UNO.
 10. LOAD TYPES IN DESCRIPTION AS FOLLOWS:
 BOLD TEXT NEW LOAD, WIRE, CONDUIT, CIRCUIT BREAKER (AS
 APPLICABLE)
 GRAY TEXT
 EXISTING LOAD, WIRE, CONDUIT, CIRCUIT BREAKER (AS)

 - T EXISTING LOÂD, WIRE, CONDUT, CIRCUIT BREAKER (AS APPLICABLE) TO REMAIN RELOCATED CIRCUIT FROM OLD PANEL X', CIRCUIT WE LEACTRIC WATER HEATER HEATING KITCHEN LIGHTING MISCELLANEOUS (OLD X-#)

 - MOTOR RECEPTACLE REFRIGERATION

- REC RECEPTACLE R
 REF REFRIGERATION ARE AS DULOWS.

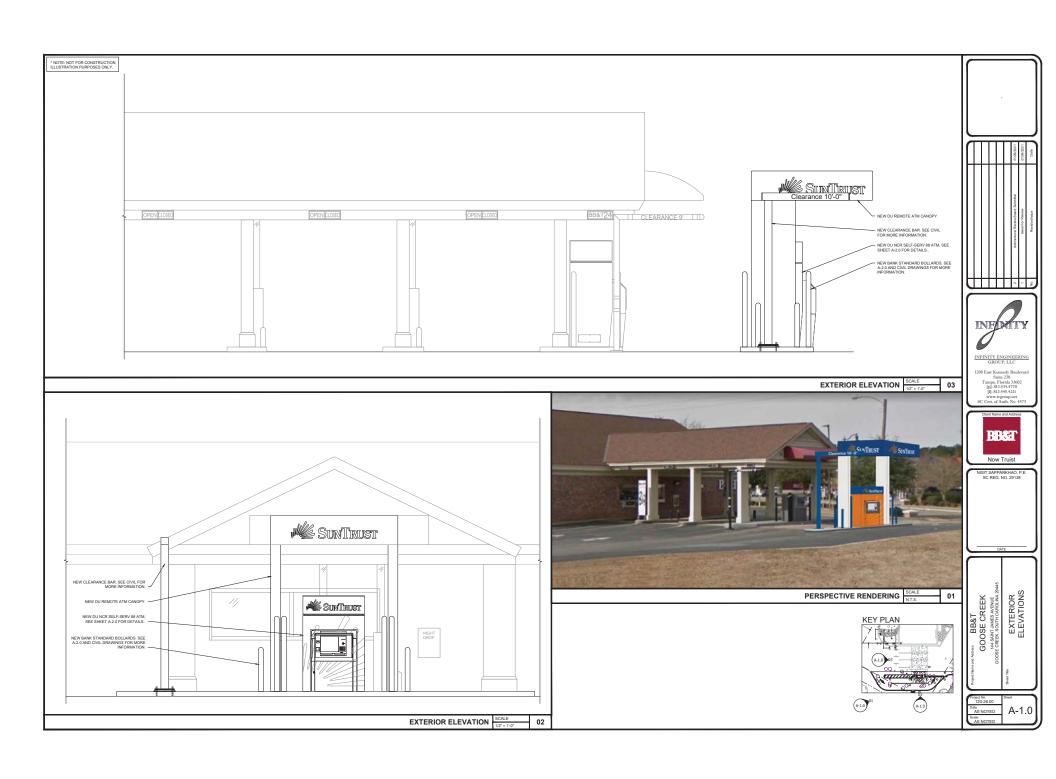
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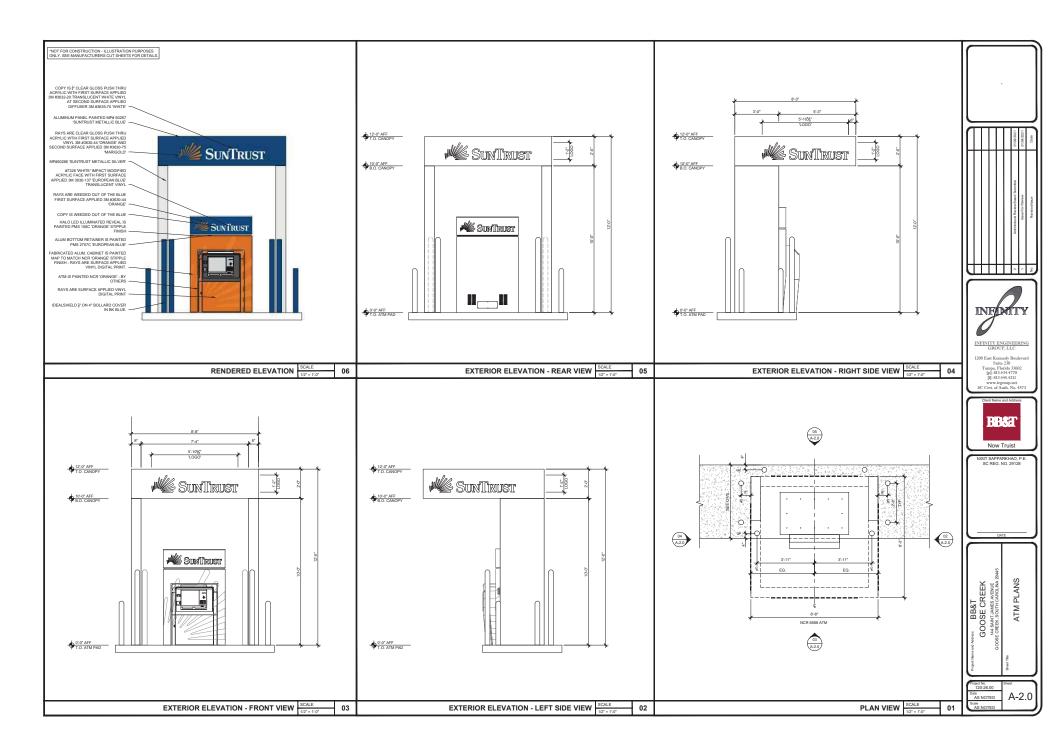
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- E03.01 AS NOTED

GOOSE CREEK









NEW BUSINESS: MINOR APPLICATIONS

ADMA BIO CENTER - SIGNAGE





CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

	Today's Date: 1 - 1- 1021 Permit Fee: \$75.00
1.	Business Owner ADMA Biocenters Business Phone 843-747-1920
	Name of Business ADMA BIDCENER Alternate Phone
	Street Address of Business 214 St. James Ave. Suite 140A. Goose Creek
	Landlord/LessorLandlord's Phone
	Sign Co. Contact Shely Butes Sign Co. Address 2302 Air Parkeld. N. Chas, Sc 29406
2.	Cost of Sign(s) \$ Sign Installation Cost \$_9,480 Total Cost \$_9,480
3.	How many signs are you applying for? How many signs does this business already have?
4.	What kind of signs does this business already have?
4.	What kind of sights does this business arready have:
5.	What type of business is applying for this sign permit: A. A stand alone business? Yes No B. A part of a shopping center? Yes No If yes, shopping center name:
6.	What is the TMS number for this property? 943 - 04 - 00 - 017
7.	What is the <u>front</u> setback of the business in feet? 37D (The distance from the front property line to the front of business) A. For corner lots only, what is the front setback for second street frontage in feet?
8.	What is the width of the business in feet? 54 (The distance from wall to wall) 95x1.5=142.5SF max. A. For corner lots only, what is the width of the business for second street frontage in feet?
9.	What is the property's road frontage in feet? NA (This only applies to shopping centers erecting a freestanding sign)
10.	Please attach photos showing:
	A. The storefront in relation to adjacent businesses;
	B. The specific location of proposed sign(s) on the property or building; and
	C. The actual sign if it already exists. MAX. NO. OF ALLOWED SIGNS:
11.	Please attach drawings of each proposed sign showing (drawn to scale): MAX ALLOWED SIGN AREA:
11.	A. The completed sign as it will actually appear on the building
	B. All dimensions;
	C. Where the colors will appear;
	D. The location on the property (on a plat) of proposed & existing freestanding signs
	E. The location on the building of proposed & existing building signs

- 12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.
- 13. Please complete the Sign Information Table located on the following page.
- 14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
 - Please submit this application by the 1st Monday of the month for consideration that month by the ARB.
 - The ARB meets on the 3rd Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

Note: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

SIGN INFORMATION TABLE

Required Information	Sign 1	214 ST JAMES A	AVE STE 140 AA Sign 3
Materials: (metal, plastic, wood, etc.)	Alum Aerylic	vinyl	Acrylic
Illumination: Exterior, interior or not lighted	Int LED	Non	Acrylic Int LED
Type of Sign:	WALL	window varyl door	tenant punels
Height (FEET)	5'-8"	612"	1
Width (feet)	23'-6"	2'-21/2"	2
Area (square feet)	133	1.19	2
All colors used on sign	white Poppy Red Azure Blue -	- > -	マ
Is there a graphic (picture) on the sign? (ON) If yes, size of graphic	50" x 36" yeardrop		
Projection from building or cabinet width (thickness)	5"		
Number of styles of lettering	1	1	1
Height of letters (if channel letters)	31.5"		_
If mounting individual letters, space between letters	6"	_	_
If mounting individual letters, space between words	NA	_	_
If window sign, size of window	NA		_
If changeable copy sign (reader board), number of lines	NA-	_	_
If freestanding sign, distance between sign and street curb (ft)	NA	_	-
If freestanding sign, total height above grade (ft)	NA		_
If freestanding sign, landscaping materials to be planted at base of sign	NA	_	

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you Signature of Applicant	provided to be true and correct.	2/1/2021 Date
	CE USE ONLY	
Approval: Zoning Administrator	Issued by:	Date



Goose Creek, South Carolina 29445 843.797.6220 extension 1100 or 1122

License Year 20 21

New/Renewal/Update	Business Type: Ind/LLC/C	orp./Part.	NAICS 238990 Class 8 License # 2701						
Mailing Address	02 Air Part. Rd.		Closs Electise #						
Mailing Address	2 III FILLIA.	N. Chas							
N.Chrs.	StateSC	12ip 29406	Job location 214 ST JAMES AVE STE 140A						
Name of Point of Conta	Shelby Bates								
Local Office Phone # 20	13-747-1920	Home Office P	hone #						
E-Mailhum bates	a millersigns. net	Web Address	WWW millersigns. net						
Federal TaxJd. Numbe	570800640	State Retail Sa	les# 010 44371 8'						
Description of Business	Signmanufactor	w. E Barin							
Business Owners Name Mindu Miller									
Address 378 1	Wend Swep	f Lane	2.3						
Ravene		State	Zip 29470						
Soc. Sec. # 251-29-86		00	Driver's License State and #33489						
Projected Gross Income	Contract Amount 2.	180°°	Period Revenue Earned From and To						
Business License Fee Ca	Iculations								
Fee	14.40								
Penalty %		5% per month	until paid/Renewals due last day of February						
Express Business Lic. Fe	2								
# of mach.		Pool Tables/Ar	nusement Mach. \$12.50 each machine						
Amusment Mach. Oper.		\$12.50 License	Fee (location of machine)						
	14.40	Total Fee Due	him him						
I contide the information t		*Certification of I							
of Goose Creek Zoning and I	property taxes payable to the c Building Code requirements, and seek has the right pursuant to the	ity have been paid. I that I am subject t	curately reported or estimated without any unauthorized deduction, and I understand I am not relieved of the responsibility of meeting all City of all provisions of the business license ordinance of the City of Goose on Act to collect any delinquent sum due through offset of the state						
Shilly Thele	i Bata		For Office Use Only						
Signature of Owner or Aut	horized Agent		Police Dept:						
Printed Name of Owner or	Authorized Acces		Attachments yes no						
2,,1	2021		City Planner:						
Date			Finance Dir:						
			City Admins:						



2806 EAST 50TH CHATTANOOGA, TN 37407 423.867.9208

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ADMA BIOCENTERS

	S/F	Х	NEON FILL	
	D/F	П	LED FILL	Г
	ILLUM	Х	LAMP FILL	
-	NON-ILLUM	П	ART ROOM HOLDS	Г

SCALE

NOTES

WO# 0000





AB ADMA BioCenters-Goose Creek Wall Sign 092820-A 1 of 6

OLORS ARE SIMULATIONS ONLY, REFER TO CORRESPONDIN MATERIALS COLOR CHARTS FOR SPECIFIC COLOR MATCH.
COLORS SEEN ON COMPUTER MONITOR ARE NOT
REPRESENTATIVE OF ACTUAL MATERIAL COLOR.



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CLIENT

ADMA BIOCENTERS

S/F	Х	NEON FILL	
D/F	П	LED FILL	Г
ILLUM	Х	LAMP FILL	
NON-ILLUM	П	ART ROOM HOLDS	Г

SCALE

QTY:

NOTES

WO# 0000

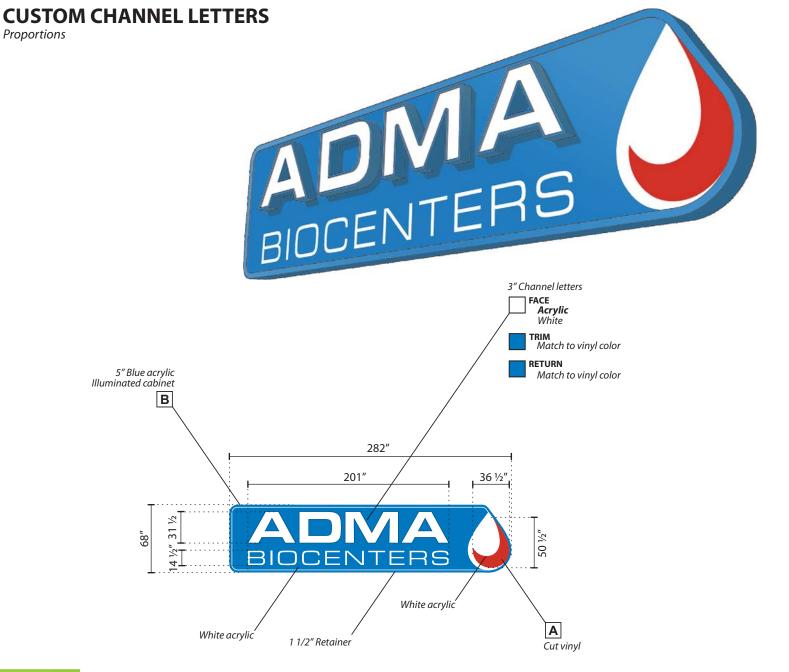




ADMA BioCenters-Goose Creek_Wall Sign_092820-A

2 of 6

COLORS ARE SIMULATIONS ONLY, REFER TO CORRESPONDING ACLORS ARE SIMULATIONS ONLY, REPERTIO CONRESPONDIN MATERIALS COLOR CHARTS FOR SPECIFIC COLOR MATCH. COLORS SEEN ON COMPUTER MONITOR ARE NOT REPRESENTATIVE OF ACTUAL MATERIAL COLOR.



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CLIENT

ADMA BIOCENTERS

S/F	Х	NEON FILL	
D/F	П	LED FILL	
ILLUM	Х	LAMP FILL	
NON-ILLUM	П	ART ROOM HOLDS	

SCALE

1/8"=1'

QTY:

NOTES

Manufacture and install Acrylic face with front lit channel letters, with vinyl graphics.

Mounted to wall.



POPPY RED 3M Scotchcal Translucent Vinyl 3630-143



BLUE Oracal 8500 Translucent Vinyl Azure Blue 052

WO# 0000





133.2 FT² CUSTOMER APPROVAL

DATE

AB

DESIGNER SALES REP FILE

ADMA BioCenters-Goose Creek Wall Sign 092820-A

3 of 6

OLORS ARE SIMULATIONS ONLY, REFER TO CORRESPONDIN MATERIALS COLOR CHARTS FOR SPECIFIC COLOR MATCH, COLORS SEEN ON COMPUTER MONITOR ARE NOT REPRESENTATIVE OF ACTUAL MATERIAL COLOR.

Vinyl Door Lettering

Placement



1st surface vinyl installation shown on right front door entrance (Please see following page for copy)



CLIENT

ADMA BIOCENTERS

S/F	Х	NEON FILL	
D/F	П	LED FILL	Г
ILLUM	Х	LAMP FILL	
NON-ILLUM	П	ART ROOM HOLDS	Г

1/8"=1'

QTY:

NOTES

Manufacture and install Acrylic face with front lit channel letters, with vinyl graphics.

Mounted to wall.



POPPY RED 3M Scotchcal Translucent Vinyl 3630-143



BLUE Oracal 8500 Translucent Vinyl Azure Blue

WO# 0000





133.2 FT²

CUSTOMER APPROVAL

DATE

DESIGNER SALES REP FILE

4 of 6

OLORS ARE SIMULATIONS ONLY, REFER TO CORRESPONDING MATERIALS COLOR CHARTS FOR SPECIFIC COLOR MATCH, COLORS SEEN ON COMPUTER MONITOR ARE NOT REPRESENTATIVE OF ACTUAL MATERIAL COLOR.

26 1/2" **Vinyl Door Lettering** Proportions CLIENT **ADMA** В SCALE 1/8"=1' ADMA BIOCENTERS QTY: 6 1/2" NOTES Manufacture and install graphics. ,, Mounted to wall. **PREMISES UNDER VIDEO** SURVEILLANCE 3/4" **NO CASH ON PREMISES** 3630-143 **CONCEALED WEAPONS** PROHIBITED 052 A **WO#** 0000 DOOR GLASS 30X72"

2806 EAST 50TH CHATTANOOGA, TN 37407 423.867.9208 THIS DRAWING IS PROPERTY OF BILL ORTWEIN SIGNS, INC. IT IS NOTTO BE TRANSMITTED, CONVEYED, OR SHARED BY ANY MEANS WITHOUT THE EXPRESSED WRITTEN CONSENT OF AN OFFICER OF BILL ORTWEIN SIGNS, INC

BIOCENTERS

S/F	Х	NEON FILL	Г
D/F	П	LED FILL	Г
ILLUM	Х	LAMP FILL	
NON-ILLUM	П	ART ROOM HOLDS	П

Acrylic face with front lit channel letters, with vinyl



BLUE Oracal 8500 Translucent Vinyl Azure Blue





CUSTOMER APPROVAL

DATE

DESIGNER SALES REP FILE AB

ADMA BioCenters-Goose Creek Wall Sign 092820-A

5 of 6

OLORS ARE SIMULATIONS ONLY, REFER TO CORRESPONDIN MATERIALS COLOR CHARTS FOR SPECIFIC COLOR MATCH.
COLORS SEEN ON COMPUTER MONITOR ARE NOT
REPRESENTATIVE OF ACTUAL MATERIAL COLOR.

Tenant Panels

Proportions



Tenant panel designation TBD



CLIENT

ADMA BIOCENTERS

S/F	Х	NEON FILL	
D/F		LED FILL	
ILLUM	Х	LAMP FILL	
NON-ILLUM		ART ROOM HOLDS	

1/8"=1'

QTY:

NOTES

Manufacture and install Acrylic face with front lit channel letters, with vinyl graphics.

Mounted to wall.



POPPY RED 3M Scotchcal Translucent Vinyl 3630-143



BLUE Oracal 8500 Translucent Vinyl Azure Blue

WO# 0000









