



THE CITY OF  
**GOOSE CREEK**

BERKELEY CO. EST. 1961 SO. CAROLINA

**SUPPORTING MATERIALS FOR  
ARCHITECTURAL REVIEW BOARD  
MONDAY, DECEMBER 20, 2021  
6:00 PM**

**MARGUERITE BROWN MUNICIPAL CENTER  
CITY HALL COUNCIL CHAMBERS  
519 N. GOOSE CREEK BLVD.  
GOOSE CREEK, SOUTH CAROLINA**

# MEMORANDUM

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**TO:** MEMBERS OF THE ARCHITECTURAL REVIEW BOARD

**FROM:** LILI ORTIZ-LUDLUM, ADMINISTRATIVE ASSISTANT

**DATE:** DECEMBER 16, 2021

**SUBJECT:** MEETING NOTIFICATION

**WHERE:** MARGUERITE H. BROWN MUNICIPAL CENTER

This is to remind everyone that the next meeting of the Architectural Review Board is scheduled for Monday, December 20, 2021 at 6:00 p.m.

Please review the enclosed packet. Should you have any questions or comments prior to Monday's meeting, please do not hesitate to contact Planning and Zoning at 843-797-6220 or via e-mail at [planning-zoning@cityofgoosecreek.com](mailto:planning-zoning@cityofgoosecreek.com).



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MINUTES

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**MINUTES  
CITY OF GOOSE CREEK  
ARCHITECTURAL REVIEW BOARD MEETING  
MONDAY, NOVEMBER 15, 2021, 6:00 P.M.  
MARGUERITE H. BROWN MUNICIPAL CENTER  
519 N. GOOSE CREEK BOULEVARD**

**I. CALL TO ORDER, PLEDGE OF ALLEGIANCE AND ROLL CALL**

Chairperson Dresel called the meeting to order at 6:00 p.m. and initiated the Pledge of Allegiance. Mrs. Moneer initiated roll call.

**Present:** Ricky Dresel, Jen Wise, David Cantrill, Sharon Clopton, Mary Kay Soto, Teri Victor

**Absent:** None

**Staff Present:** Planning and Zoning Technician Brenda Moneer

**II. APPROVAL OF MINUTES – OCTOBER 18, 2021**

**Motion:** A motion was made to accept the minutes as submitted. **Moved by** Board Member Clopton, **Seconded by** Board Member Cantrill.

**Discussion:** None.

**Vote:** All voted in favor (6-0). Motion carried.

**III. MINOR APPLICATIONS – OLD BUSINESS**

**A. 2021-103 SIG: ESPIONAGE SALON AND SPA: 136 RED BANK ROAD – SIGNAGE**

A representative presented the application. He stated the applicant is requesting a road and building sign. The font size has been increased to six inches which has a 150-foot viewable distance. The road sign is a two-sided 10mm alumacorr panel on white vinyl PVC sleeves with dome cap on 4x4 posts. The building sign is a 3mm ACM Panel full print with UV laminate. He stated the logo is designed to fit on a specific area on the building.

**Motion:** A motion was made to approve the application as submitted. **Moved by** Board Member Soto, **Seconded by** Board Member Cantrill.

**Discussion:** None.

**Vote:** Chairperson Dresel, Board Member Cantrill, Board Member Soto and Board Member Victor voted in favor. Board Member Wise and Board Member Clopton opposed. Motion carried (4-2).

**IV. MINOR APPLICATIONS – NEW BUSINESS**

**A. 2021-102 SIG: PLANET FITNESS: 214 ST. JAMES AVE – SIGNAGE**

A representative presented the application. The proposal is for a wall-mounted channel letter signed with a cabinet logo. They presented differ color options for the board to decide. They also proposed two color options for a panel sign. Mrs. Moneer stated the application meets the sign ordinance.

**Motion:** A motion was made to accept the application as submitted with option one (1) purple for the building and option one (1) purple background for the tenant panel. **Moved by** Board Member Wise, **Seconded by** Board Member Cantrill.

**Discussion:** None.

**Vote:** All voted in favor. Motion carried (6-0).

**V. MAJOR APPLICATIONS – NEW BUSINESS**

**A. 2021-079 NBLD: STEINBERG LAW FIRM: 211 S. GOOSE CREEK BLVD – SITE, PARKING, LANDSCAPE, ELEVATIONS, BUILDING MATERIALS AND COLORS**

Two representatives presented the application, Kevin Berry and Losse Knight. Mr. Berry stated the site is 1.7 acres located between Infinger Furniture and Parts Auto on S. Goose Creek Blvd. He stated this site is currently three (3) parcels of land with the plan being to relocate their headquarters to the City of Goose Creek. He stated they are bound by the CXS Railroad as it is on the back of the property. The applicant presented site, parking, landscape, elevations, building materials and color samples to the board. They are proposing a retaining wall on the south side of the property next to Infinger Furniture. There is a total of forty-six (46) parking spaces. The screening for the HVAC units will be pressure treated wood slab mechanical screen that would be painted to complement the building and then landscaped. They provided site context pictures for the board to review. Mrs. Moneer requested the applicant verify with Berkely Electric that any trees being planted under the power line be species that would not over grow in that area. She requested the applicant to abandon the property lines to make one large parcel. The board shared their concerns about how close Infinger Furniture is to the proposed Steinberg Site in regard to trucks for the furniture store. The applicants stated they plan to save as much of the existing trees that buffer the railroad and plant additional.

**Motion:** A motion was made to accept the application as submitted with the condition of combining the three plats and confirming with Berkeley Electric that anything planted does not interfere with the

power lines. **Moved by** Board Member Soto, **Seconded by** Board Member Wise.

**Discussion:** None.

**Vote:** All in favor (6-0). Motion carried.

**B. 2021-080 RENO: HUCH FAMILY DENTISTRY: 504 ST. JAMES AVE – ADDITION**

The applicant presented the application. He stated this building was built in the summer of 1984 as was the deck. He is proposing to add this addition strictly for storage. The addition is located on the east side of the building. He stated this addition is not visible from the street. He stated you can see a small portion of the back deck from Immaculate Conception. He stated this addition will be 108 sq feet. He presented siding as the material and is proposing to use the same color as the trim which is called Warm Sandalwood. He stated the value of what he is proposing is about \$18,000 which is 3% of the value of the building.

**Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Cantrill, **Seconded by** Board Member Soto.

**Discussion:** None.

**Vote:** All in favor (6-0). Motion carried.

**C. 2021-081 NBLD: GOOSE CREEK HEATING AND AIR: 302 HAMLET CIRCLE - SITE, PARKING, LANDSCAPE, ELEVATIONS, BUILDING MATERIALS AND COLORS**

The engineer and architect presented the application. The applicant stated it is located in the Hamlets. This site is adjacent to the Crowfield Golf Course Maintenance facility. This site is over three (3) acres, but the actual develop portion of the site is significantly less. The applicant stated the proposal is to develop the same interior that the former occupant had and will leave the access exactly as they are. They propose to construct a 13,200 square foot building at the rear. The building, parking and retention is all inside an existing security fence that will remain. The applicant stated landscaping will be left as is, except for the addition of the parking lot and landscaping will be done around the parking lot per code. Base planting will be added against the building. The applicant stated this project was approved by the Crowfield ARB. The applicant stated it is a pre-engineered metal building, with siding and concrete block water table across the front. Material samples were presented to the board.

**Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Wise, **Seconded by** Board Member Cantrill.

**Discussion:** None.

**Vote:** All in favor (6-0). Motion carried.

**D. 2021-100 NBLD: 7 ELEVEN/EXXON/ROOST: 915 ST. JAMES AVE – PARKING, DUMPSTER, AND ELEVATION**

The applicant presented the application. He stated he came before the board about a year ago for this project. He stated since that time, there has been some changes through SCDOT, Berkeley County and DHEC. The proposal is for a 4,000 square foot building, with eight (8) fueling islands and thirty-five (35) parking spaces, half of which are pervious pavement. He stated there is a right in right out access located off of St. James Ave and full access located off Myers Road. The applicant stated the dumpster enclosure has been enlarged slightly to add a man door. SDOT made the applicant adjust the driveway entrance on St. James Ave. Mr. Brodeur recommended the applicant relocate four (4) parking spaces along Myers Road and make them pervious. The applicant stated the building proposal has not changed from the previous approval. He stated it has the same materials but there is a slight shift of the front door and store front glass.

**Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Clopton, **Seconded by** Board Member Victor.

**Discussion:** None.

**Vote:** All in favor (6-0). Motion carried.

**E. 2021-088 NBLD: PACK RAT STORAGE FACILITY: TMS 222-00-00-183 (NO ADDRESS) – BUILDING, SITE, PARKING, LANDSCAPING, COLORS AND MATERIALS**

The applicant presented the application. The proposed facility will be three (3) stories tall and with retail facilities in the first thirty (30) feet. He presented materials and noted the different heights in the front of the building to break up the large size structure. He stated Bahama Shutters, stucco trim and awnings have been added to add character. The applicant stated the proposal includes thirty (32) parking spaces. He stated trees in the front will be left in place. He presented materials and colors to the board.

Discussion regarding lighting ensued. Mrs. Moneer stated a fifteen-to-30-foot buffer would be required between the uses for multifamily residential and the storage facility. Mrs. Moneer inquired as to the type of fencing the applicant is proposing. The applicant stated there is a 15-foot buffer that is adjacent to the multifamily residential building on the civil plan. They also show a landscaping plan along both perimeters. He stated there is an existing chain link fence along one side opposite of Comet Road that the applicant plans on keeping and add to. Mrs. Moneer stated according to the ordinance that was passed by City Council in October of 2017, the site shall incorporate interesting

architectural features such as a water fountain, flagpole, or decorative iron fencing to the front of the site, at the entryway as approved and at the discretion of the Zoning Administrator. Mrs. Moneer stated city staff would like to see how they plan to articulate the back of the building as of now, it shows very flat without any architectural interest. The applicant stated there is an existing traffic circle that they are tying into at the front, and the site plan shows a brick paver detail with a flagpole at the front.

**Motion:** A motion was made to accept the design of the building and to work with City staff to add architectural interest in the rear of the building and decorative fencing. **Moved by** Board Member Soto, **Seconded by** Board Member Cantrill.

**Discussion:** None

**Vote:** All in favor (6-0). Motion carried.

#### IV. CLOSING REMARKS AND ADJOURNMENT

Mrs. Moneer stated conditioning education training will be offered. The board requested that the address be added back to the Shannon Park Shopping Center.

**Motion:** A motion was made to adjourn (7:45p.m.) **Moved By:** Board Member Wise, **Seconded By:** Board Member Cantrill.

**Discussion:** There was none.

**Vote:** All voted in favor (6-0). Motion carried.

\_\_\_\_\_ Date \_\_\_\_\_  
Ricky Dresel, Chairperson





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**NEW BUSINESS: MINOR APPLICATIONS**

2021-106 PT

**SUBWAY**

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# PERMIT APPLICATION CITY OF GOOSE CREEK, SOUTH CAROLINA

Office Use Only: Permit Numbers		
	X	E
044903	B	M
	G	SP
	P	DP
BL#	16979	YEARLY

Street Address 128 Saint James Ave Construction Group/Classification \_\_\_\_\_  
 Tax Map Number \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_  
 Property Owner Shahid Husain Phone \_\_\_\_\_  
 Contractor Martin McDowell ABSOLUTE FINISH LLC Phone [REDACTED]  
 Address [REDACTED] Contractor's State License # [REDACTED]  
 Owner Email [REDACTED] Contractor Email [REDACTED]

**Scope of Work** (Please use reverse side of this form for a detailed description of work) over →

Use of Improvement  Single Family  Duplex  Apartment  Commercial  Other \_\_\_\_\_  
 1<sup>st</sup> Floor Heated Sq. Ft. \_\_\_\_\_ 2<sup>nd</sup> Floor Heated Sq. Ft. \_\_\_\_\_ 3<sup>rd</sup> Floor Heated/Unheated (please circle) Sq. Ft. \_\_\_\_\_  
 Garage Sq. Ft. \_\_\_\_\_ Attached/Detached (please circle) Heated/Unheated (please circle) Room Over Garage Sq. Ft. \_\_\_\_\_  
 Carport Sq. Ft. \_\_\_\_\_ Porch Sq. Ft. \_\_\_\_\_ Patio Sq. Ft. \_\_\_\_\_  
 Number of: Baths \_\_\_\_\_ Bedrooms \_\_\_\_\_ Fireplace \_\_\_\_\_ Rooms \_\_\_\_\_ Stories \_\_\_\_\_ Units \_\_\_\_\_  
 Type of Fuel:  Electric - #Amps \_\_\_\_\_  Gas - # Outlets \_\_\_\_\_ Outlet Type: Range/H2O/Heat/Fire/Grill/Other \_\_\_\_\_  
 Cost of: Mechanical \$ \_\_\_\_\_ Land \$ \_\_\_\_\_ Construction \$ -0.00 [REDACTED]

### OFFICE USE ONLY

Primary Structure (sq. ft. \_\_\_\_\_ )  
 Cost per sq. ft. \$ \_\_\_\_\_ Construction value \$ \_\_\_\_\_  
 Secondary Structure (sq. ft. \_\_\_\_\_ )  
 Cost per sq. ft. \$ \_\_\_\_\_ Construction value \$ \_\_\_\_\_

Application Fee (Non-refundable) \$ [REDACTED]

**PERMIT FEES**

Primary Structure Permit Fee \$ [REDACTED]  
 Primary Structure Plan Review Fee \$ \_\_\_\_\_  
 Secondary Structure Permit Fee \$ \_\_\_\_\_  
 Secondary Structure Plan Review Fee \$ \_\_\_\_\_  
 Impact Fee Res/Multi - Other \$ \_\_\_\_\_  
 Impact Fee Com/Off/Ind sq. ft. \_\_\_\_\_ \$ \_\_\_\_\_  
 Electrical Permit Fee \$ \_\_\_\_\_  
 Plumbing Permit Fee \$ \_\_\_\_\_  
 \_\_\_\_\_ sq. ft. x 2.30 = \_\_\_\_\_ Construction Value  
 Mechanical Permit Fee \$ \_\_\_\_\_  
 Gas Permit Fee \$ \_\_\_\_\_  
 Pool Permit Fee \$ \_\_\_\_\_  
 Dumpster Fee \$ \_\_\_\_\_  
**Total Fee Due** \$ [REDACTED]

Notes:

PAID

Zoning Administrator \_\_\_\_\_ Date \_\_\_\_\_  
 Date of ARB Approval \_\_\_\_\_  
 Building Inspector \_\_\_\_\_ Date \_\_\_\_\_  
 Permit Technician \_\_\_\_\_ Date \_\_\_\_\_



Scope of Work Prep & paint 3 interior doors & Casings & 2 interior awnings. Prep and paint exterior building. Fix Sealant as needed. Prep with putty, sand, tape & mask where needed. 2 Coats of paint. Clean up leaving ~~proper~~ labeled touch up paint & removing all trash.

Are there recorded covenants and restrictions for this property (ex: HOA) Yes  No

Do these covenants and restrictions prohibit any of the features being constructed per this permit? Yes  No

Windows - DP Rating: N/A # Windows Replaced: N/A # Doors Replaced: N/A

Reroof Color and/or Style Change: Yes  No  If yes, please explain: \_\_\_\_\_

HVAC Changeout: Yes  No  Location of Exterior System: \_\_\_\_\_

Demolition: Yes  No  If yes, Attach copy of Asbestos Survey and DHEC Demolition Permit

Fire Sprinkler System: Yes  No  If yes, Attach State Fire Marshall approved plans to this application

**DEMOLITION PERMIT INFORMATION**

**ASBESTOS:**  
S.C. DHEC Regulation 61-86.1 states that prior to commencing demolition or major renovations of regulated facilities or structures, contact the S.C. DHEC Asbestos Section to determine if there are any asbestos abatement requirements that would require permitting through their offices. For more information visit S.C. DHEC at 803-898-4289

**LEAD PAINT:**  
Before commencing demolition, contact the Land and Waste Management of S.C. DHEC 803-896-4203 to determine identification and disposal requirements for lead contaminate construction waste.

I understand and acknowledge this information. Initial: BM

**Applicant Certification**

I, Bethany McDonald understand that if my scope of work changes in any way after the submittal and approval of this permit, I must contact the Building Permits Department for additional permits. If I perform work not permitted under this permit or another permit issued to me, a stop work order will be placed on the site of construction and all work will cease until proper permits are obtained. Permit becomes void if work authorized is not begun and/or completed within six months of the permit issue date. I have examined this application and certify it to be true and correct. I agree the work will be accomplished in accordance with all city, state, and federal codes or laws regulating construction or the performance thereof.

Bethany McDonald  
Signature of Contractor/Agent/Owner

11-8-21  
Date

Owner  
Title



**NATURAL TAN**  
**Sherwin Williams #7567**  
Above Functional Gray to the roof, including boxing and trim.

**Benjamin Moore - Yellow/Green #2033-10 or Pantone PMS 2426 C color match.**  
Behind sign, stripe down side.  
Green accent stripe front and side.

**FUNCTIONAL GRAY - Sherwin Williams #7024**  
Below window level—all the way around building. Support poles and downspout should also be Functional Gray.

**New CHOICE MARK SIGN- SIZE DETERMINED BY MEASUREMENTS: VERTICAL x WIDTH OF END SECTION.**  
Check with city/county to see if a permit is needed for the ChoiceMark sign.

**Please be sure to contact your Property Manager or Landlord to obtain approval to paint the exterior.**  
You may provide this rendering and we can provide photographs of completed stores should they be needed.

**OPTION #2**



**NATURAL TAN**  
Sherwin Wms#7567  
Above Functional Gray to  
the black metal cap.

**Metal coping to be painted Black.**

**FUNCTIONAL GRAY -**  
Sherwin Williams  
**#7024**  
Below window level –all the way  
around building except where  
noted under Choice Mark sign.

**Benjamin Moore -**  
Yellow/Green #2033-  
10 or  
Pantone PMS 2426 C  
color match  
Awnings and Gooseneck Lights.  
Make sure Gooseneck Lights  
have fresh, matching bulbs.

**New 36" x 15' 0 5/8"**  
**Channel Letter sign**  
Check with city/county to see if a new sign permit is required.

**Please be sure to contact your Property Manager  
or Landlord to obtain approval to paint the exterior.**  
You may provide this rendering and we can provide  
photographs of completed stores should  
they be needed.



Please evaluate your parking lot and exterior building lights. If the lot looks dark at night, contact your Property Manager and request more lights or light repairs. You may also consider wall pack lights on the rear of the building as well as decorative lights on the front and side. Adequate outdoor lighting is essential to customers feeling safe at night.

**New 4' Choice Mark Sign -3'-5/8" Wide x 3'-11-1/4" High**  
Check with city/county to see if a permit is needed for the ChoiceMark sign.



**Benjamin Moore - Yellow/Green #2033-10 or Pantone PMS 2426 C color match**  
This section of building and awning to be Yellow Green. Do not paint the black outline. That is only to distinguish the awning.

**Please be sure to contact your Property Manager or Landlord to obtain approval to paint the exterior.**  
You may provide this rendering and we can provide photographs of completed stores should they be needed.

Parking lot to be resealed and restriped.

Benjamin Moore -  
Yellow/Green #2033-  
10 or  
Pantone PMS 2426 C  
color match

Awnings and Gooseneck Lights.  
Make sure Gooseneck Lights  
have fresh, matching bulbs.  
Paint-Drive Thru Canopy top only  
or replacement top is available.

NATURAL TAN  
Sherwin Wms#7567  
Above Functional Gray –up to black metal cap - WHOLE SIDE

Benjamin Moore -  
Yellow/Green #2033-  
10 or  
Pantone PMS 2426 C  
color match

Awnings and Gooseneck Lights.  
Make sure Gooseneck Lights  
have fresh, matching bulbs.

FUNCTIONAL GRAY - Sherwin Williams #7024 -THIS  
SIDE ALL BOTTOM –FUNCTIONAL GRAY  
Below window level –all the way around building.

**Please be sure to contact your Property Manager  
or Landlord to obtain approval to paint the exterior.**  
You may provide this rendering and we can provide  
photographs of completed stores should  
they be needed.





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**NEW BUSINESS: MINOR APPLICATIONS**

2021-108 SIG

**VERSATIL MODA JEWELRY**

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PAID

<u>OFFICE USE ONLY</u>	
PERMIT #:	044943
AMOUNT DUE: \$	75.00
DATE PAID:	12/01/2021

### CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

Today's Date: 11/13/2021

Permit Fee: \$75.00

1. Business Owner Dalane Amella Nunes Business Phone [REDACTED]  
 Name of Business Versatil Moda & Jewlery Alternate Phone \_\_\_\_\_  
 Street Address of Business 220 Rod Bank RD, Goose Creek , SC 29445 STE 11  
 Landlord/Lessor Andrea Hobday Senior Property Manager Landlord's Phone [REDACTED]  
 Sign Company i7 Signs LLC Sign Co. Phone [REDACTED]  
 Sign Co. Contact Barbara D Bordini Sign Co. Address [REDACTED]

2. Cost of Sign(s) \$ [REDACTED] Sign Installation Cost \$ [REDACTED] Total Cost \$ [REDACTED]

3. How many signs are you applying for? 1 How many signs does this business already have? 0

4. What kind of signs does this business already have? \_\_\_\_\_  None

5. What type of business is applying for this sign permit:  
 A. A stand alone business?  Yes  No  
 B. A part of a shopping center?  Yes  No If yes, shopping center name: \_\_\_\_\_

6. What is the TMS number for this property? \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

7. What is the front setback of the business in feet? N/A (The distance from the front property line to the front of business)  
 A. For corner lots only, what is the front setback for second street frontage in feet? \_\_\_\_\_

8. What is the width of the business in feet? 20 (The distance from wall to wall)  
 A. For corner lots only, what is the width of the business for second street frontage in feet? \_\_\_\_\_

9. What is the property's road frontage in feet? N/A (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:  
 A. The storefront in relation to adjacent businesses;  
 B. The specific location of proposed sign(s) on the property or building; and  
 C. The actual sign if it already exists.

<u>OFFICE USE ONLY</u>	
MAX. NO. OF ALLOWED SIGNS:	_____
MAX ALLOWED SIGN AREA:	_____

11. Please attach drawings of each proposed sign showing (drawn to scale) :  
 A. The completed sign as it will actually appear on the building  
 B. All dimensions;  
 C. Where the colors will appear;  
 D. The location on the property (on a plat) of proposed & existing freestanding signs  
 E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
- Please submit this application by the 1<sup>st</sup> Monday of the month for consideration that month by the ARB.
  - The ARB meets on the 3<sup>rd</sup> Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

**NOTE:** Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

Note: This application contains multiple pages

**SIGN INFORMATION TABLE**

<b>Required Information</b>	<b>Sign 1</b>	<b>Sign 2</b>	<b>Sign 3</b>
Materials: (metal, plastic, wood, etc.)	Fabricated aluminum with acrylic face		
Illumination: Exterior, interior or not lighted	Internal LED		
Type of Sign:	Channel Letter		
Height (FEET)	1' & 8"		
Width (feet)	12'		
Area (square feet)	20 sq ft		
All colors used on sign	Black & White		
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	Logo is 20"H X 15"W		
Projection from building or cabinet width (thickness)	5.3 inches		
Number of styles of lettering	Two Fonts		
Height of letters (if channel letters)	20 inches		
If mounting individual letters, space between letters	N/A		
If mounting individual letters, space between words	N/A		
If window sign, size of window	N/A		
If changeable copy sign (reader board), number of lines	N/A		
If freestanding sign, distance between sign and street curb (ft)	N/A		
If freestanding sign, total height above grade (ft)	N/A		
If freestanding sign, landscaping materials to be planted at base of sign	N/A		

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.

Barbara D Bordini-i7 Signs LLC  
Signature of Applicant

11/13/2021  
Date

OFFICE USE ONLY

Remarks: \_\_\_\_\_

\_\_\_\_\_

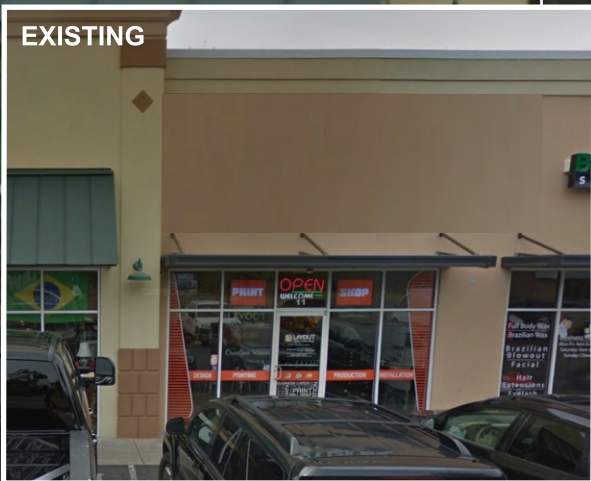
Approval: Zoning Administrator \_\_\_\_\_ Issued by: \_\_\_\_\_ Date: \_\_\_\_\_



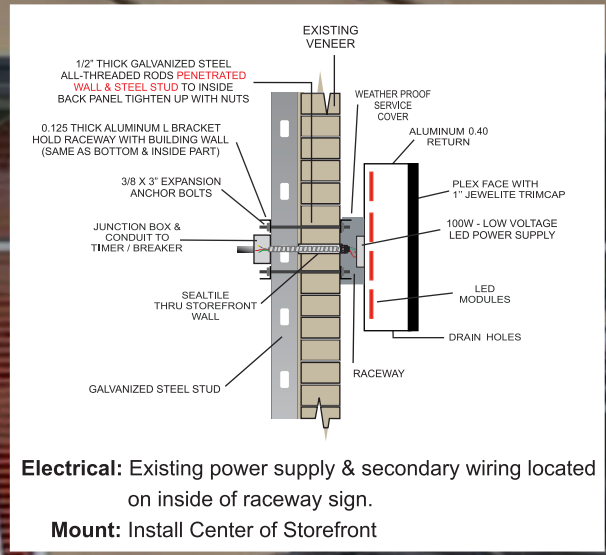
# Design Preview

Project: Channel Letters  
Versatil Moda & Jewelry

**Landlord Approval:**  
Both signs and logo to be placed on a raceway to match bldg color.  
Approved 11-12-2021  
*Amie L. Mintz*  
Amie L. Mintz, Agent for Owner



**Material:** Fabricated Aluminum With Acrylic Face  
**Return Finish:** Black  
**Illumination:** LED  
The design above is intellectual property of i7 Signs, All rights reserved



**Electrical:** Existing power supply & secondary wiring located on inside of raceway sign.  
**Mount:** Install Center of Storefront



678.332.0307  
contact@i7signs.com  
www.i7signs.com



**SIGN LOCATION**  
Business Name: Versatil Moda & Jewelry  
Owner: Daiane Amelia Nunes  
Phone: (678) 908-0020  
Address: 220 Red Bank Rd, Unit 11  
City: Goose Creek State: SC Zip Code: 29445  
Email: bordiniteam@gmail.com

PROJECT	PAGE
<b>VERSATIL</b>	1
SCALE FOR BUILDING	OF
<b>NTS</b>	1



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**NEW BUSINESS: MINOR APPLICATIONS**

2021-109 SIG

**DOLLAR TREE**

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**PAID**

<u>OFFICE USE ONLY</u>	
PERMIT #:	[REDACTED]
AMOUNT DUE: \$	[REDACTED]
DATE PAID: 11/17/20	[REDACTED]

**CITY OF GOOSE CREEK SIGN PERMIT APPLICATION**

Today's Date: 11-9-21

Permit Fee: \$75.00

1. **Business Owner** \_\_\_\_\_ **Business Phone** \_\_\_\_\_  
**Name of Business** Dollar Tree **Alternate Phone** \_\_\_\_\_  
**Street Address of Business** 214 St James Avenue STE 130??  
**Landlord/Lessor** Realop Investments **Landlord's Phone** [REDACTED]  
**Sign Company** Anchor Sign **Sign Co. Phone** [REDACTED]  
**Sign Co. Contact** Angell Donald **Sign Co. Address** [REDACTED]

2. **Cost of Sign(s)** \$ [REDACTED] **Sign Installation Cost** \$ [REDACTED] **Total Cost** \$ [REDACTED]

3. **How many signs are you applying for?** 2 **How many signs does this business already have?** \_\_\_\_\_

4. **What kind of signs does this business already have?** \_\_\_\_\_  None

5. **What type of business is applying for this sign permit:**  
A. A stand alone business?  Yes  No  
B. A part of a shopping center?  Yes  No **If yes, shopping center name:** \_\_\_\_\_

6. **What is the TMS number for this property?** 2B - 04 - 00 - 017

7. **What is the front setback of the business in feet?** 365+/- (The distance from the front property line to the front of business)  
A. For corner lots only, what is the front setback for second street frontage in feet? \_\_\_\_\_

8. **What is the width of the business in feet?** 65'3 (The distance from wall to wall) **multiply x 2**  
A. For corner lots only, what is the width of the business for second street frontage in feet? \_\_\_\_\_

9. **What is the property's road frontage in feet?** N/A (This only applies to shopping centers erecting a freestanding sign)

10. **Please attach photos showing:**  
A. The storefront in relation to adjacent businesses;  
B. The specific location of proposed sign(s) on the property or building; and  
C. The actual sign if it already exists.

<u>OFFICE USE ONLY</u>	
MAX. NO. OF ALLOWED SIGNS:	<u>4</u>
MAX ALLOWED SIGN AREA:	<u>132sf</u>

11. **Please attach drawings of each proposed sign showing (drawn to scale) :**  
A. The completed sign as it will actually appear on the building  
B. All dimensions;  
C. Where the colors will appear;  
D. The location on the property (on a plat) of proposed & existing freestanding signs  
E. The location on the building of proposed & existing building signs

12. **Please attach swatches, samples, and/or paint chips of all proposed colors to the application.**

13. **Please complete the Sign Information Table located on the following page.**

14. **You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.**
- Please submit this application by the 1<sup>st</sup> Monday of the month for consideration that month by the ARB.
  - The ARB meets on the 3<sup>rd</sup> Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

**NOTE:** Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

### SIGN INFORMATION TABLE

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)		plastic	
Illumination: Exterior, interior or not lighted	Yes	NO	
Type of Sign:	Channel letters	Face change	
Height (FEET)	36' / 42'		
Width (feet)			
Area (square feet)	101.81 ✓	25.69 ✓	
All colors used on sign	Green	Green	
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	N	N	
Projection from building or cabinet width (thickness)			
Number of styles of lettering	1	1	
Height of letters (if channel letters)	36"	N/A	
If mounting individual letters, space between letters	26 3/4 / 18'		
If mounting individual letters, space between words			
If window sign, size of window			
If changeable copy sign (reader board), number of lines			
If freestanding sign, distance between sign and street curb (ft)			
If freestanding sign, total height above grade (ft)			
If freestanding sign, landscaping materials to be planted at base of sign			

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.

A. Dorned

Signature of Applicant

11-10-21

Date

#### OFFICE USE ONLY

Remarks:

Approval: Zoning Administrator \_\_\_\_\_

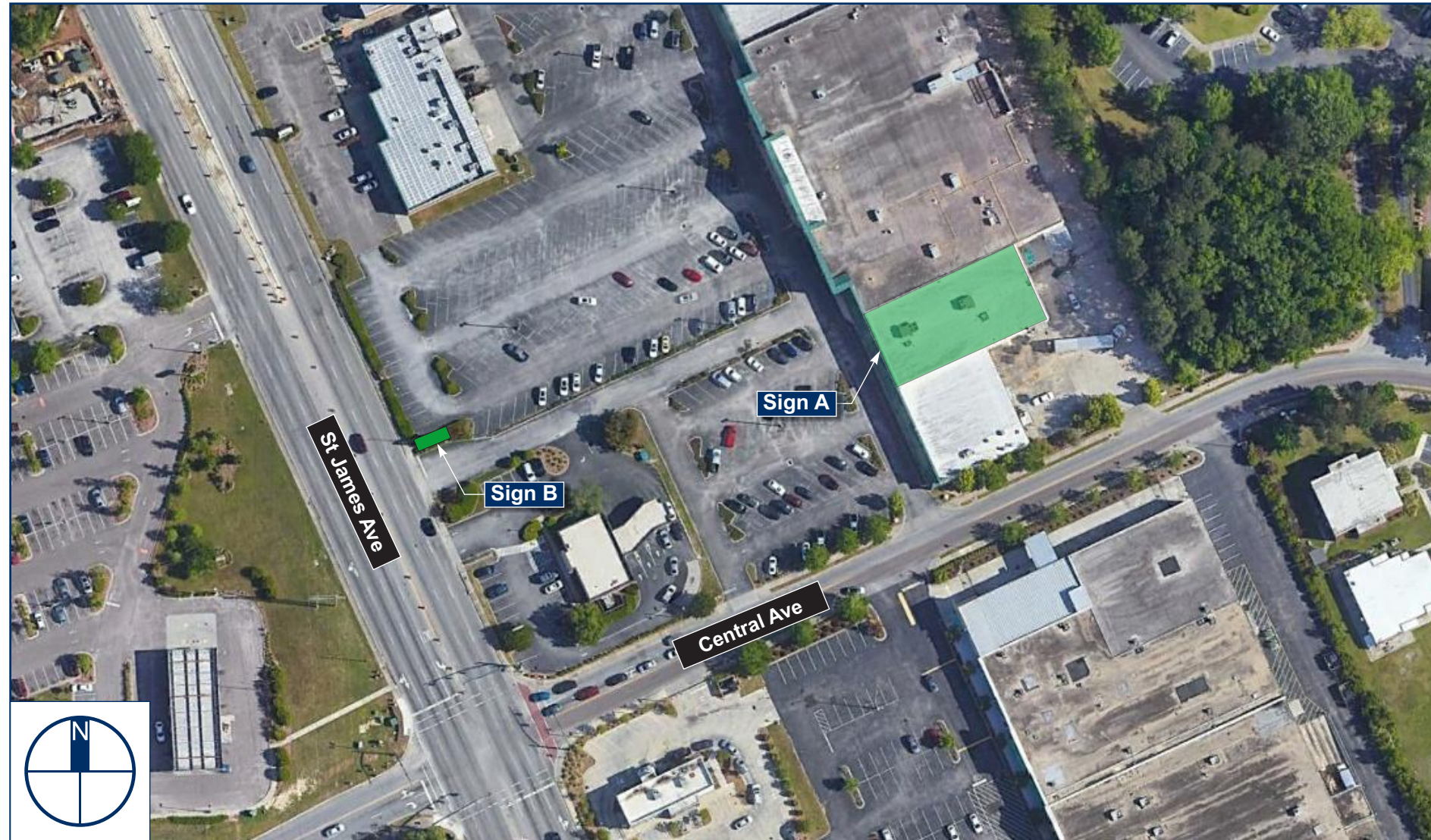
Issued by: \_\_\_\_\_

Date: \_\_\_\_\_



<b>SIGN A</b>	36" Dollar Tree   42" Medallion
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	101.81 [Footprint]
To Grade:	Top of Sign to Grade = 22'-4" Bottom of Sign to Grade = 18'-10"

<b>SIGN B</b>	Dollar Tree
Type:	New Lexan Panel w/ Applied Vinyl
Actual Size:	44" x 84"
Viewable Size:	41" x 81"
Square Footage:	25.67



Client:	Dollar Tree
Site #:	DL-9004
Address:	214 St. James Avenue Goose Creek, SC 29445

REVISION INFO	10/25/2021	Original Renderings	DA
	10/27/2021	Updated per request	DA

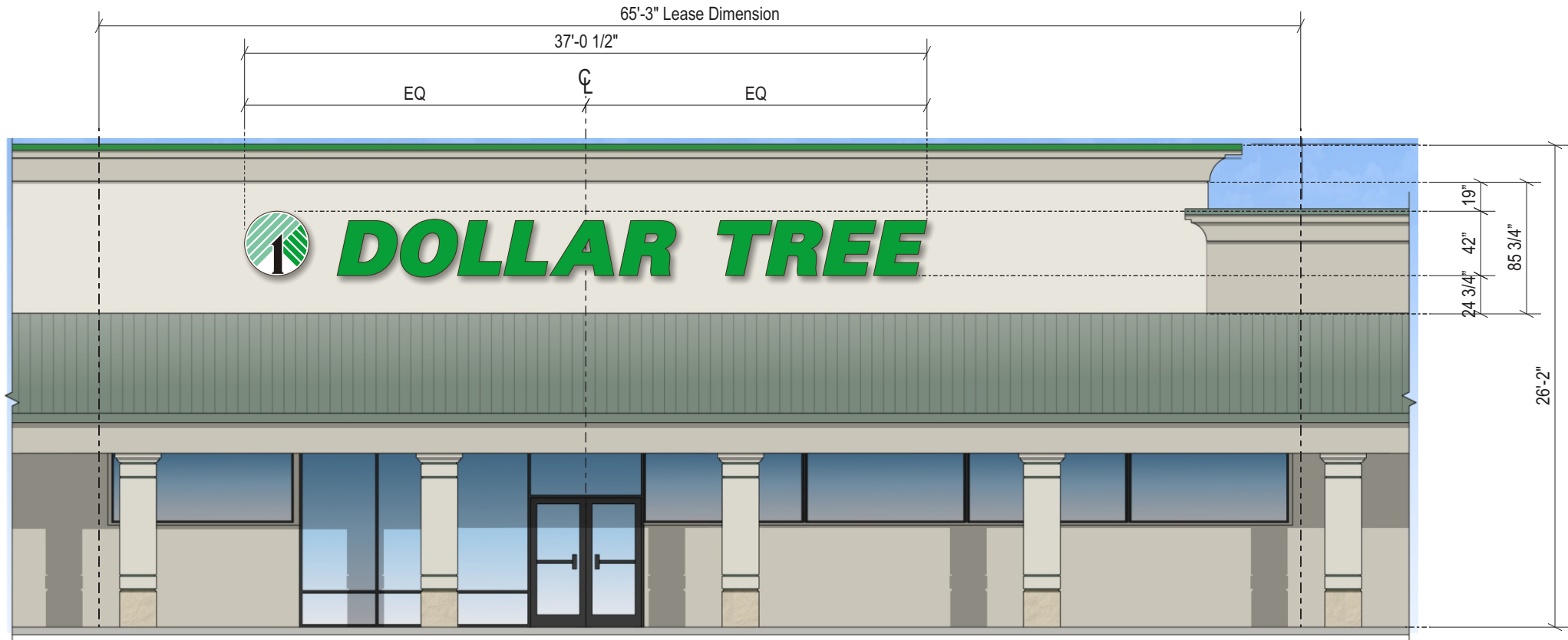
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1.800.213.3331

<b>SIGN A</b>	36" Dollar Tree   42" Medallion
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	101.81 [Footprint]
To Grade:	Top of Sign to Grade = 22'-4" Bottom of Sign to Grade = 18'-10"



Existing



**Front Elevation (Southwest)**  
Scale: 1/8" = 1'-0"

Allowable Square Footage this Elevation:	136.50
Formula: 1.5:1 LF	
Actual Square Footage this Elevation:	101.81



Client:	Dollar Tree
Site #:	DL-9004
Address:	214 St. James Avenue Goose Creek, SC 29445

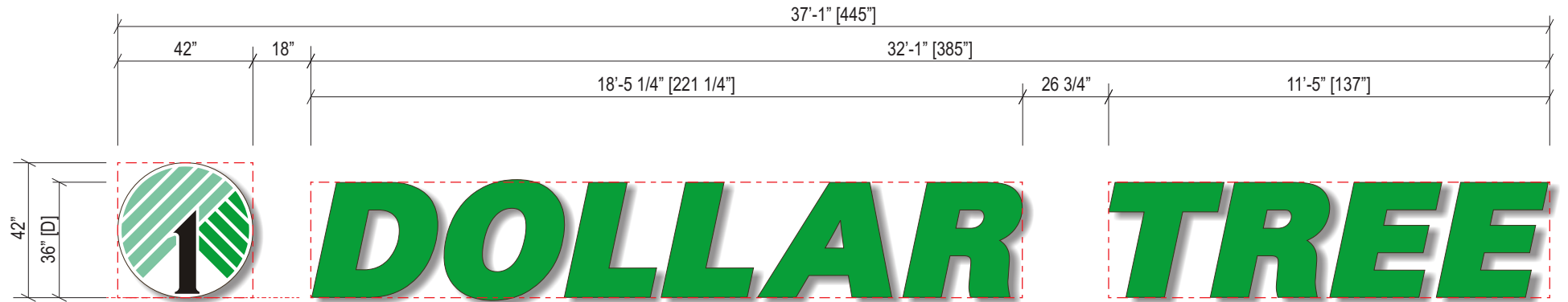
REVISION INFO	10/25/2021	Original Renderings	DA
	10/27/2021	Updated per request	DA

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<b>SIGN A</b>	36" Dollar Tree   42" Medallion
<b>Type:</b>	Individual Channel Letters
<b>Illumination:</b>	Internally Illuminated LED
<b>Square Footage:</b>	101.81 [Footprint]
<b>To Grade:</b>	Top of Sign to Grade = 22'-4" Bottom of Sign to Grade = 18'-10"



### Sign Layout Detail

Scale: 1/4" = 1'-0"

#### Electrical Detail: Logo

- P-LED White LEDs
- (1) 60w Transformers @ 1.1 amps each  
Total Amps: 1.1
- (1) 20 amp 120V Circuit Req.



#### Electrical Detail: Dollar Tree

- P-LED Green LEDs
- (3) 60w Transformers @ 1.1 amps each  
Total Amps: 3.3
- (1) 20 amp 120V Circuit Req.



#### General Notes:

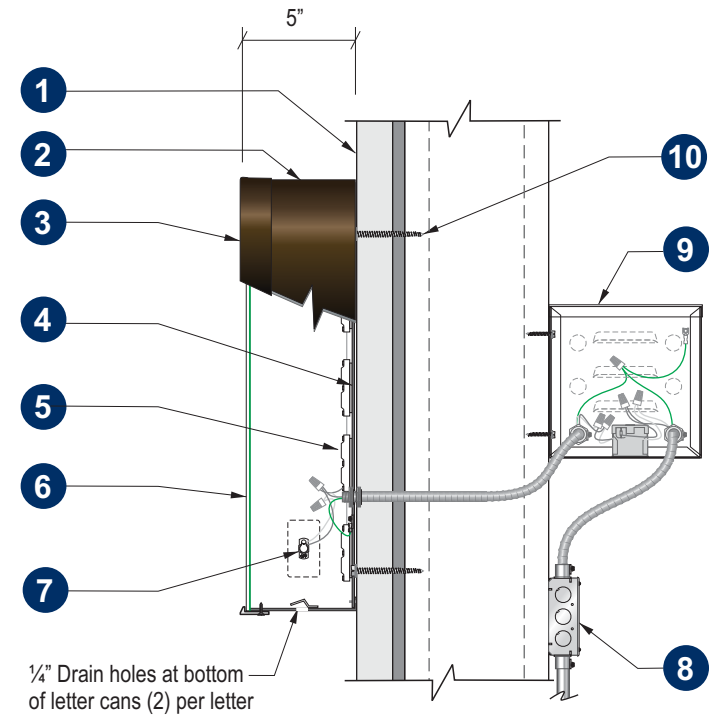
This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.

- 1) Grounded and bonded per NEC 600.7/NEC 250
- 2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps
- 3) Sign is to be UL listed per NEC 600.3
- 4) UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer\*  
\*For multiple signs, a disconnect is permitted but not required for each section

**\* Note: Logo to be bottom justified with the D in Dollar Tree**

#### Specifications: Channel Letters

1. Existing Facade: EIFS | Denglass | Metal Studs
  2. 0.040" Aluminum letter returns painted to match Bronze
  3. 1" Jewelite trimcap (Bronze) bonded to face and #8 pan head screws to returns
  4. 3mm Signabond Lite composite backs fastened to returns w/ 1/2" 18 gauge staples. Seal w/ VOC compliant 360 white latex caulk to prevent moisture penetration. (interior of sign can painted white for maximum illumination)
  5. White & Green LEDs
  6. 0.15" Clear lexan faces w/ second surface vinyl
- Medallion-** digital print to match:
- 3M 3630-156 Vivid Green
  - 3M 3630-146 Kelly Green
  - 3M 3650-12 Black (Opaque)
  - White (Translucent)
- Dollar Tree-**
- 3M 3630-156 Vivid Green (Translucent)
  - 3635-70 diffuser
7. Disconnect switch UL Outdoor rated toggle type w/ neoprene boot per NEC 600-6
  8. Primary electrical feed in UL conduit / customer supplied UL junction box
  9. Transformers within UL enclosure (removable lid), 1/4" x 1" min screws
  10. Mounting hardware: #12 Sheet Metal Screws



### Section @ LED Channel Letter Front-Lit (Remote)

Scale: N.T.S.

**DOLLAR TREE**

Client: Dollar Tree  
Site #: DL-9004  
Address: 214 St. James Avenue  
Goose Creek, SC 29445

REVISION INFO	DATE	DESCRIPTION	BY
	10/25/2021	Original Renderings	DA
	10/27/2021	Updated per request	DA

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**AnchorSign**  
1.800.213.3331

<b>SIGN B</b>	Dollar Tree
Type:	New Lexan Panel w/ Applied Vinyl
Actual Size:	44" x 84"
Viewable Size:	41" x 81"
Square Footage:	25.67



**Panel Replacement On Existing D/F Pylon**  
**QTY 2 (1 SET)**      Scale: 3/4" = 1'-0"

Specifications:	
1.	New 3/16" white lexan
2.	Applied vinyl <span style="color: green;">■</span> 3M 3630-156 Vivid Green
3.	Existing Retainers



**Existing**



**Multi-Tenant Pylon Elevation**

Scale: N.T.S.

<b>DOLLAR TREE</b>	Client:	Dollar Tree	REVISION INFO	10/25/2021	Original Renderings	DA	This rendering is the property of Anchor Sign, Inc. It is for the exclusive use of Anchor Sign, Inc. and the party which requested the rendering. It is an unpublished original drawing not to be distributed, reproduced or exhibited without the consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this statement.
	Site #:	DL-9004		10/27/2021	Updated per request	DA	
	Address:	214 St. James Avenue					
		Goose Creek, SC 29445					