



THE CITY OF  
**GOOSE CREEK**

BERKELEY CO. EST. 1961 SO. CAROLINA

**SUPPORTING MATERIALS FOR  
ARCHITECTURAL REVIEW BOARD  
MONDAY, NOVEMBER 15, 2021  
6:00 PM**

**MARGUERITE BROWN MUNICIPAL CENTER  
CITY HALL COUNCIL CHAMBERS  
519 N. GOOSE CREEK BLVD.  
GOOSE CREEK, SOUTH CAROLINA**

# MEMORANDUM

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**TO:** MEMBERS OF THE ARCHITECTURAL REVIEW BOARD

**FROM:** LILI ORTIZ-LUDLUM, ADMINISTRATIVE ASSISTANT

**DATE:** NOVEMBER 10, 2021

**SUBJECT:** MEETING NOTIFICATION

**WHERE:** MARGUERITE H. BROWN MUNICIPAL CENTER

This is to remind everyone that the next meeting of the Architectural Review Board is scheduled for Monday, November 15, 2021 at 6:00 p.m.

Please review the enclosed packet. Should you have any questions or comments prior to Monday's meeting, please do not hesitate to contact Planning and Zoning at 843-797-6220 or via e-mail at [planning-zoning@cityofgoosecreek.com](mailto:planning-zoning@cityofgoosecreek.com).



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MINUTES

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**MINUTES  
CITY OF GOOSE CREEK  
ARCHITECTURAL REVIEW BOARD MEETING  
MONDAY, OCTOBER 18, 2021, 6:00 P.M.  
MARGUERITE H. BROWN MUNICIPAL CENTER  
519 N. GOOSE CREEK BOULEVARD**

**I. CALL TO ORDER, PLEDGE OF ALLEGIANCE AND ROLL CALL**

Chairperson Dresel called the meeting to order at 6:00 p.m. and initiated the Pledge of Allegiance. Mrs. Moneer initiated roll call.

**Present:** Ricky Dresel, Jen Wise, David Cantrill, Sharon Clopton, Mary Kay Soto, Teri Victor

**Absent:** None

**Staff Present:** Planning and Zoning Technician Brenda Moneer

**II. APPROVAL OF MINUTES – SEPTEMBER 20, 2021**

**Motion:** A motion was made to accept the minutes as submitted. **Moved by** Board Member Clopton, **Seconded by** Board Member Wise.

**Discussion:** None.

**Vote:** All voted in favor (6-0). Motion carried.

**III. MINOR APPLICATIONS – OLD BUSINESS**

**A. 2021-074 SIG: EXXON: 670 COLLEGE PARK ROAD – SIGNAGE**

Mr. Hugh Welch presented on behalf of Total Image Solutions as they could not be in attendance. The applicant is looking to lower the street sign to meet the City’s ten-foot height requirement. They will install a new reader panel and change the canopy from Speedway to Exxon. Board Member Soto stated the address needs to be added to the street sign on both sides and landscaping needs to be cut down in order to see the sign from both sides. Board Member Clopton inquired if any changes to the pumps will be made. Mr. Welch did not have an answer. Questions regarding the secondary fascia rendering ensued as it shows the pumps blue, a synergy sign above the pump, and features that was not listed on the application for approval. It was stated only the street sign and canopy sign is up for review.

**Motion:** A motion was made to approve only the canopy and street sign request provided they trim the landscaping in order to make the street sign visible and that the address numbers are added to both

sides. **Moved by** Board Member Clopton, **Seconded by** Board Member Cantrill.

**Discussion:** None.

**Vote:** All voted in favor (6-0). Motion carried.

**B. 2021-082 SIG: JOE'S KWIK MART: 670 COLLEGE PARK ROAD – SIGNAGE**

The applicant presented the application. She stated they are proposing an aluminum pan sign to read Joe's Kwik Marts to replace the Speedway sign that is currently on the building. The applicant did not provide samples.

**Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Cantrill, **Seconded by** Board Member Soto.

**Discussion:** None.

**Vote:** Chairman Dresel, Board Member Wise, Board Member Cantrill, Board Member Soto and Board Member Victor voted in favor. Board Member Clopton opposed (5-1). Motion carried.

**C. 2021-075 PT: CROWFIELD PARK PLAZA: 119 SPRINGHALL DRIVE – EXTERIOR PAINT**

The applicant requested ARB review for exterior paint for Crowfield Park Plaza. He stated he purchased the property at the end of 2019. He stated he is fixing up the exterior as the previous walls were stained and pressure washing was not helping. He painted the exterior walls Sherman Williams Essential Gray and Snowfall prior to ARB approval. He stated he was unaware he needed a permit. The applicant presented color samples.

**Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Soto, **Seconded by** Board Member Wise.

**Discussion:** None.

**Vote:** Chairman Dresel, Board Member Wise, Board Member Cantrill, Board Member Soto and Board Member Victor voted in favor. Board Member Clopton opposed (5-1). Motion carried.

**D. 2021-078 SIG: HURRICANE COFFEE: 2424 MAIN STREET – SIGNAGE**

The board stated they will skip Hurricane Coffee sign review and will revisit this minor application with the major at the end of the meeting.

#### **IV. NEW BUSINESS: MINOR APPLICATIONS**

##### **A. 2021-076 SIG: DELIVERANCE OF FAITH: 107 ST. JAMES AV. – SIGNAGE**

The applicant presented the application. The request is to remove the lighted cabinet sign that is currently install and replace it with a panel sign. The colors of the panel sign will be black background and white letters. Mrs. Moneer stated this sign exceeds the maximum allowable size by two square feet. The applicant stated he will cut it to meet the ordinance. Board Member Clopton stated she would like to see signage a little more innovated and shared her concerns with visibilities.

**Motion:** A motion was made to accept the application as submitted contingent on the size meeting the code requirements and to paint the front fascia to match the rest of the building once the original sign is removed. **Moved by** Board Member Cantrill, **Seconded by** Board Member Victor.

**Discussion:** None.

**Vote:** All voted in favor (6-0). Motion carried.

##### **B. 2021-083 SIG: ESPIONAGE SALON AND SPA: 136 RED BANK ROAD – SIGNAGE**

The applicant presented the application. He stated the applicant wanted the rainbow color of her logo with a white background. He stated there is a sign next door to this property that is similar, and his client was trying to model it after that sign. The applicant stated it is a double sided 10 mil alumacorr panel with printed graphics on 4x4 posts with white vinyl sleeves. The board shared concerns regarding legibility. Mrs. Moneer stated staff suggests the board decision be contingent on removal of the bubble flag banner and the unpermitted portable sign. The board discussed placement of the address on the sign.

**Motion:** A motion was made to deny the application as submitted based on the aesthetics of the sign and visibility. The sign will not be visible for people driving by and it would not be in the best interest, long term for the owner and asked the applicant to submit more options. **Moved by** Board Member Cantrill, **Seconded by** Board Member Victor.

**Discussion:** Board Member Dresel stated he like to see more options, increase letter size and something more visible from the road. The applicant requested recommendation from the board as to what they want to see so he could relay that to his client. The board stated the opaque background is being proposed in the future

ordinance and suggest that to his client. The board stated they cannot tell him exactly what to do. Board Member Clopton stated it makes a huge difference closing the letters. The applicant stated it puts him in a difficult position when he tells his client that the board does not like the font when the client tells him this is their logo.

**Vote:** All voted in favor (6-0). Motion carried.

**C. 2021-084 SIG: ALIGNLIFE: 105 GREENLAND DRIVE – SIGNAGE**

The applicant presented the application. She stated the proposal is for a double sided dibond panel sign to be installed with wooden posts. The board stated they want to see the address on the sign. Mrs. Moneer stated this meets the sign ordinance. She stated this is in the executive park of Crowfield and is very similar with other signs that are already in place.

**Motion:** A motion was made to accept the application as submitted contingent on adding the street number to the sign and in accordance with the code requirement for height and width and that they provide some low-lying evergreen landscaping beside the sign. **Moved by** Board Member Cantrill, **Seconded by** Board Member Wise.

**Discussion:** None.

**Vote:** All voted in favor (6-0). Motion carried.

**V. OLD BUSINESS: MAJOR APPLICATIONS**

**D. 2021-077 NBLD: HURRICANE COFFEE: 2424 MAIN STREET – SITE, PARKING, LANDSCAPE, ELEVATIONS, BUILDING MATERIALS AND COLORS**

The applicant requested ARB review for site, parking, landscaping, elevations, building materials and colors for Hurricane Coffee. This is the third time the applicant appeared before the board to present this project. The applicant presented revised plans for which the board requested at the September meeting. The applicant rotated the building, added architectural interest and colors to the exterior of the building which was a recommendation the board made previously. She presented an updated site, stacking and landscaping plan.

**Motion:** A motion was made accept the application as submitted. **Moved By:** Board Member Cantrill, **Seconded By:** Board Member Wise.

**Discussion:** None.

**Vote:** All voted in favor (6-0). Motion carried.

The board revisited Hurricane Coffee Signage. The applicant presented multiple sign designs for both the roadside and store front for the board to choose from. The board agreed that they liked option D for both. The applicant stated both the road and store front sign will be internally lit. The applicant provided a bumper sticker to show the proposed colors instead of paint samples.

**Motion:** A motion was made accept option D of the sign application for both the street sign and building sign. **Moved By:** Board Member Soto, **Seconded By:** Board Member Wise.

**Discussion:** None.

**Vote:** All voted in favor (6-0). Motion carried.

## **VI. CLOSING REMARKS AND ADJOURNMENT**

Board Member Wise asked for clarification regarding which applications need to wait 30 days to present before the board again if denied. She also stated at the last meeting the board was discouraged from denying an application which she thought was not appropriate. She requested clarification as to when to have a continuance instead of denials. Mr. Cook stated special meetings generally should be discourage as it is at the discretion of this board. He stated the board does have the ability to give staff some direction.

Mr. Cook stated continuing education will be offered. He stated there is a three-hour requirement that must be met every year.

Mr. Cook stated the sign section of the City's ordinance will be amended. He stated the intent is to have the ARB review specifics for building, color, and architectural design; the proposed ordinance will have staff reviewing signage. Mr. Cook stated if someone wanted to appeal staff's decision it could be appealed with the ARB. Board Member Cantrill inquired if state law covers this change. Mr. Cook stated yes. Mr. Cook stated we will be revisiting our rules and procedures and make some changes. He stated he is also working on internships with architectural students to assist with training. He stated something to consider moving forward is a less formal approach for board meetings such as sitting around a table with the architect to go over plans and get feedback.

Board Member Clopton stated she is frustrated that the board is not getting color samples. Mrs. Moneer stated that is a requirement as it is stated on the application and the applicants are reminded to bring samples to the meeting if they have not done so prior. Board Members shared their concerns regarding certain businesses violating ordinances.



Chairman Dresel stated he wanted to remind everyone that their concerns are valid however the board is not code enforcement. The Board inquired how staff would like to receive the boards complaints. Mr. Cook stated we have two code enforcement officers that traditionally did property maintenance and will be transitioning to assists with these issues in the field. He stated if the board made an approval and it is contingent upon something being done, let staff know and it will be addressed. Discussion regarding continuing education ensued.

**Motion:** A motion was made to adjourn (7:09p.m.) **Moved By:** Board Member Wise, **Seconded By:** Board Member Cantrill.

**Discussion:** There was none.

**Vote:** All voted in favor (6-0). Motion carried.

\_\_\_\_\_ Date \_\_\_\_\_  
Ricky Dresel, Chairperson



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**OLD BUSINESS: MINOR APPLICATIONS**

2021-103 SIG

**ESPIONAGE SALON AND SPA**

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## OFFICE USE ONLY

PERMIT #: \_\_\_\_\_  
 AMOUNT DUE: \$ \_\_\_\_\_  
 DATE PAID: \_\_\_\_\_

## CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

Today's Date: 9/21/21

Permit Fee: \$75.00

1. Business Owner Esperanza Pineda Business Phone \_\_\_\_\_  
 Name of Business Espionage Salon + Spa Alternate Phone 843-324-6848  
 Street Address of Business 136 Reed Bank Rd.

Landlord/Lessor \_\_\_\_\_ Landlord's Phone \_\_\_\_\_

Sign Company Carolina Moon Signs Sign Co. Phone \_\_\_\_\_

Sign Co. Contact Hugh Welch Sign Co. Address \_\_\_\_\_

2. Cost of Sign(s) \$ \_\_\_\_\_ Sign Installation Cost \$ \_\_\_\_\_ Total Cost \$ \_\_\_\_\_

3. How many signs are you applying for? 2 How many signs does this business already have? 0

4. What kind of signs does this business already have? \_\_\_\_\_  None

5. What type of business is applying for this sign permit:

- A. A stand alone business?  Yes  No  
 B. A part of a shopping center?  Yes  No If yes, shopping center name: \_\_\_\_\_

6. What is the TMS number for this property? 244-09-01-058

7. What is the front setback of the business in feet? 75' (The distance from the front property line to the front of business)

- A. For corner lots only, what is the front setback for second street frontage in feet? \_\_\_\_\_

8. What is the width of the business in feet? 60' (The distance from wall to wall)

- A. For corner lots only, what is the width of the business for second street frontage in feet? \_\_\_\_\_

9. What is the property's road frontage in feet? \_\_\_\_\_ (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:

- A. The storefront in relation to adjacent businesses;  
 B. The specific location of proposed sign(s) on the property or building; and  
 C. The actual sign if it already exists.

11. Please attach drawings of each proposed sign showing (drawn to scale):

- A. The completed sign as it will actually appear on the building  
 B. All dimensions;  
 C. Where the colors will appear;  
 D. The location on the property (on a plat) of proposed & existing freestanding signs  
 E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.

- Please submit this application by the 1<sup>st</sup> Monday of the month for consideration that month by the ARB.
- The ARB meets on the 3<sup>rd</sup> Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

## OFFICE USE ONLY

MAX. NO. OF ALLOWED SIGNS: \_\_\_\_\_

MAX ALLOWED SIGN AREA: \_\_\_\_\_

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

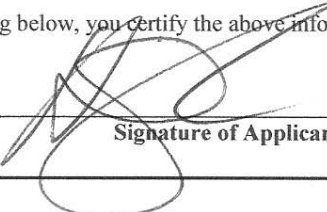
Note: This application contains multiple pages

**SIGN INFORMATION TABLE**

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	Aluminum/Wood/ Vinyl Steels	Aluminum-ALM	
Illumination: Exterior, interior or not lighted	NOT Lighted	NOT LIGHTED	
Type of Sign:	Freestanding	WALL MOUNT	
Height (FEET)	4'	1'6"	
Width (feet)	8'	7'	
Area (square feet)	32 sf	10.5 sf	
All colors used on sign	Coral/Blue/Yellow/Purple/ Teal/Orange/Green/Black	Coral/Blue/Yellow/Purple/ Teal/Orange/Green/Black	
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	NO	NO	
Projection from building or cabinet width (thickness)	N/A	N/A	
Number of styles of lettering	TWO	TWO	
Height of letters (if channel letters)	N/A	N/A	
If mounting individual letters, space between letters	N/A	N/A	
If mounting individual letters, space between words	N/A	N/A	
If window sign, size of window	N/A	N/A	
If changeable copy sign (reader board), number of lines	N/A	N/A	
If freestanding sign, distance between sign and street curb (ft)	20'	N/A	
If freestanding sign, total height above grade (ft)	7'6"	N/A	
If freestanding sign, landscaping materials to be planted at base of sign	Evergreen Shrubs	N/A	

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.

  
 \_\_\_\_\_  
 Signature of Applicant

9/21/21  
 \_\_\_\_\_  
 Date

OFFICE USE ONLY		
Remarks: _____		
_____		
Approval: Zoning Administrator _____	Issued by: _____	Date: _____

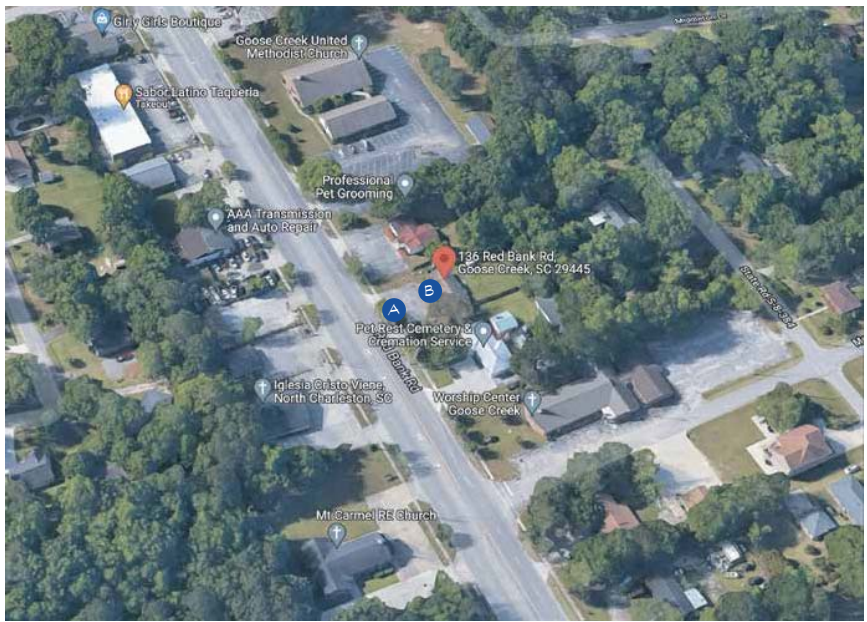
A



B



136 Red Bank Rd. Goose Creek, SC 29445



Client:  
Espionage Salon, Spa & Cafe

Location:  
136 Red Bank Rd.  
Goose Creek, SC  
29445

**CAROLINA SIGN Co. 779.SIGN**  
107 St. James Ave  
Ste A2  
Goose Creek, SC 29445  
843-779-7446  
carolinasignco.com

Project Updates

- 1 n/a
- 2 n/a
- 3 n/a
- 4 n/a
- 5 n/a
- 6 n/a
- 7 n/a
- 8 n/a
- 9 n/a
- 10 n/a

Project Manager:  
Hugh Welch  
E-Mail:  
hugh@carolinasignco.com

Approval Signatures

X Client

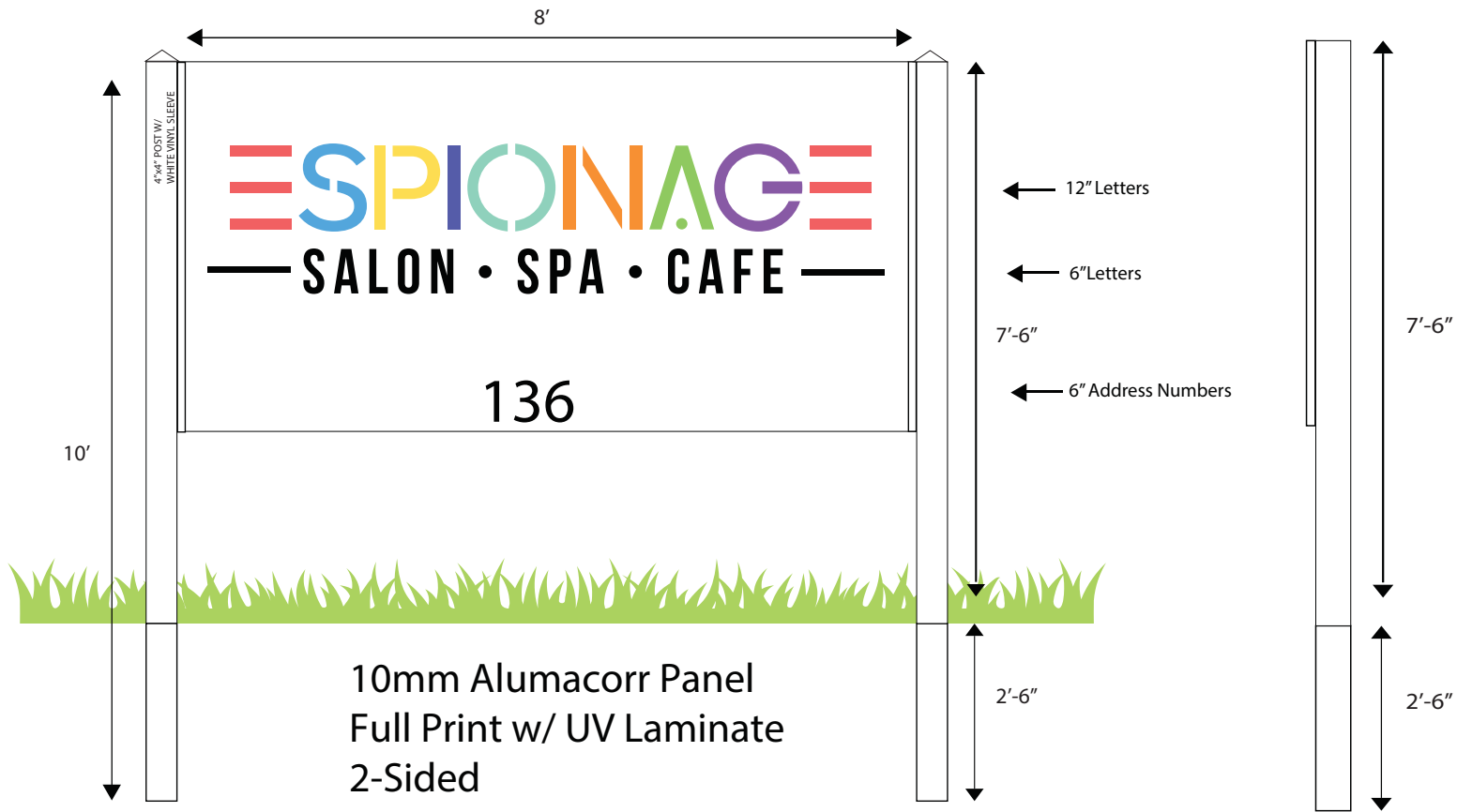
X Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

This original unpublished drawing is submitted solely for the project being planned. It is not to be copied or shown to persons outside of your organization without express written authorization from CAROLINA SIGN COMPANY. All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. CAROLINA SIGN COMPANY will do their best to maintain the design intent of these drawings at all times. If the owner or owner's representative wishes to receive detail drawings on all changes during the fabrication process, CAROLINA SIGN COMPANY must be advised in writing prior to the start of fabrication.

Sheet Title  
Site

Page Number  
1 of 6



10mm Aluacorr Panel  
Full Print w/ UV Laminate  
2-Sided

Fabricate & install one (1) 10mm Aluacorr Panel with printed graphics on White Vinyl PVC Sleeves with Dome Cap on 4x4' posts..

Client:  
Espionage Salon, Spa  
& Cafe

Location:  
136 Red Bank Rd.  
Goose Creek, SC  
29445

**CAROLINA**  
SIGN Co 779.SIGN

107 St. James Ave  
Ste A2  
Goose Creek, SC 29445  
843-779-7446  
carolinasingco.com

Project Updates

▲	n/a
▲	n/a
▲	n/a
▲	n/a
▲	n/a
▲	n/a
▲	n/a
▲	n/a
▲	n/a
▲	n/a

Project Manager:  
Hugh Welch  
E-Mail:  
hugh@carolinasingco.com

Approval Signatures

X  
Client

X  
Landlord

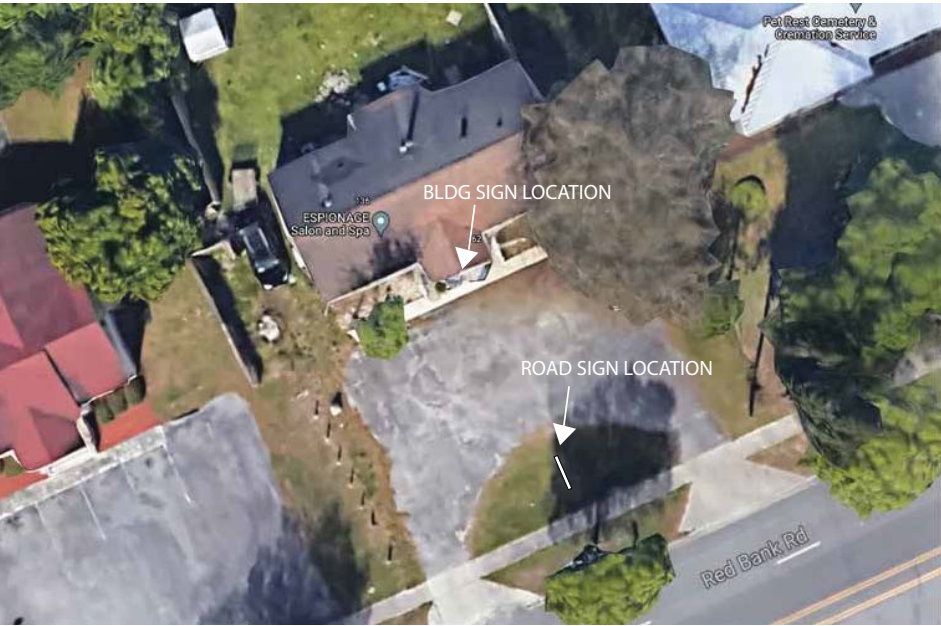
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Sheet Title  
Site

Page Number

2 of 6



Client:  
Espionage Salon, Spa & Cafe

Location:  
136 Red Bank Rd.  
Goose Creek, SC  
29445

**CAROLINA SIGN Co 779.SIGN**  
107 St. James Ave  
Ste A2  
Goose Creek, SC 29445  
843-779-7446  
carolinasingnco.com

**Project Updates**

- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a

Project Manager:  
Hugh Welch  
E-Mail:  
hugh@carolinasingnco.com

**Approval Signatures**

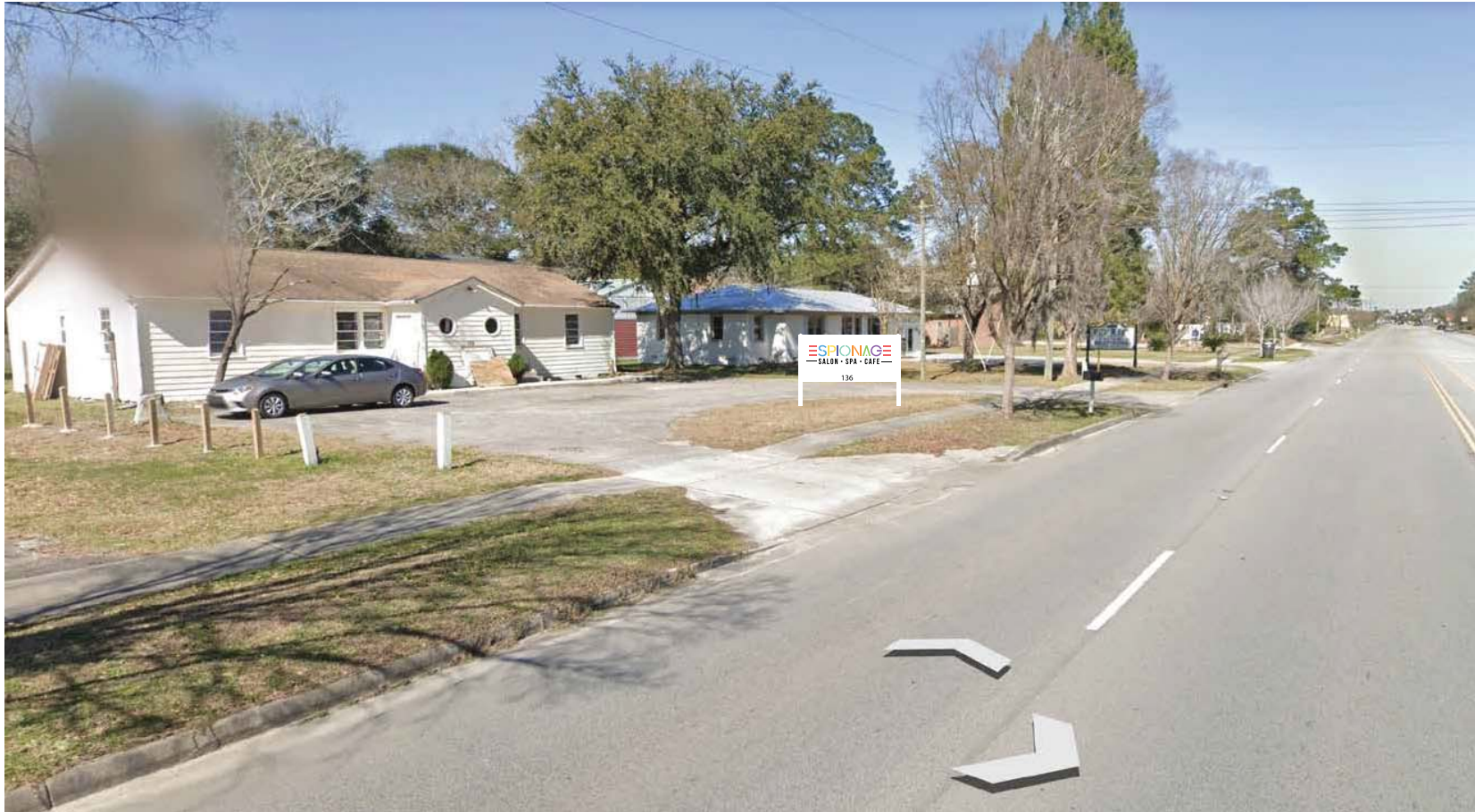
- Client
- Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

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Sheet Title  
Site

Page Number  
**6 of 6**



Client:  
Espionage Salon, Spa  
& Cafe

Location:  
136 Red Bank Rd.  
Goose Creek, SC  
29445

**CAROLINA**  
**SIGN Co 779.SIG**  
107 St. James Ave  
Ste A2  
Goose Creek, SC 29445  
843-779-7446  
carolinasingnco.com

Project  
Updates

- 1 n/a
- 2 n/a
- 3 n/a
- 4 n/a
- 5 n/a
- 6 n/a
- 7 n/a
- 8 n/a
- 9 n/a
- 10 n/a

Project Manager:  
Hugh Welch  
E-Mail:  
hugh@carolinasingnco.com

Approval Signatures

X Client

X Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

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Sheet Title  
Site

Page Number  
**3 of 6**





3mm ACM Panel  
Full Print w/ UV Laminate

Client:  
Espionage Salon, Spa & Cafe

Location:  
136 Red Bank Rd.  
Goose Creek, SC  
29445

**CAROLINA SIGN Co 779.SIGN**  
107 St. James Ave  
Ste A2  
Goose Creek, SC 29445  
843-779-7446  
carolinasingnco.com

Project Updates

1	
2	n/a
3	n/a
4	n/a
5	n/a
6	n/a
7	n/a
8	n/a
9	n/a
10	n/a

Project Manager:  
Hugh Welch  
E-Mail:  
hugh@carolinasingnco.com

Approval Signatures

X Client

X Landlord

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Sheet Title  
Site

Page Number  
**4 of 6**

CURRENT



PROPOSED






Client:  
Espionage Salon, Spa  
& Cafe

Location:  
136 Red Bank Rd.  
Goose Creek, SC  
29445

**CAROLINA**  
SIGN Co 779.SIGN

107 St. James Ave  
Ste A2  
Goose Creek, SC 29445  
843-779-7446  
carolinasingnco.com

Project  
Updates

-  n/a
-  n/a
-  n/a
-  n/a
-  n/a
-  n/a
-  n/a
-  n/a
-  n/a

Project Manager:  
Hugh Welch  
E-Mail:  
hugh@carolinasingnco.com

Approval Signatures

X  
Client

X  
Landlord

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Sheet Title  
Site

Page Number

5 of 6



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**NEW BUSINESS: MINOR APPLICATIONS**

2021-102 SIG

**PLANET FITNESS**

---

**PAID**

OFFICE USE ONLY	
PERMIT #:	044723
AMOUNT DUE: \$	75.00
DATE PAID:	10/25/2021

**CITY OF GOOSE CREEK SIGN PERMIT APPLICATION**

Today's Date: 10/12/2021

Permit Fee: \$75.00

1. **Business Owner** Jesus Rolon **Business Phone** 407-433-6754

**Name of Business** Planet Fitness **Alternate Phone** \_\_\_\_\_

**Street Address of Business** 214 Saint James Avenue, Suite 140-B Goose Creek, SC 29445

**Landlord/Lessor** E. Shane Gray of ROIL Shannon Park, LLC **Landlord's Phone** \_\_\_\_\_

**Sign Company** Brooks Signs **Sign Co. Phone** \_\_\_\_\_

**Sign Co. Contact** Jonathan Alcon **Sign Co. Address** \_\_\_\_\_

2. **Cost of Sign(s)** \$ \_\_\_\_\_ **Sign Installation Cost** \$ \_\_\_\_\_ **Total Cost** \$ \_\_\_\_\_

3. **How many signs are you applying for?** 3 **How many signs does this business already have?** 0

4. **What kind of signs does this business already have?** \_\_\_\_\_  None

5. **What type of business is applying for this sign permit:**  
A. A stand alone business?  Yes  No  
B. A part of a shopping center?  Yes  No If yes, shopping center name: Shannon Park

6. **What is the TMS number for this property?** 243 - 04 - 00 - 016

7. **What is the front setback of the business in feet?** 362' (The distance from the front property line to the front of business)  
A. For corner lots only, what is the front setback for second street frontage in feet? \_\_\_\_\_

8. **What is the width of the business in feet?** 155' 10.5" (The distance from wall to wall)  
A. For corner lots only, what is the width of the business for second street frontage in feet? N/A

9. **What is the property's road frontage in feet?** N/A (This only applies to shopping centers erecting a freestanding sign)

10. **Please attach photos showing:**  
A. The storefront in relation to adjacent businesses;  
B. The specific location of proposed sign(s) on the property or building; and  
C. The actual sign if it already exists.

11. **Please attach drawings of each proposed sign showing (drawn to scale):**  
A. The completed sign as it will actually appear on the building  
B. All dimensions;  
C. Where the colors will appear;  
D. The location on the property (on a plat) of proposed & existing freestanding signs  
E. The location on the building of proposed & existing building signs

12. **Please attach swatches, samples, and/or paint chips of all proposed colors to the application.**

13. **Please complete the Sign Information Table located on the following page.**

14. **You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.**  
• Please submit this application by the 1<sup>st</sup> Monday of the month for consideration that month by the ARB.  
• The ARB meets on the 3<sup>rd</sup> Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

OFFICE USE ONLY	
MAX. NO. OF ALLOWED SIGNS:	_____
MAX ALLOWED SIGN AREA:	_____

**NOTE:** Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

*Note: This application contains multiple pages*

**SIGN INFORMATION TABLE**

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	Aluminum cans & retainers; Acrylic faces with digitally-printed graphics; White LEDs	Acrylic panel; vinyl graphics	Acrylic panel; vinyl graphics
Illumination: Exterior, interior or not lighted	Interior	Non-illuminated	Non-illuminated
Type of Sign:	Facade; wall-mounted	M/T sign panel	M/T sign panel
Height (FEET)	79.875"	41"	41"
Width (feet)	44' 4"	83"	83"
Area (square feet)	295 SQ FT	23.6 SQ FT	23.6 SQ FT
All colors used on sign	White, black, magenta, yellow	White, magenta	White, magenta
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	72" w X 84" h	N	N
Projection from building or cabinet width (thickness)	5"	N/A	N/A
Number of styles of lettering	1	1	1
Height of letters (if channel letters)	Between 7.49" and 14.59"	N/A	N/A
If mounting individual letters, space between letters	1"	N/A	N/A
If mounting individual letters, space between words	18.75"	N/A	N/A
If window sign, size of window	N/A	N/A	N/A
If changeable copy sign (reader board), number of lines	N/A	N/A	N/A
If freestanding sign, distance between sign and street curb (ft)	N/A	N/A	N/A
If freestanding sign, total height above grade (ft)	N/A	N/A	N/A
If freestanding sign, landscaping materials to be planted at base of sign	N/A	N/A	N/A

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.

  
 \_\_\_\_\_  
 Signature of Applicant

10/12/2021  
 \_\_\_\_\_  
 Date

<b>OFFICE USE ONLY</b>		
Remarks: _____		
_____		
Approval: Zoning Administrator _____	Issued by: _____	Date: _____

### SITE PLAN



#### CUSTOMER APPROVAL

Customer Signature \_\_\_\_\_

Date \_\_\_\_\_

### SIGNAGE SPECIFICATIONS

- (A)** CRM  
Manufacture and Install (1) set of Channel Letters
- (B)** REPLACEMENT FACE - TENANT PANEL
- (C)** TEMPORARY BANNER

# COAST SIGN

1500 W. Embassy St. Anaheim, CA 92802 714.520.9144

Date:	6.24.2021	Project Name:	Planet Fitness
Scale:	NTS	Address:	214 St James St
Drawn:	AE	City / State / Zip:	Goose Creek, SC
PM:	AT	Notes:	

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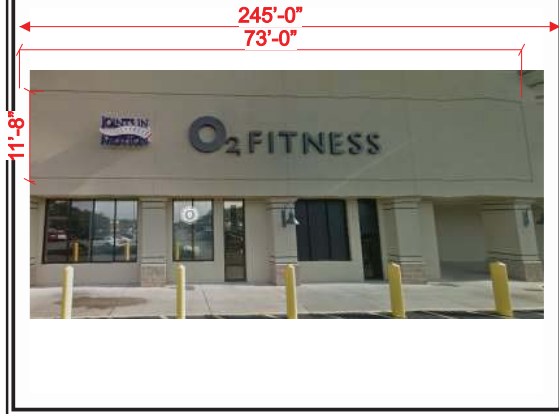
No.	Designer	Date	Revision Notes	No.	Designer	Date	Revision Notes
1	WA	8.23.21	Refer to PATHFINDER request.	7			
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4	HA	11.8.21	Refer to PATHFINDER request.	10			
5				11			
6				12			

**DESIGN DRAWING 1 of 8**

Request Number:

**PRJ-PFIT-163637-R4**

**EXISTING PHOTO- SIGN A**



**PHOTO ENHANCEMENT- SIGN A**

**OPTION 1**



**COAST SIGN**  
1500 W. Embassy St. Anaheim, CA 92802 714.520.9144

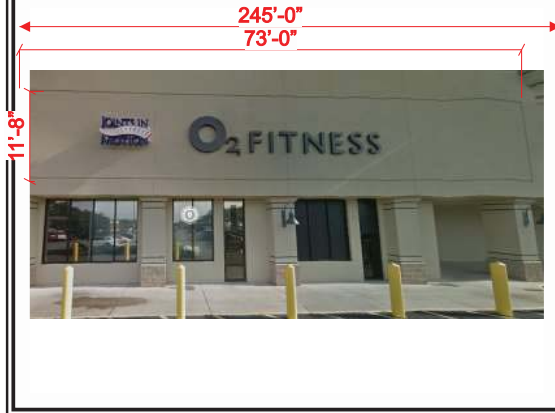
Date:	6.24.2021	Project Name:	Planet Fitness
Scale:	NTS	Address:	214 St. James St
Drawn:	AE	City / State / Zip:	Goose Creek, SC
PM:	AT	Notes:	

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6				12			

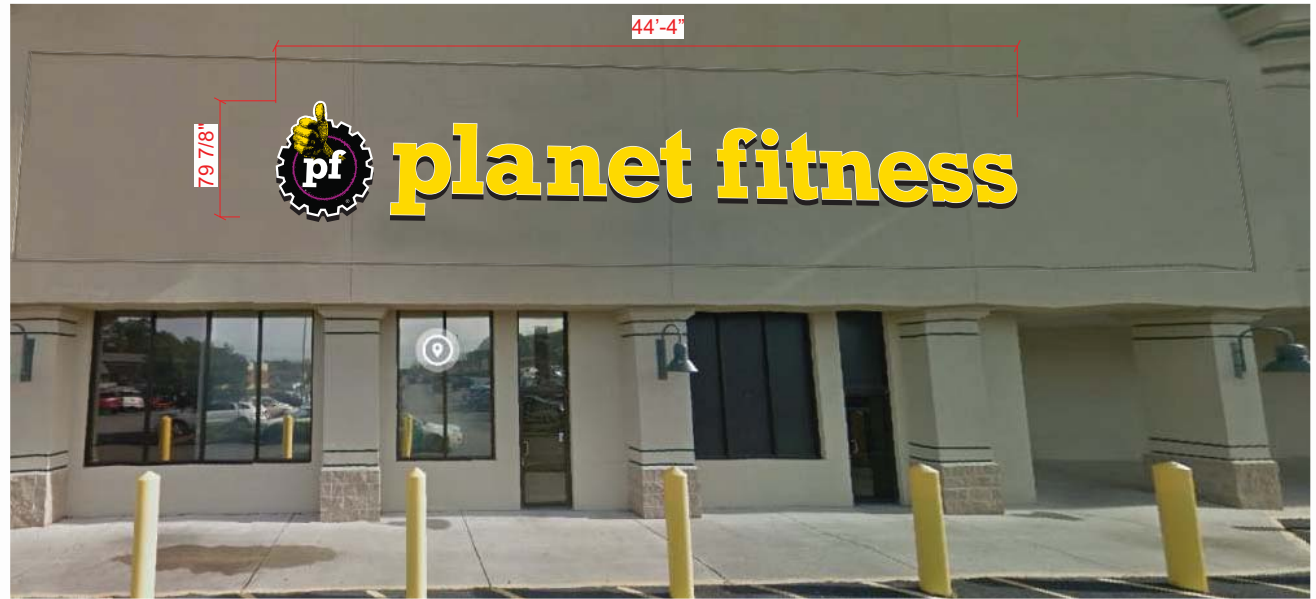
**DESIGN DRAWING 2 of 8**  
Request Number:  
**PRJ-PFIT-163637-R4**

**EXISTING PHOTO- SIGN A**



**PHOTO ENHANCEMENT- SIGN A**

**OPTION 2**



**COAST SIGN**  
1500 W. Embassy St. Anaheim, CA 92802 714.520.9144

Date:	6.24.2021	Project Name:	Planet Fitness
Scale:	NTS	Address:	214 St. James St
Drawn:	AE	City / State / Zip:	Goose Creek, SC
PM:	AT	Notes:	

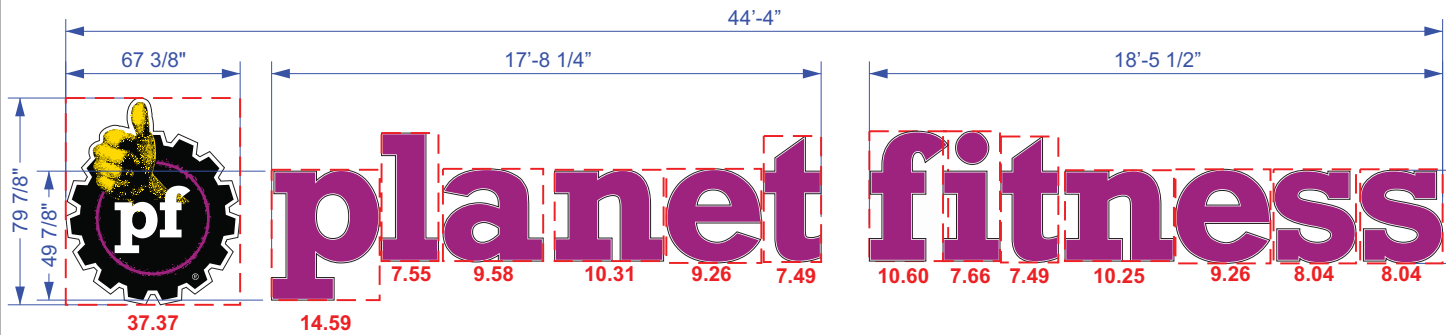
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4	HA	11.8.21	Refer to PATHFINDER request.	10			
5				11			
6				12			

**DESIGN DRAWING 3 of 8**  
Request Number:  
**PRJ-PFIT-163637-R4**



**OPTION 1**



**TOTAL: 157.49 SQ.FT.**

**FRONT VIEW @ ILLUMINATED CHANNEL LETTERS**



Scale: 1/4"=1'-0"



**Acrylic AC-01**  
 Manufacturer: Optix LD White Acrylic  
 Model Name: 7328  
 Color: White  
 Finish: n/a  
 Notes: 3/16" minimum thickness

**Vinyl VN-01**  
 Manufacturer: Oracal (8800 Series)  
 Model Name: Mulberry 422  
 Color: Purple/Translucent  
 Finish: Premium Cast Outdoor  
 Notes: Do not use printed ink as substitute.



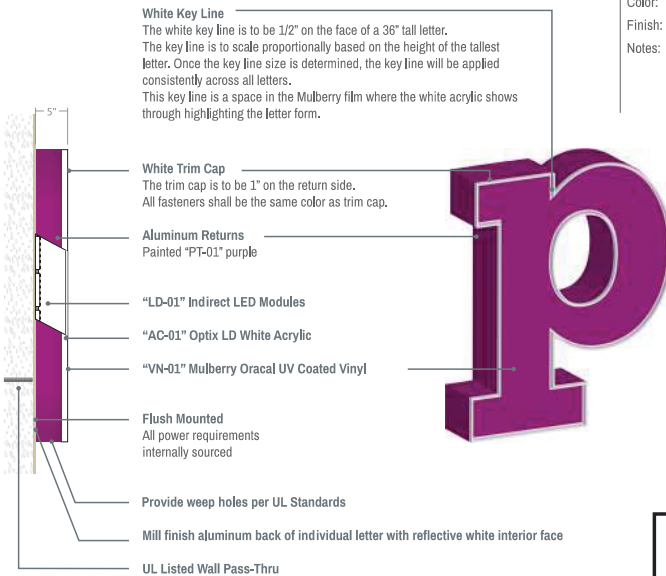
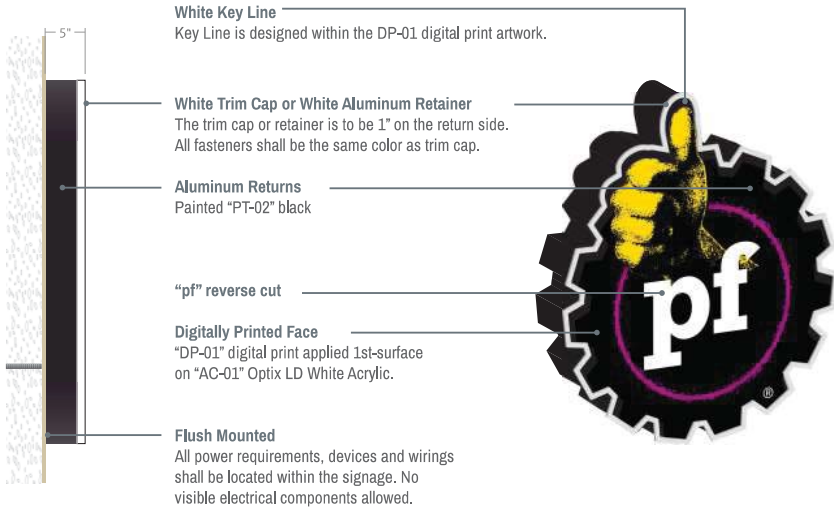
**Paint PT-01**  
 Manufacturer: Akzo Nobel  
 Model Name: Grip-Gard #490-D6  
 Color: Purple  
 Finish: Satin Sheen  
 Notes: Exterior grade translucent paint. Paint color to match VN-01, Mulberry vinyl.

**Paint PT-02**  
 Manufacturer: Akzo Nobel  
 Model Name: Grip-Gard #509-H4  
 Color: Black  
 Finish: Satin Sheen  
 Notes: Exterior grade translucent paint. Paint color to match black on digital vinyl, DP-01.



**LED LD-01**  
 Manufacturer: Sloan  
 Model Name: LED Prism 12VDC  
 Color: Neutral White (4000K)  
 Finish: n/a  
 Notes: Ensure even illumination across all faces. 120 lm/module, 1.5 modules/ft, 107 lm/W efficacy.

OR APPROVED EQUAL



**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

**COAST SIGN**

1500 W. Embassy St. Anaheim, CA 92802 714.520.9144

Date:	6.24.2021	Project Name:	Planet Fitness
Scale:	NTS	Address:	214 St. James St
Drawn:	AE	City / State / Zip:	Goose Creek, SC
PM:	AT	Notes:	

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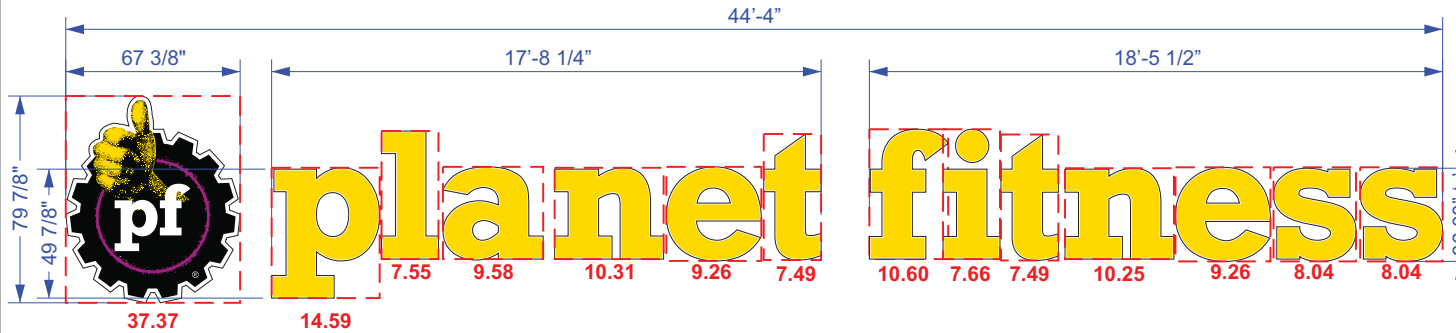
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5				11		
6				12		

No.	Designer	Date	Revision Notes

**DESIGN DRAWING 4 of 8**

Request Number:  
**PRJ-PFIT-163637-R4**

**OPTION 2**



**TOTAL: 157.49 SQ.FT.**

**FRONT VIEW @ ILLUMINATED CHANNEL LETTERS**



Scale: 1/4"=1'-0"



Acrylic AC-01  
 Manufacturer: Optix LD White Acrylic  
 Model Name: 7328  
 Color: White  
 Finish: n/a  
 Notes: 3/16" minimum thickness



Paint PT-01  
 Manufacturer: Akzo Nobel  
 Model Name: Grip-Gard #490-D6  
 Color: Purple  
 Finish: Satin Sheen  
 Notes: Exterior grade translucent paint. Paint color to match VN-01, Mulberry vinyl.

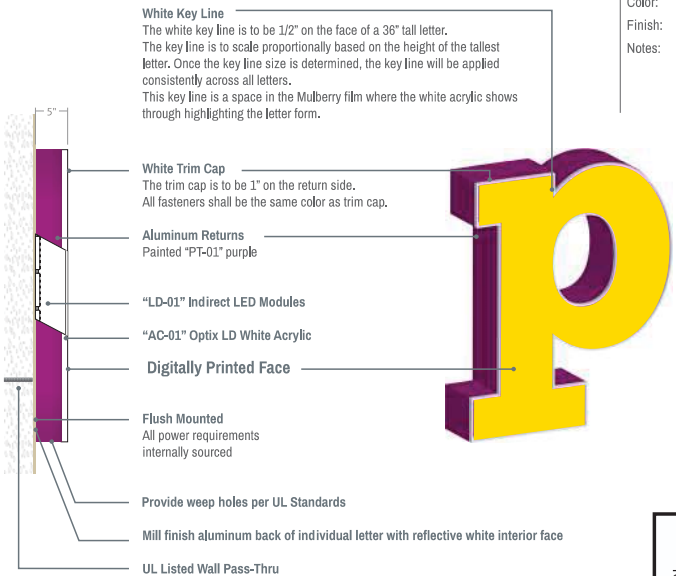
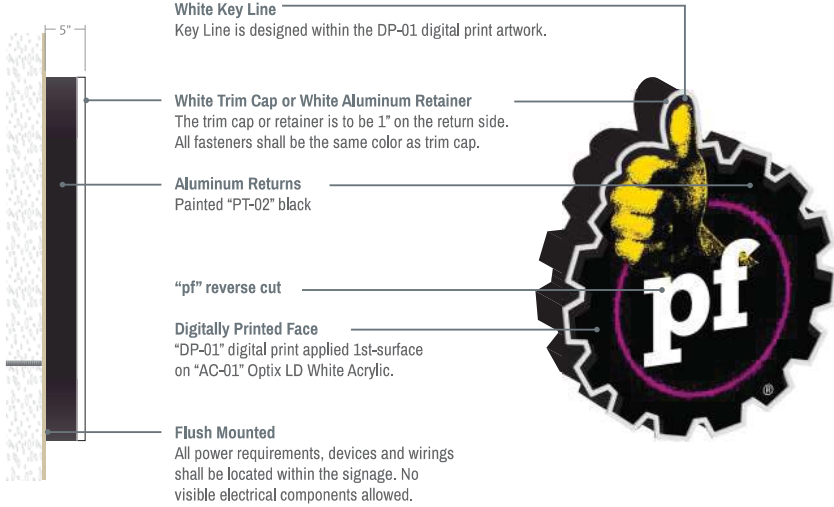


Paint PT-02  
 Manufacturer: Akzo Nobel  
 Model Name: Grip-Gard #509-H4  
 Color: Black  
 Finish: Satin Sheen  
 Notes: Exterior grade translucent paint. Paint color to match black on digital vinyl, DP-01.



LED LD-01  
 Manufacturer: Sloan  
 Model Name: LED Prism 12VDC  
 Color: Neutral White (4000K)  
 Finish: n/a  
 Notes: Ensure even illumination across all faces. 120 lm/module, 1.5 modules/ft, 107 lm/W efficacy.

OR APPROVED EQUAL



**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

**COAST SIGN**

1500 W. Embassy St. Anaheim, CA 92802 714.520.9144

Date:	6.24.2021	Project Name:	Planet Fitness
Scale:	NTS	Address:	214 St. James St
Drawn:	AE	City / State / Zip:	Goose Creek, SC
PM:	AT	Notes:	

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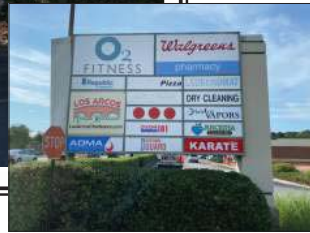
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5				11			
6				12			

**DESIGN DRAWING 5 of 8**

Request Number:  
**PRJ-PFIT-163637-R4**

**OPTION 1**

**EXISTING PHOTO - SIGN B**



**B D/F REPLACEMENT FACE**  
Scale: 3/4" = 1'-0"

Qty. of (2) required

**GENERAL SPECIFICATIONS:**

(2) TENANT PANELS.



Acrylic AC-01  
Manufacturer: Optix LD White Acrylic  
Model Name: 7328  
Color: White  
Finish: n/a  
Notes: 3/16" minimum thickness

Vinyl VN-01  
Manufacturer: Oracal (8800 Series)  
Model Name: Mulberry 422  
Color: Purple/Translucent  
Finish: Premium Cast Outdoor  
Notes: Do not use printed ink as substitute.

**EXACT MANUFACTURING SPECIFICATIONS TO BE DETERMINED BY ENGINEERING DEPT.**

**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

**COAST SIGN**

1500 W. Embassy St. Anaheim, CA 92802 714.520.9144

Date:	6.24.2021	Project Name:	Planet Fitness
Scale:	NTS	Address:	214 St. James St
Drawn:	AE	City / State / Zip:	Goose Creek, SC
PM:	AT	Notes:	

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4	HA	11.8.21	Refer to PATHFINDER request.
5			
6			

No.	Designer	Date	Revision Notes
7			
8			
9			
10			
11			
12			

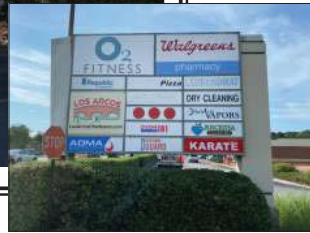
**DESIGN DRAWING 6 of 8**

Request Number:

**PRJ-PFIT-163637-R4**

**OPTION 2**

**EXISTING PHOTO - SIGN B**



**PHOTO ENHANCEMENT - SIGN B**



**B D/F REPLACEMENT FACE**  
Scale: 3/4" = 1'-0"

Qty. of (2) required

**GENERAL SPECIFICATIONS:**

(2) TENANT PANELS.



Acrylic AC-01  
Manufacturer: Optix LD White Acrylic  
Model Name: 7328  
Color: White  
Finish: n/a  
Notes: 3/16" minimum thickness

Vinyl VN-01  
Manufacturer: Oracal (8800 Series)  
Model Name: Mulberry 422  
Color: Purple/Translucent  
Finish: Premium Cast Outdoor  
Notes: Do not use printed ink as substitute.

**EXACT MANUFACTURING SPECIFICATIONS TO BE DETERMINED BY ENGINEERING DEPT.**

**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

**COAST SIGN**

1500 W. Embassy St. Anaheim, CA 92802 714.520.9144

Date:	6.24.2021	Project Name:	Planet Fitness
Scale:	NTS	Address:	214 St. James St
Drawn:	AE	City / State / Zip:	Goose Creek, SC
PM:	AT	Notes:	

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3	HA	11.3.21	Refer to PATHFINDER request.
4	HA	11.8.21	Refer to PATHFINDER request.
5			
6			

No.	Designer	Date	Revision Notes
7			
8			
9			
10			
11			
12			

**DESIGN DRAWING 7 of 8**

Request Number:

**PRJ-PFIT-163637-R4**



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**NEW BUSINESS: MAJOR APPLICATIONS**

2021-079 NBLD

**STEINBERG LAW FIRM**

---



**ARB SCOPE OF WORK FORM/**

**APPLICATION / INFORMATION SUMMARY**

**DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118**

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

<b>Property Address:</b> S Goose Creek Blvd		<b>TMS No.:</b> 243-16-01-026
<b>Review request:</b> <input type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final	<b>For:</b> <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions <input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other	<b>Preliminary meeting date requested:</b> 11/15/2021 <input type="checkbox"/> Appeal Decision of Architectural Review Board

<b>Property Owner:</b> Mims Amusement Operating Co	<b>Daytime phone:</b> [REDACTED]
<b>Applicant:</b> Losse Knight	<b>Daytime phone:</b> [REDACTED]
<b>ARB Meeting Representative:</b> Losse Knight	<b>Contact Information:</b> [REDACTED]
<b>Applicant's mailing address:</b> [REDACTED]	
<b>City:</b> [REDACTED]	<b>State:</b> [REDACTED] <b>Zip:</b> [REDACTED]
<b>Applicant's e-mail address:</b> [REDACTED]	
<b>Applicant's relationship:</b> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

**Materials/Colors Used:** (specific color(s)/manufacture #'s listed: samples must be presented to Board  attached)  
(Example: Building Materials, Exterior Colors, Landscaping, Lighting)

SEE EXTERIOR MATERIALS PALETTE AND ATTACHED CUTSHEETS

**Scope of Work:** (please give a detailed description)

NEW CONSTRUCTION OF A SINGLE-TENANT (2) STORY (11,895 SF) LAW OFFICE. EXISTING SITE IS UNDEVELOPED. PROPOSED BUILDING TYPE VB UNSPRINKLERED STICK BUILT WITH PRE-ENGINEERED WOOD TRUSS ROOF. 43 PARKING SPACES PROVIDED, 2 ADA SPACES. MINIMAL PROTECTED TREES ON SITE. SEPTIC FIELD, DETENTION POND, DUMPSTER ENCLOSURE PROVIDED ON SITE. PORTION OF SITE MAY GO TO POTENTIAL FUTURE ONE STORY BUILDING.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature: Jose F. Knight III Date: 11/01/2021

Print name legibly: Losse Knight

ORIGINAL LAYOUT SIZE: 24x36



### NEW CONSTRUCTION SINGLE-TENANT OFFICE BUILDING FOR

# STEINBERG LAW FIRM

GOOSE CREEK, SC  
TMS#: 243-16-01-026

11,895 SF BUILDING

**FINAL ARB SUBMITTAL**  
NOVEMBER 15, 2021

PREVIOUS PLANNING DEPT. COORDINATION MEETING- MARK BRODEUR- SEPTEMBER 23, 2021



DATE	
DRAWN	
CHECKED	

#### OWNER:

STEINBERG LAW FIRM  
118 GOOSE CREEK BLVD  
GOOSE CREEK, SC  
843-572-0700

#### PROJECT TEAM:

##### ARCHITECTURE: (PRIMARY CONTACT)

LFK ARCHITECTS, LLC  
802 COLEMAN BLVD  
SUITE 100  
MOUNT PLEASANT, SC 29464

LOSSE F. KNIGHT III, AIA  
losse@lfkarchitect.com  
843.330.8940

##### CIVIL/LANDSCAPE:

EARTHSOURCE ENGINEERING  
962 HOUSTOUN NORTHCUTT BLVD #200  
MOUNT PLEASANT, SC 29464

KEVIN BERRY  
berrya@earthsourceseng.com  
843-681-0525

#### PROJECT DATA:

PROJECT NAME: STEINBERG LAW FIRM  
ADDRESS: GOOSE CREEK BLVD  
COUNTY: GOOSE CREEK, SC  
CITY: BERKLEY  
TMS: 243-16-01-026  
BUFFERS: (SEE SITE PLAN)  
SETBACKS: (SEE SITE PLAN)  
FLOOD ZONE: X  
PROJECT: NEW CONSTRUCTION  
SINGLE-TENANT OFFICE BUILDING

#### PREVIOUS APPROVALS:

CONCEPTUAL STAFF REVIEW



VIEW FROM GOOSE CREEK BLVD (HIGHWAY 52)

#### DRAWING INDEX:

G001 COVER SHEET, NOTES, INDEX

#### CIVIL

- COVER
- C-001 GENERAL NOTES
- C-100 EXISTING CONDITIONS
- C-200 SITE LAYOUT PLAN
- C-300 GRADING, PAVING & INTERMEDIATE SWPPP
- C-500 PLANT SCHEDULE & LANDSCAPE PLAN

#### ARCHITECTURAL

##### CONTEXT AERIAL

##### STREETSCAPES

- A101 PROPOSED FIRST FLOOR PLAN
- A102 PROPOSED SECOND FLOOR PLAN
- A103 PROPOSED ROOF PLAN & NOTES

##### 3D RENDERS

##### EXTERIOR MATERIALS PALETTE

- A200 EAST AND WEST ELEVATIONS
- A201 NORTH & SOUTH ELEVATION
- A300 PROPOSED LONGITUDINAL BUILDING SECTIONS
- A301 PROPOSED LONGITUDINAL ATRIUM SECTION
- A500 DUMPSTER ENCLOSURE & MECH SCREEN DETAILS

#### ATTACHMENTS

- STONE CUTSHEETS
- CANOPY CUTSHEETS
- LIGHTING CUT SHEETS

STEINBERG LAW FIRM - GOOSE CREEK  
HWY 52  
GOOSE CREEK, SC  
COVER SHEET AND DRAWING INDEX

SHEET NUMBER & TITLE

**G001**

FINAL ARB  
11/15/2021

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**SITE DATA**

**SITE DATA**  
TMS 265-01-025, 026, 027  
LOT SIZE: 1.71 ACRES  
LIMITS OF DISTURBANCE: 1.55 ACRES  
FLOOD ZONE: UNDETERMINED FLOOD HAZARD (ZONE D)  
FORM PANEL# 460150066E  
DATE: 10/07/18  
ZONING CODE:  
BUFFER:  
FRONTWEST: 15'(BUFFER 1)  
SIDE: N/A  
REAR(EAST): 15'(BUFFER 1)  
SETBACKS:  
FRONTWEST: 20'  
SIDE: 10'  
REAR(SOUTH): 20'  
BUILDING AREA:  
OFFICE: 7,750 SQ.FT.  
MAX BUILDING HEIGHT: 50 (4-STORY)  
PROPOSED BUILDING HEIGHT: 34'-4"  
PARKING REQUIRED:  
USE 1 SPACE PER 300 SF: 26 SPACES  
TOTAL REQUIRED: 26 SPACES  
PARKING PROVIDED:  
REGULAR: 41 SPACES  
HANDICAP: 52 SPACES  
TOTAL: 43 SPACES  
TMS PER MAIL FORM 25 XXXX  
ELEVATION=XXXX DATUM=NAVD 88

**GENERAL CLEARING NOTES**

- 1. THE CONTRACTOR SHALL VERIFY ALL TREES TO BE PROTECTED AND IS TO PROTECT THESE TREES AS SPECIFIED IN THE TREE PROTECTION DETAIL.
- 2. THE CONTRACTOR SHALL MEET WITH THE PROJECT'S LANDSCAPE DESIGNER PRIOR TO CONSTRUCTION TO COORDINATE EXISTING VEGETATION TO REMAIN.
- 3. ANYTHING REMOVED FROM THE SITE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR ACCORDING TO THE MUNICIPALITIES REQUIREMENTS.
- 4. REMOVAL OF VEGETATION OUTSIDE OF WHAT IS DEPICTED ON THESE PLANS IS PROHIBITED UNLESS DISCUSSED WITH BOTH THE ENGINEER AND THE MUNICIPALITY.
- 5. SITE WORK IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. ANY WILLFUL OR ACCIDENTAL DESTRUCTION OF PROTECTED VEGETATION WILL REQUIRE MITIGATION APPROVED BY THE ENGINEER, OWNER, AND THE MUNICIPALITY.
- 6. THE APPROVAL OF ALL TREE BARRICADES WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT AREA.
- 8. CONTRACTOR TO ENSURE THE PROTECTION OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO WATER MAIN(S), SERVICE LATERAL(S), VALVE BOX(S), FIRE HYDRANT(S), SEWER MAIN(S), SEWER STRUCTURE(S), ETC. THROUGHOUT ALL PHASES OF CONSTRUCTION. IF ANY EXISTING UTILITY ITEM IS DAMAGED OR DESTROYED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO REPLACE SAID ITEM(S) WITH THE SAME OR SIMILARLY APPROVED EQUIVALENT.

**GENERAL SITE NOTES**

- 1. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DETERMINE IF THERE ARE ANY DISCREPANCIES FROM THE PLANS PRIOR TO CONSTRUCTION. IF ANY PROBLEMS ARE FOUND, CONTRACTOR IS TO CONTACT EARTHSOURCE ENGINEERING.
- 2. CONTRACTOR TO VERIFY ALL EXISTING DRAWINGS ARE TYPICALLY TO EDGE OF ASPHALT FACE OF CURB.
- 3. CONTRACTOR TO USE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS OF BUILDING.
- 4. ALL PARKING LOT STRIPING SHALL BE SHOWN WILLIAMS "WID-MAP" TRAFFIC MARKING PAINT.
- 5. CONTRACTOR TO FOLLOW AND UTILIZE ALL SCOOT SAFETY AND TRAFFIC CONTROL GUIDELINES SET FORTH BY MUTED FOR ALL WORK PERFORMED IN THE RIGHT-OF-WAY. CONTRACTOR TO COORDINATE AND CALL FOR INSPECTIONS AS SPECIFIED IN THE PERMIT.
- 6. CONTRACTOR IS TO CUT A CLEAN EDGE ALONG EXISTING PAVEMENT PRIOR TO THING IN NEW DRIVE. NEW ASPHALT BASE MATERIAL AND PAVEMENT CONSTRUCTION METHODS SHALL MEET MINIMUM REQUIREMENTS OF THE SCOOT.
- 7. ALL TRAFFIC SIGNAGE AND STREET MARKINGS IN THE RIGHT-OF-WAY SHALL USE REFLECTIVE SHEETING THAT MEETS THE REQUIREMENTS OF ASTM D4469-06. CERTAIN SHEETING FROM MANUFACTURERS PREQUALIFIED IN ACCORDANCE WITH SCOOT QUALIFIED PRODUCT POLICY 50 AND WHO APPEAR IN THE CURRENT EDITION OF SCOOT QUALIFIED PRODUCTS LIST 27.
- 8. A MINIMUM OF THREE (3) REFLECTIVE SHEETINGS (BEADED OR MICROSPHERIC) ARE TO BE USED ON ALL HIGHWAY SIGNS.

**GENERAL PAVING & GRADING NOTES**

- 1. CONTRACTOR TO VERIFY ALL ELEVATIONS, GRADES, AND DRAINAGE STRUCTURES PRIOR TO CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE ENGINEER.
- 2. CONTRACTOR SHALL FOLLOW THE CONSTRUCTION SEQUENCE ON THE DETAIL SHEET C-001 TO PREVENT STORMWATER AND SEDIMENT FROM LEAVING THE SITE.
- 3. WATER ENCOUNTERED WHILE TRENCHING FOR UTILITIES MUST BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE DISCHARGING OFF SITE. PUMP INTAKES SHOULD HAVE A FLOAT OR SIT ON A BED OF ROCK TO PREVENT SINKING AND THE DISCHARGE SHOULD BE THROUGH AN ENERGY DISSIPATER AND/OR SEDIMENT TRAP.
- 4. CONTRACTOR SHALL ENSURE THAT ALL EXISTING DRAINAGE STRUCTURES WITHIN THE ADJACENT RIGHT-OF-WAYS AND NEIGHBORHOODS REMAIN TO FUNCTION DURING ALL PHASES OF CONSTRUCTION.
- 5. GRADING AROUND ANY PROTECTED TREE SHALL BE KEPT TO A MINIMUM (SEE C-100 TREE PROTECTION).
- 6. ON ALL PORTIONS OF BUILDINGS WITHOUT DOWN SPOUTS, CONTRACTOR IS TO INSTALL A GRAVEL BASE AROUND THE AREA UNDERNEATH THE DRAIN LINE ON THE ENDS OF THE BUILDINGS TO PREVENT EROSION (SEE GRADING NOTES SHEET C-300).
- 7. CONTRACTOR SHALL ENSURE POSTS FOR DRAINAGE AWAY FROM ALL BUILDINGS.
- 8. ALL EXISTING DRAINAGE STRUCTURES ARE TO BE CLEANED AND MAINTAINED AND SHALL REMAIN OPERATIONAL THROUGHOUT ALL PHASES OF CONSTRUCTION.
- 9. POST-CONSTRUCTION MAINTENANCE OF THE ON-SITE STORMWATER SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- 10. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS ARE TO BE STABILIZED. DAMAGED OR INEFFECTIVE EROSION CONTROL DEVICES SHALL BE REPAIRED OR REPLACED AS NECESSARY.

**SWPPP CONTROL NOTES**

**EROSION CONTROL NOTES**  
1. IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE STABILIZATION STRUCTURES. TEMPORARY BERMES MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.  
2. STABILIZATION MEASURES SHALL BE AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.  
• WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.  
• WHERE STABILIZATION IS NOT PRACTICABLE AT PORTION OF THE SITE, TEMPORARILY CEASED, AND EARTH-STABILIZATION ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.  
3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITS MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF NOTIFICATION.  
4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION, FULL COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.  
5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.  
6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.  
7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SOR10000.  
8. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.  
9. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANNOT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.  
10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.  
11. A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.  
12. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.  
13. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.  
14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.  
15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM Dewatering of TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).  
16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:  
• WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.  
• WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS, FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE, AND SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.  
17. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.  
18. IF EXISTING BMPS NEEDED TO BE REOBTAINED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT HOWEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.  
19. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

**SEQUENCE OF CONSTRUCTION**

- 1. RECEIVE NIPES COVERAGE FROM DHEC.
- 2. PRE-CONSTRUCTION MEETING ON SITE.
- 3. NOTIFY DHEC EDC REGIONAL OFFICE OR DORM OFFICE 48 HOURS PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES.
- 4. INSTALL CONSTRUCTION ENTRANCE (SEE MUD PAD).
- 5. CLEARING & GRUBBING ONLY AS NECESSARY FOR INSTALLATION OF PERMETER CONTROLS.
- 6. INSTALLATION OF PERMETER CONTROLS (E.G., SILT FENCE), ENSURE VEGETATIVE BUFFER IS STABILIZED.
- 7. CLEARING & GRUBBING ONLY IN AREAS OF POND EXTENSION.
- 8. INSTALLATION OF BASIN EXTENSION AND INSTALLATION OF DIVERSIONS TO THOSE STRUCTURES (ENSURE OUTLET STRUCTURES ARE COMPLETELY INSTALLED AS SHOWN ON THE DETAILS BEFORE PROCEEDING TO THE NEXT STEP). AREAS DRAINING TO THESE STRUCTURES CANNOT BE DISTURBED UNTIL THESE STRUCTURES AND DIVERSION TO THE STRUCTURES ARE COMPLETELY INSTALLED.
- 11. CLEARING & GRUBBING OF SITE OR DEMOLITION (SEDIMENT & EROSION CONTROL MEASURES FOR THESE AREAS MUST ALREADY BE INSTALLED).
- 12. ROUGH GRADING.
- 13. INSTALLATION OF STORM DRAIN SYSTEM AND PLACEMENT OF INLET PROTECTION AT EACH INLET IS INSTALLED.
- 14. FINE GRADING, PAVING, ETC.
- 15. PERMANENT/FINAL STABILIZATION.
- 16. CLEAN-OUT OF DETENTION BASINS THAT WERE USED AS SEDIMENT CONTROL STRUCTURES AND REGRADING OF DETENTION FOND BOTTOMS; IF NECESSARY, MODIFICATION OF SEDIMENT BASIN RISER TO CONVERT TO DETENTION BASIN OUTLET STRUCTURE.
- 17. REMOVAL OF TEMPORARY SEDIMENT & CONTROL MEASURES AFTER ENTIRE AREA DRAINING TO THE STRUCTURE IS FINALLY STABILIZED (THE DEPARTMENT RECOMMENDS THAT THE PROJECT OWNER/OPERATOR HAVE THE SWPPP PREPARED OR REGISTRATION EQUIVALENT APPROVE THE REMOVAL OF TEMPORARY STRUCTURES).
- 18. PERFORM AS-BUILT SURVEYS OF ALL DETENTION STRUCTURES AND SUBMIT TO DHEC OR MSA FOR ACCEPTANCE.
- 19. SUBMIT NOTICE OF TERMINATION (NOT) TO DHEC AS APPROPRIATE.

**LOCAL COUNTY SWPPP NOTES**

**GENERAL UTILITY NOTES**  
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING ALL UNDERGROUND UTILITIES LOCATED WITHIN THE PROJECTED AREA OF WORK ON SITE AND OFF. WHERE SUCH UTILITIES ARE FOUND, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION OF FOUND UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.  
2. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON A COMBINATION OF THE SURVEYOR'S FIELD LOCATION AND RESEARCH OF RECORDS FROM VARIOUS UTILITY COMPANIES. THESE LOCATIONS ARE BY NO MEANS EXACT OR COMPLETE.  
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE UNDERGROUND UTILITIES THAT MAY EXIST.  
4. THE CONTRACTOR IS TO NOTIFY THE OWNER/UTILITY COMPANY BEFORE ANY UTILITIES ARE CONNECTED OR DISCONNECTED.  
5. REFER TO THE PLUMBING/MECHANICAL PLANS FOR LOCATION AND SIZE OF THE SANITARY SEWER SERVICE AND WATER SERVICE TO/FROM THE BUILDING. SERVICE CONNECTIONS ARE TYPICALLY 3"-5" FROM THE FACE OF THE BUILDING.  
6. CONTRACTOR TO INSTALL DETECTOR CHECK VALVE ON THE FIRE LINE BACKFLOW DEVICE.  
**GENERAL SEWER NOTES:**  
1. SEWER SERVICES SHALL BE LAID ON A MINIMUM SLOPE OF 1.0%.  
2. EACH SECTION OF SEWER PIPE SHALL BE LAID TO THE SPECIFIED LINE AND GRADE, WORKING IN THE UPSTREAM DIRECTION WITH THE BELL END UPGRADE.  
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE PROPER LOCATION OF SEWER LINES, MANHOLES AND SERVICE STUB-OUTS.  
4. FOR GRANTY SEWER LINES, TRENCH BOTTOMS SHALL BE PREPARED AS FOLLOWS:  
• PIPE BEDDING AND BACK FILL SHALL BE CLASS "B" BEDDING, IF SPECIFIED CLASS "C" BEDDING SHALL BE USED AS NOTED ON THE PLANS.  
• FOR CLASS "C" BEDDING, THE PIPE SHALL BE BEDDED IN GRANULAR MATERIAL, PLACED ON A FLAT TRENCH BOTTOM OR ON A SUITABLE UNDISTURBED NATIVE MATERIAL WHICH HAS BEEN HAND SHAPED TO FIT THE PIPE BARREL.  
• FOR CLASS "B" BEDDING, THE BEDDING MATERIAL SHALL HAVE A 6" MINIMUM THICKNESS UNDER THE PIPE BARREL, AS SPECIFIED ABOVE FOR CLASS "C", AND SHALL EXTEND NOT LESS THAN HALFWAY UP THE PIPE OF THE BARREL AT BOTH ENDS.  
5. PIPE SHALL BE LAID IN A FULL BED OF GRANITE STONE (ASTM C33, GRADATION 57)

**UTILITY NOTES**

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**GENERAL NOTES**

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**EARTHSOURCE ENGINEERING**  
REGISTERED PROFESSIONAL ENGINEER  
NO. 39179  
STATE OF SOUTH CAROLINA  
211 SOUTH GOOSE CREEK BLVD  
GOOSE CREEK, SC 29445

**STIENBERG ENGINEERING**  
REGISTERED PROFESSIONAL ENGINEER  
NO. 26142  
STATE OF SOUTH CAROLINA  
211 SOUTH GOOSE CREEK BLVD  
GOOSE CREEK, SC 29445

**STIENBERG ENGINEERING**  
REGISTERED PROFESSIONAL ENGINEER  
NO. 26142  
STATE OF SOUTH CAROLINA  
211 SOUTH GOOSE CREEK BLVD  
GOOSE CREEK, SC 29445

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GOOSE CREEK, SC 29445

NO.	DATE	DESCRIPTION

DRAWN: JRU  
CHECKED: BRL  
DATE: 11.01.21  
21-139  
FINAL SET  
SHEET NUMBER  
C-001



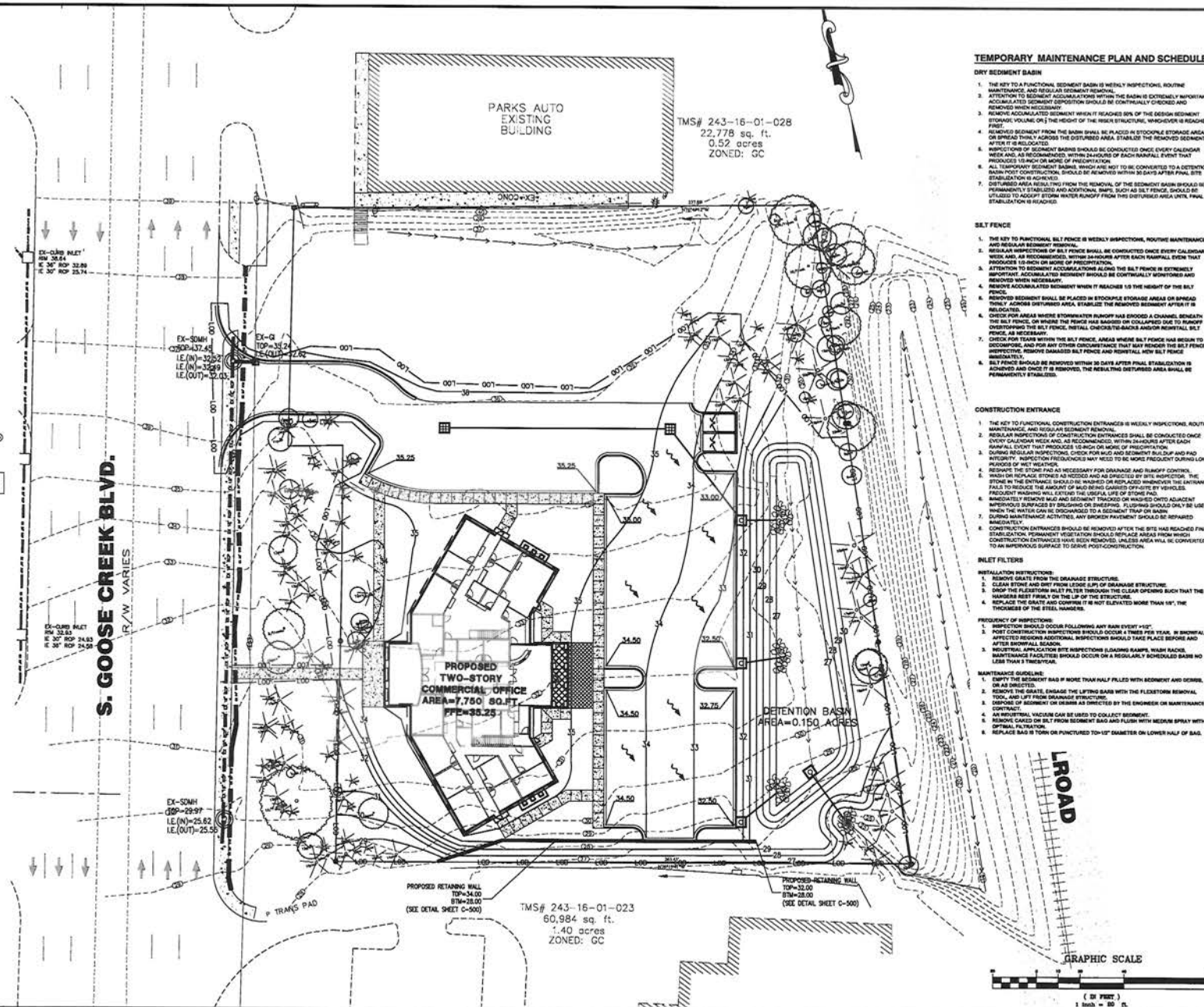


- LEGEND:**
- PROPERTY LINE
  - ADJACENT PROPERTY
  - EDGE OF PAVEMENT
  - BUFFER LINE
  - IRON PIPE ISLAND
  - IRON PIPE SET
  - DISTING WATER MAIN
  - DISTING SWEET MAIN
  - DISTING 12" RCP DRAINAGE
  - DISTING SWEET MANHOLE
  - DISTING WATER VAULT
  - DISTING WATER METER
  - DISTING COMMUNICATIONS VAULT
  - DISTING ELECTRIC VAULT
  - DISTING TRAFFIC SIGNAL VAULT
  - DISTING GAS PANEL
  - DISTING GAS VALVE
  - DISTING TEL CABINET
  - DISTING STORM VAULT
  - DISTING STORM INLET
  - DISTING LIFF POLE
  - DISTING CANTOIR
  - DISTING SPOT ELEVATION
  - PROPOSED CONTOUR
  - 5.00 PROPOSED SPOT ELEVATION TOP OF PAVEMENT (TYP)
  - 4.50 PROPOSED SPOT ELEVATION TOP OF SIDEWALK (TYP)
  - Match
  - 5.45(TS) PROPOSED SPOT ELEVATION TOP OF SIDEWALK (TYP)
  - (LP)/(HP) LOW POINT/HIGH POINT IN PAVEMENT SECTN. (TYP)
  - PROPOSED DRAINAGE FLOW

- SWPPP LEGEND:**
- LOO LIMITS OF CONSTRUCTION/SILT FENCE
  - CONCRETE WASHOUT
  - TYPE 'A' INLET PROTECTION
  - CONSTRUCTION ENTRANCE/EXIT
  - SILT FENCE
  - TYPE 'F' INLET PROTECTION

LIMITS OF DISTURBANCE = 1.35 ACRES

- GRADING NOTES:**
- CONTRACTOR TO VERIFY ALL ADA ACCESS POINTS TO BUILDING WITH ARCHITECT PRIOR TO FINE GRADING & INSTALLATION OF CONCRETE FORMS TO DRAINAGE ALL ACCESSIBLE ROUTES MEET CODE REQUIREMENTS FOR BOTH HORIZONTAL & VERTICAL. ALL CROSS SLOPES IN THE ADA ROUTES MAY NOT EXCEED 1:50. IF ANY SLOPE EXCEEDS 1% SLOPE PLEASE CONTACT CIVIL ENGINEER TO DETERMINE PRIOR TO INSTALLATION OF LANDSCAPE.
  - CONTRACTOR TO VERIFY REQUIRED DROP AROUND SIDEWALK ENTRANCE TO FOUNDATION. SIDEWALKS MAY VARY BETWEEN 4" & 6" WHERE SIDEWALK WALK DOES NOT MEET SIDE WALK. CONTRACTOR TO VERIFY REQUIRED DROP AT THE FOUNDATION CONTRACTOR TO SLOPE FRESH GRADE AWAY FROM BUILDING BY 1" PER FOOT. IF FOR BUILDING CODE SEE THE CONTRACTOR TO COORDINATE WITH CIVIL ENGINEER IF PLANS DO NOT CLEARLY DEFINE OR PROVIDE THIS SLOPE.



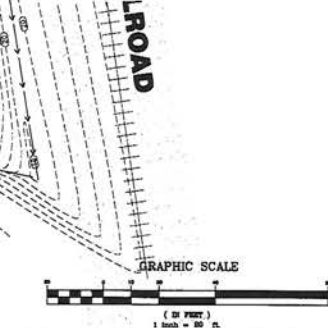
**TEMPORARY MAINTENANCE PLAN AND SCHEDULE:**

- DRY SEDIMENT BASIN**
- THE KEY TO A FUNCTIONAL SEDIMENT BASIN IS REGULAR INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
  - ATTENTION TO SEDIMENT ACCUMULATIONS WITHIN THE BASIN IS EXTREMELY IMPORTANT. ACCUMULATED SEDIMENT DEPOSITION SHOULD BE CONTINUALLY CHECKED AND REMOVED WHEN NECESSARY.
  - REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 50% OF THE DESIGN SEDIMENT STORAGE VOLUME OR THE HEIGHT OF THE REEF STRUCTURE, WHICHEVER IS REACHED FIRST.
  - REMOVED SEDIMENT FROM THE BASIN SHALL BE PLACED IN STOCKPILE STORAGE AREAS AFTER IT IS RELOCATED.
  - REGULAR INSPECTIONS OF SEDIMENT BASINS SHOULD BE CONDUCTED ONCE EVERY CALENDAR WEEK AND AS RECOMMENDED WITHIN 24 HOURS OF EACH RAINFALL EVENT THAT PRODUCES 1" OR MORE OF RAINFALL PRECIPITATION.
  - ALL TEMPORARY SEDIMENT BASINS WHICH ARE NOT TO BE CONVERTED TO A DETENTION BASIN POST CONSTRUCTION, SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED.
  - DEFURROWED AREAS RESULTING FROM THE REMOVAL OF THE SEDIMENT BASIN SHOULD BE PERMANENTLY STABILIZED AND ADDITIONAL SLOPES, SUCH AS SILT FENCE, SHOULD BE UTILIZED TO ADOPT EROSION WATER RUNOFF FROM THIS DEFURROWED AREA UNTIL FINAL STABILIZATION IS ACHIEVED.

- SILT FENCE**
- THE KEY TO FUNCTIONAL SILT FENCE IS REGULAR INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
  - REGULAR INSPECTIONS OF SILT FENCE SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND AS RECOMMENDED WITHIN 24 HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1" OR MORE OF RAINFALL PRECIPITATION.
  - ATTENTION TO SEDIMENT ACCUMULATIONS ALONG THE SILT FENCE IS EXTREMELY IMPORTANT. SEDIMENT ACCUMULATIONS SHOULD BE CONTINUALLY MONITORED AND REMOVED WHEN NECESSARY.
  - REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE SILT FENCE.
  - REMOVED SEDIMENT SHALL BE PLACED IN STOCKPILE STORAGE AREAS AFTER IT IS RELOCATED.
  - REGULAR INSPECTIONS OF SEDIMENT BASINS SHOULD BE CONDUCTED ONCE EVERY CALENDAR WEEK AND AS RECOMMENDED WITHIN 24 HOURS OF EACH RAINFALL EVENT THAT PRODUCES 1" OR MORE OF RAINFALL PRECIPITATION.
  - CHECK FOR TEARS WITHIN THE SILT FENCE AREAS WHERE SILT FENCE HAS BEEN TO DISCOMPOSE FOR ANY OTHER CIRCUMSTANCE THAT MAY WEAR THE SILT FENCE. IMMEDIATELY REMOVE DAMAGED SILT FENCE AND REINSTALL NEW SILT FENCE IMMEDIATELY.
  - SILT FENCE SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED AND ONE YEAR THEREAFTER. THE RESULTING DEFURROWED AREAS SHALL BE PERMANENTLY STABILIZED.

- CONSTRUCTION ENTRANCE**
- THE KEY TO FUNCTIONAL CONSTRUCTION ENTRANCES IS REGULAR INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
  - REGULAR INSPECTIONS OF CONSTRUCTION ENTRANCES SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND AS RECOMMENDED WITHIN 24 HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1" OR MORE OF RAINFALL PRECIPITATION.
  - DURING REGULAR INSPECTIONS, CHECK FOR MUD AND SEDIMENT BUILDUP AND PAD INTENSITY. INSPECTION FREQUENCIES MAY NEED TO BE MORE FREQUENT DURING LONG PERIODS OF WET WEATHER.
  - REMOVE THE SEDIMENT NECESSARY FOR DRAINAGE AND RUNOFF CONTROL.
  - WASH OR HOPPER SEDIMENT AS NEEDED AND AS DIRECTED BY SITE INSPECTOR. THE SITE AND THE ENTRANCE SHALL BE WASHED OR HOPPERED IMMEDIATELY THE ENTRANCE FALLS TO REDUCE THE AMOUNT OF MUD BEING CARRIED OFF-SITE BY VEHICLES.
  - REGULATORY PROGRAMS WILL EXTEND THE USEFUL LIFE OF SEDIMENT.
  - REGULATORY PROGRAMS WILL EXTEND THE USEFUL LIFE OF SEDIMENT.
  - IMPROVED SURFACES BY DRAGGING OR BEEPING. FLUSHING SHOULD ONLY BE USED WHEN THE FLOOR LAYERS AND SEDIMENT THICKNESS OR MUDS DO NOT ALLOW.
  - DURING MAINTENANCE ACTIVITIES, ANY BROKEN MATERIAL SHOULD BE SEPARATED IMMEDIATELY.
  - CONSTRUCTION ENTRANCES SHOULD BE REMOVED AFTER THE SITE HAS REACHED FINAL STABILIZATION. PERMANENT PROTECTION SHOULD REPLACE AREAS FROM WHICH CONSTRUCTION ENTRANCES HAVE BEEN REMOVED, UNLESS AREAS WILL BE CONVERTED TO AN IMPROVED SURFACE TO SERVE POST-CONSTRUCTION.

- INLET FILTERS**
- INSTALLATION INSTRUCTIONS:**
- REMOVE GRATE FROM THE DRAINAGE STRUCTURE.
  - CLEAN STEEL AND DRIP OFF EXCESS WATER FROM THE SURFACE OF DRAINAGE STRUCTURE.
  - DRIP THE FLEXFORM INLET FILTER THROUGH THE CLEAR OPERING SUCH THAT THE HANGERS REST FIRM ON THE TOP OF THE STRUCTURE.
  - REPLACE THE GRATE AND CONFIRM IT IS NOT ELONGATED MORE THAN 1/8" THE THICKNESS OF THE STEEL HANGERS.
- FREQUENCY OF INSPECTIONS:**
- INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT >1/2".
  - POST CONSTRUCTION INSPECTIONS SHOULD OCCUR 4 TIMES PER YEAR. IN BIOMASS, AFFECTED AREAS ADDITIONAL INSPECTIONS SHOULD TAKE PLACE BEFORE AND AFTER BIOMASS SEASON.
  - REGULATORY APPLICATION SITE INSPECTIONS (LOADING RAMPS, WASH RACKS, MAINTENANCE FACILITIES) SHOULD OCCUR ON A REGULARLY SCHEDULED BASIS NO LESS THAN 2 TIMES PER YEAR.
- MAINTENANCE SCHEDULE:**
- EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND GRASS, OR AS DIRECTED BY THE ENGINEER.
  - REMOVE THE GRATE, ENGAGE THE LIFTING BAR WITH THE FLEXFORM STRUCTURE, AND LIFT FROM DRAINAGE STRUCTURE.
  - DISPOSE OF SEDIMENT OR GRASS AS DIRECTED BY THE ENGINEER OR MAINTENANCE CONTRACTOR.
  - AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT.
  - REWORK CAUSED BY SILT FROM SEDIMENT BAGS AND FLUSH WITH MEDIUM SPRAY WITH OPTIMAL FILTRATION.
  - REPLACE BAG IF TORN OR PUNCTURED TO >1/2" DIAMETER ON LOWER HALF OF BAG.

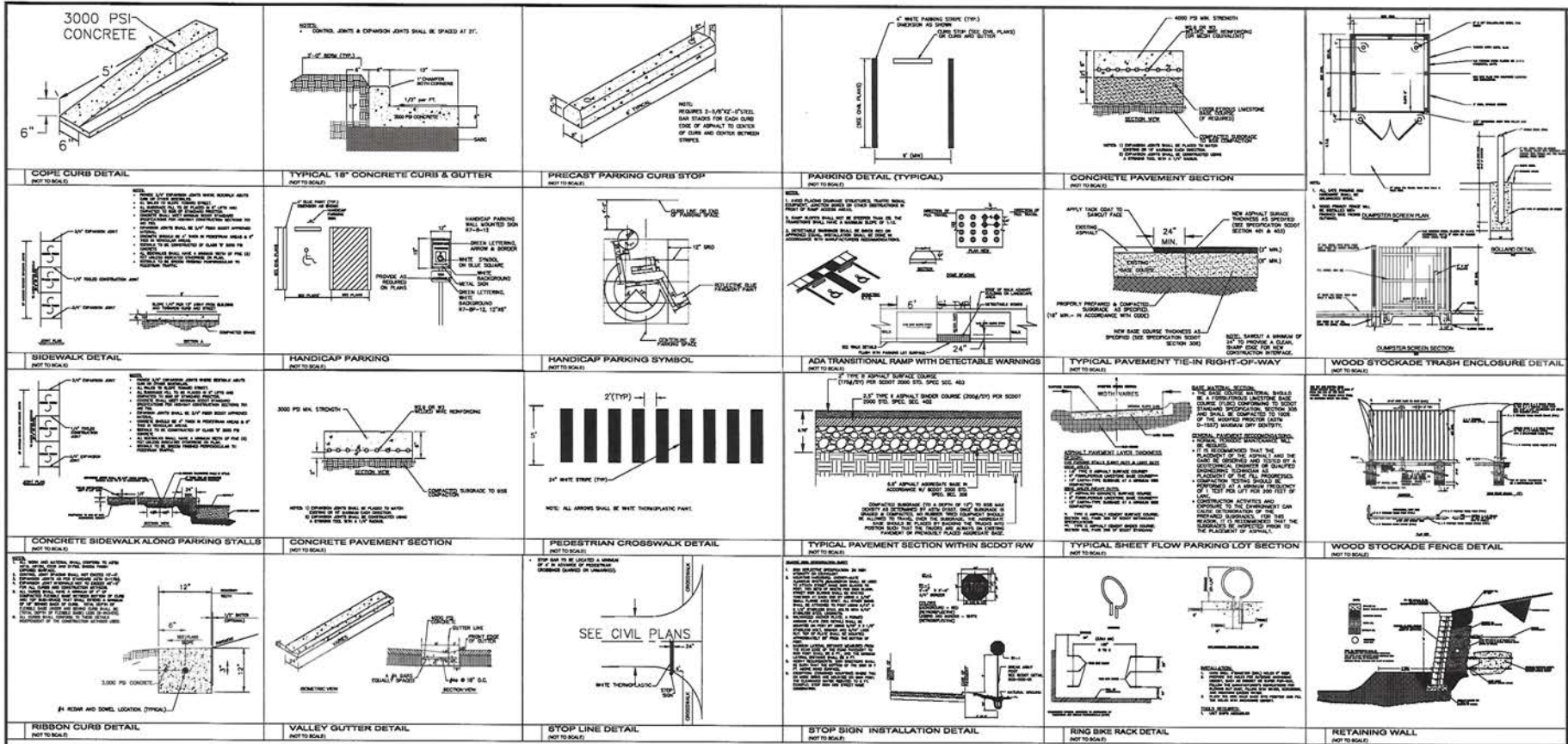


**STIENBERG GOOSE CREEK**  
 211 SOUTH GOOSE CREEK BLVD  
 GOOSE CREEK, SC 29145

GRADING, PAVING & INTERMEDIATE SWPPP

NO.	DATE	REVISIONS

DRAWN: JRU  
 CHECKED: EPL  
 DATE: 11.01.21  
**21-139**  
 FINAL  
 ARD  
 SET  
 SHEET NUMBER  
**C-300**



**STIENBERG**  
**GOOSE CREEK**  
211 SOUTH GOOSE CREEK BLVD  
GOOSE CREEK, SC 29445

CONSTRUCTION DETAILS (SITE)

REVISIONS	
DATE	
BY	
DRAWN: <u>RU</u>	
CHECKED: <u>EFL</u>	
DATE: <u>11.01.21</u>	
JOB NO: <u>21-139</u>	
<b>FINAL</b>	
<b>ARB</b>	
<b>SET</b>	
SHEET NUMBER	
<b>C-500</b>	





Context Aerial





matchline



matchline

matchline



matchline

Streetscapes East Side Goose Creek Blvd





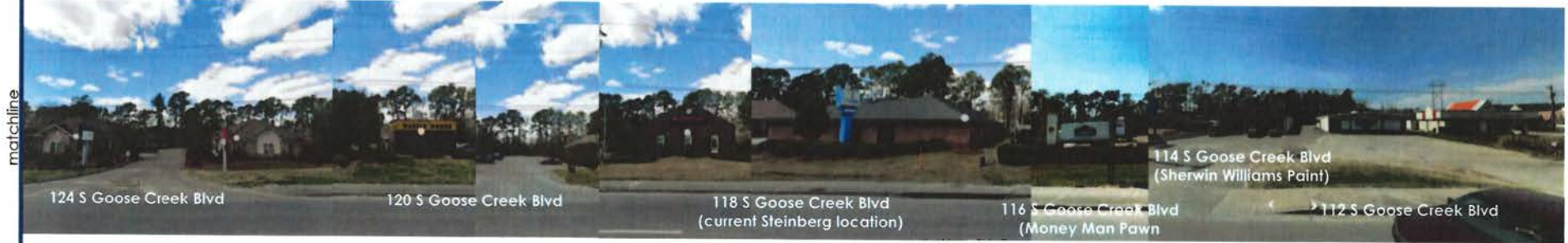


matchline



matchline

matchline



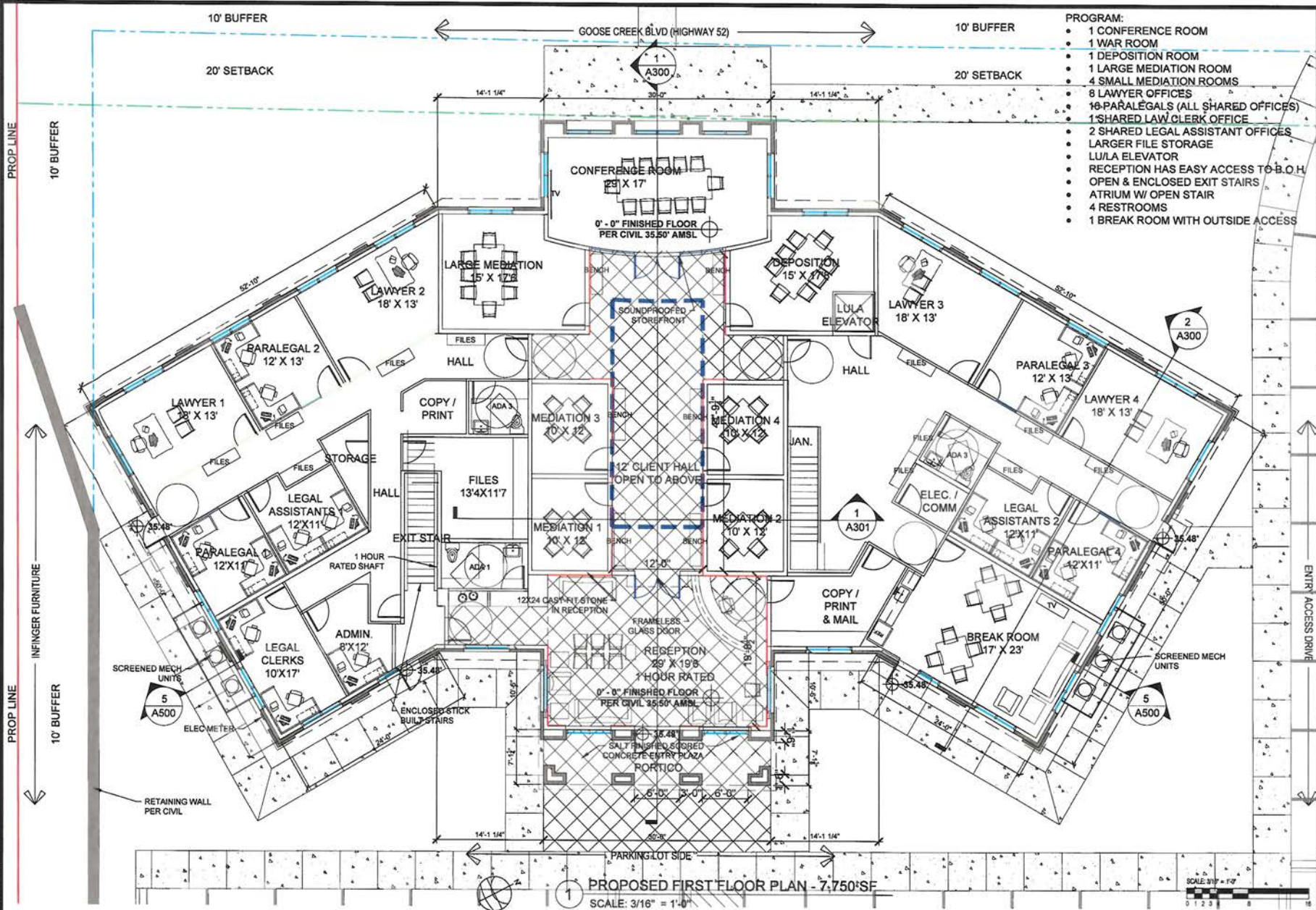
matchline

Streetscapes West Side Goose Creek Blvd



ORIGINAL LAYOUT SIZE: 34x48

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- PROGRAM:**
- 1 CONFERENCE ROOM
  - 1 WAR ROOM
  - 1 DEPOSITION ROOM
  - 1 LARGE MEDIATION ROOM
  - 4 SMALL MEDIATION ROOMS
  - 8 LAWYER OFFICES
  - 16 PARALEGALS (ALL SHARED OFFICES)
  - 1 SHARED LAW CLERK OFFICE
  - 2 SHARED LEGAL ASSISTANT OFFICES
  - LARGER FILE STORAGE
  - LU/LA ELEVATOR
  - RECEPTION HAS EASY ACCESS TO B.O.H.
  - OPEN & ENCLOSED EXIT STAIRS
  - ATRIUM W/ OPEN STAIR
  - 4 RESTROOMS
  - 1 BREAK ROOM WITH OUTSIDE ACCESS



**LFK ARCHITECTS**  
 LFK ARCHITECTS, LLC  
 400 CO. ROAD 66-10, SUITE 100  
 HUNTER HILLS, SC 29520  
 LORIE F. WOODRUFF, P.E.  
 LORIE F. WOODRUFF, P.E.  
 www.lfkarch.com  
 phone 803 530 8800

DATE	DESCRIPTION

ENTRY ACCESS DRIVE  
 GOOSE CREEK

STEINBERG LAW FIRM - GOOSE CREEK  
 HWY 52  
 GOOSE CREEK, SC  
 PROPOSED FIRST FLOOR PLAN

**PROPOSED FIRST FLOOR PLAN - 7,750 SF**  
 SCALE: 3/16" = 1'-0"



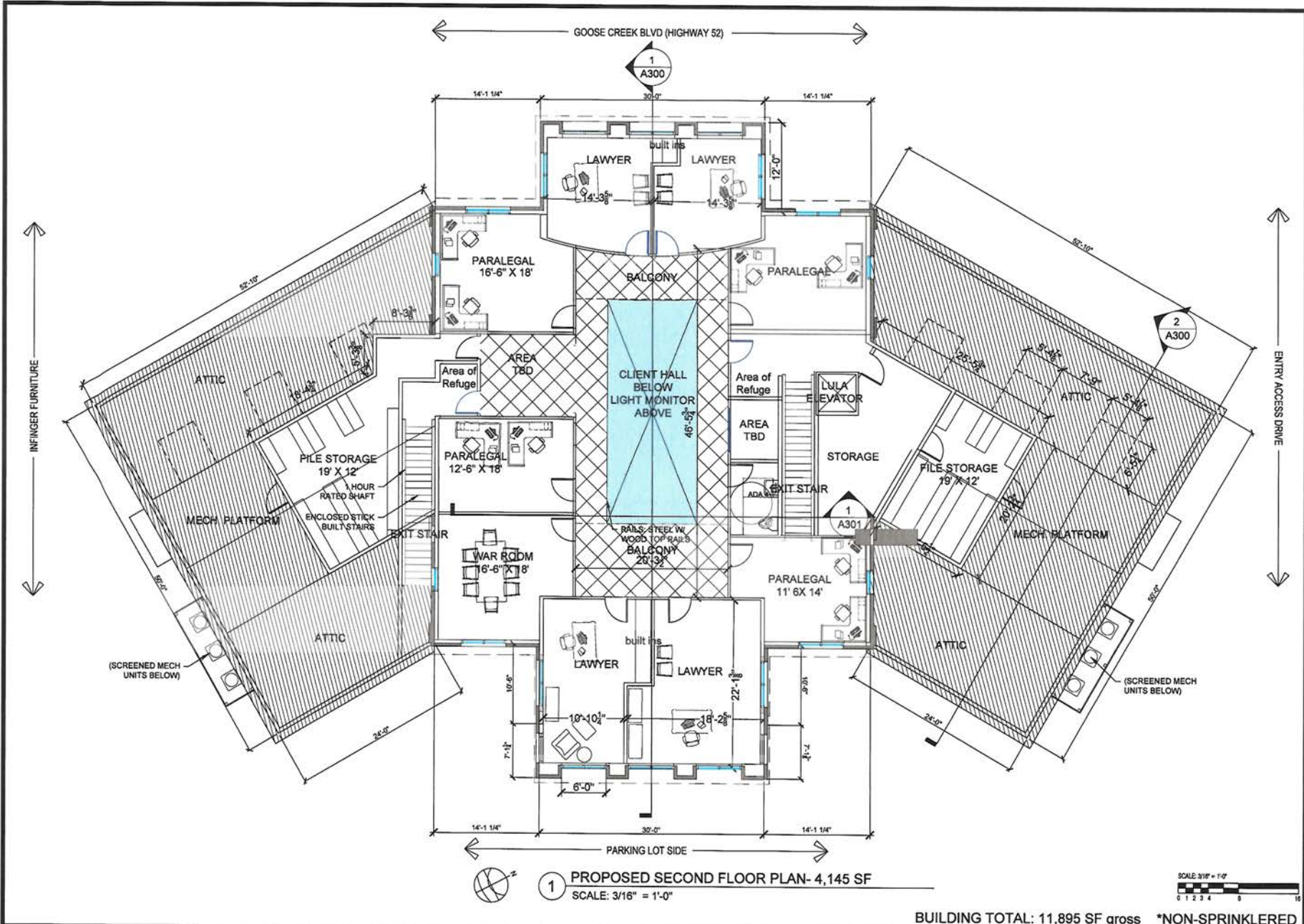
**BUILDING TOTAL: 11,895 SF gross \*NON-SPRINKLERED**

SHEET NUMBER & TITLE  
**A101**

FINAL ARB  
 11.15.2021

ORIGINAL LAYOUT SIZE: 2408

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1 PROPOSED SECOND FLOOR PLAN- 4,145 SF  
SCALE: 3/16" = 1'-0"



BUILDING TOTAL: 11,895 SF gross \*NON-SPRINKLERED



**LFK ARCHITECTS**  
LFK ARCHITECTS, LLC  
800 520 PARKWAY, SUITE 100  
GOOSE CREEK, SOUTH CAROLINA 29651  
LOUIS F. ADAMS, P.E.  
PHONE: 803-508-0800

DATE:	11/15/2021
BY:	LFK
CHECKED:	LFK

STEINBERG LAW FIRM - GOOSE CREEK  
HWY 52  
GOOSE CREEK, SC

PROPOSED SECOND FLOOR PLAN

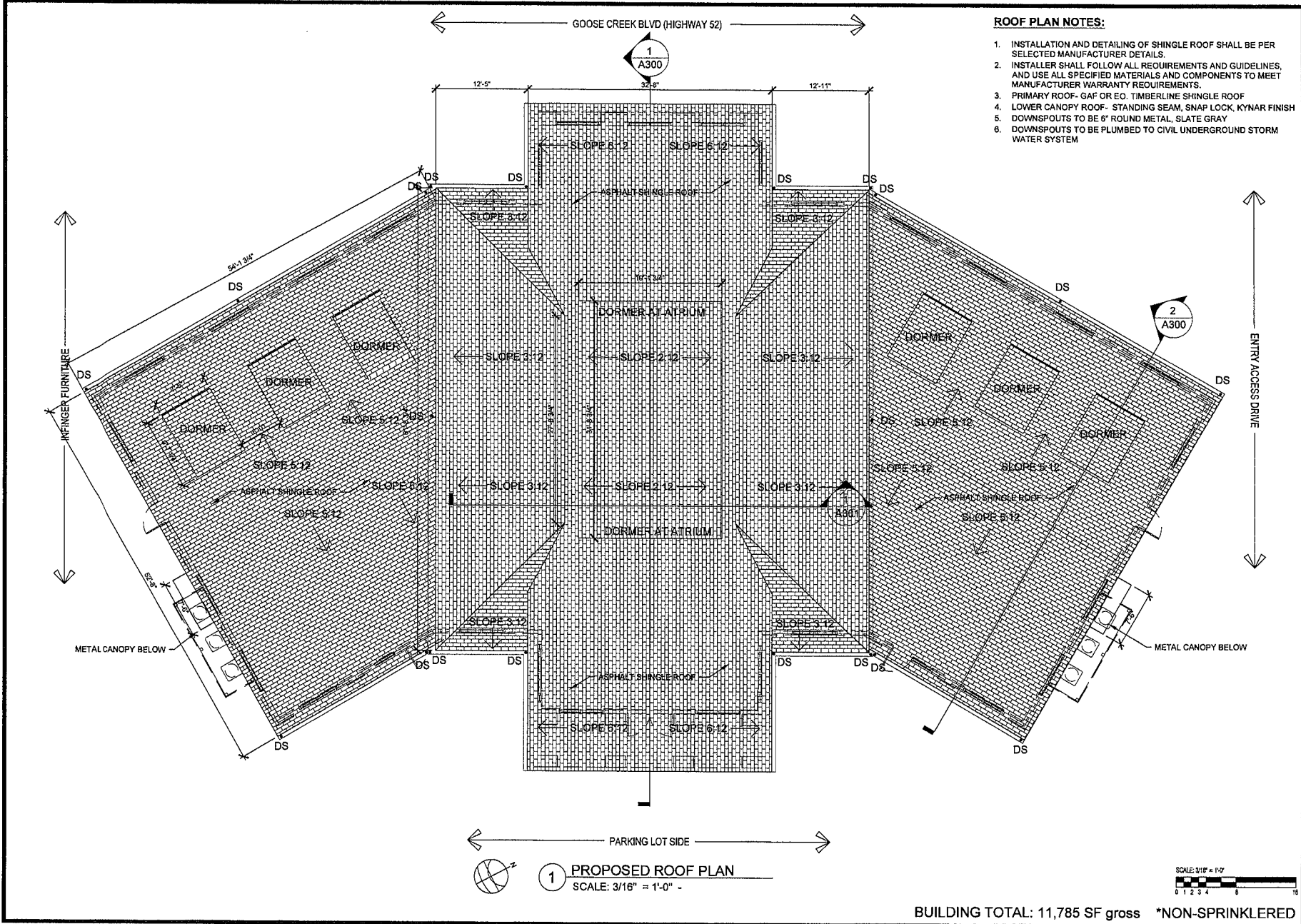
SHEET NUMBER & TITLE

A102

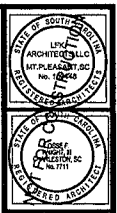
FINAL ARB  
11.15.2021

ORIGINAL LAYOUT SIZE: 24x36

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- ROOF PLAN NOTES:**
1. INSTALLATION AND DETAILING OF SHINGLE ROOF SHALL BE PER SELECTED MANUFACTURER DETAILS.
  2. INSTALLER SHALL FOLLOW ALL REQUIREMENTS AND GUIDELINES, AND USE ALL SPECIFIED MATERIALS AND COMPONENTS TO MEET MANUFACTURER WARRANTY REQUIREMENTS.
  3. PRIMARY ROOF- GAF OR EO. TIMBERLINE SHINGLE ROOF
  4. LOWER CANOPY ROOF- STANDING SEAM, SNAP LOCK, KYNAR FINISH
  5. DOWNSPOUTS TO BE 6" ROUND METAL, SLATE GRAY
  6. DOWNSPOUTS TO BE PLUMBED TO CIVIL UNDERGROUND STORM WATER SYSTEM



**LFK ARCHITECTS, LLC**  
 LFK ARCHITECTS, LLC  
 801 COLLEEN BLVD, SUITE 100  
 605 3RD FLOOR, WILMINGTON, SC  
 LOUISE F. JOHNSON, AIA  
 License No. 1111  
 Phone: 853-538-6943

JOB NUMBER:	
DATE:	
CHECKED:	

STEINBERG LAW FIRM - GOOSE CREEK  
 HWY 52  
 GOOSE CREEK, SC

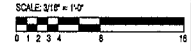
PROPOSED ROOF PLAN & NOTES

SHEET NUMBER & TITLE:

**A103**

FINAL ARB  
 11-15-2021

**1 PROPOSED ROOF PLAN**  
 SCALE: 3/16" = 1'-0" -



BUILDING TOTAL: 11,785 SF gross \*NON-SPRINKLERED



Bird's eye North





Bird's eye East





Bird's eye East





Bird's eye West







Bird's eye West





View from Goose Creek Blvd, Northbound





View from Goose Creek Blvd, Northbound





Potential  
Future Building

Note: Monument Sign  
Design by Others

View from Goose Creek Blvd, Southbound





Note: Monument Sign  
Design by Others

View from Camelot Dr East





View of building entry from parking lot





View of building entry from sidewalk





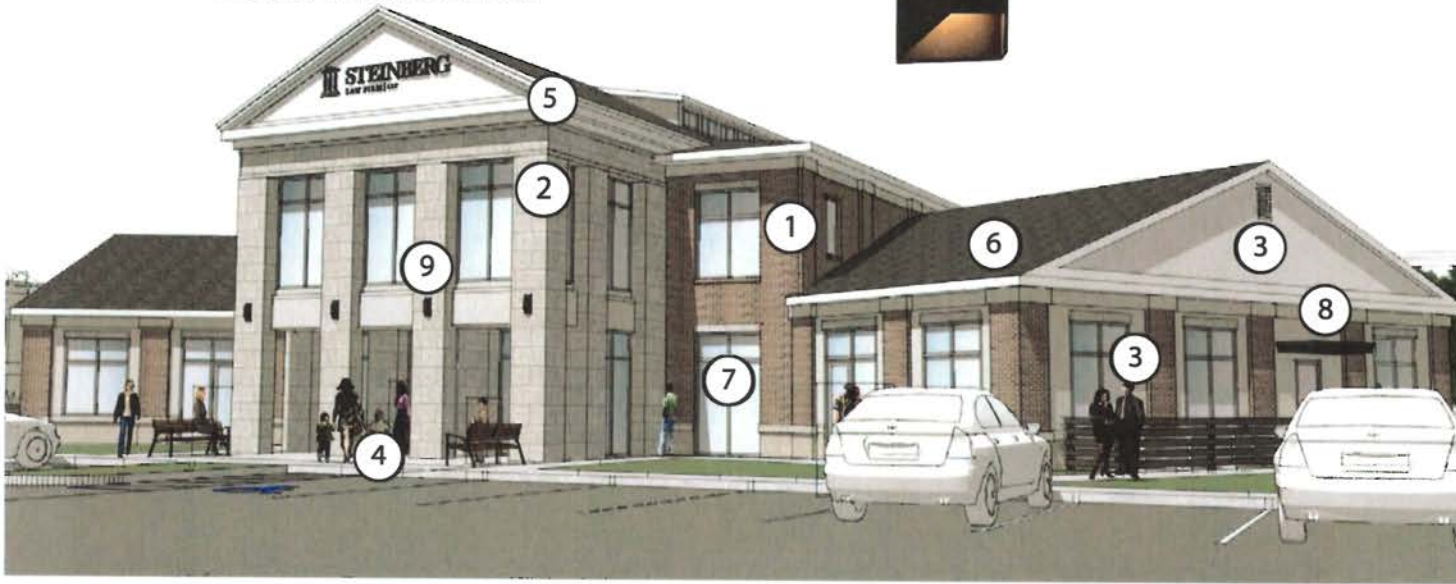
View from Goose Creek Blvd East





# EXTERIOR MATERIALS PALETTE

NOTE: SIGNAGE BY OTHERS



UP/DOWN LIGHTS:  
-MFGR AVENUE LIGHTING  
-BLACK FINISH  
-7" W X 16" H X 4" D

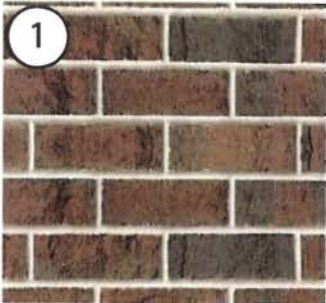


DOORS/WINDOWS:  
-IMPACT RATED  
-ALUMINUM STOREFRONT  
-2.5"X5" FRAME  
-COLOR/FINISH: CLEAR ANODIZED

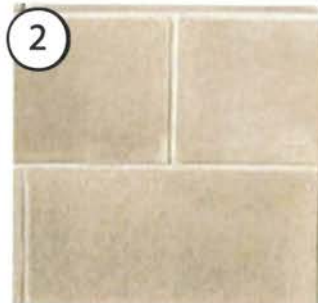
CLEAR ANODIZED



CANOPY:  
-MFGR AMERICANA  
-IMPERIAL MARQUEE  
-CHARCOAL GRAY  
-FLAT SOFFIT



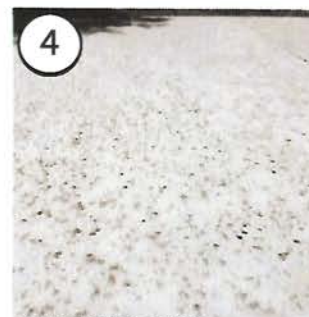
BRICK VENEER:  
-SIZE, MODULAR  
-MFGR, MERIDIAN  
-"OLD LEXINGTON"  
-MORTAR: "IVORY", FLUSH JOINTS



STONE VENEER:  
-MFGR, ECHELON  
-"CORDOVA STONE 12"X24"  
-BUFF COLOR, GROUNDFACE  
-MORTAR "IVORY", FLUSH JOINTS  
-WINDOW LEDGERS: 8"X16"



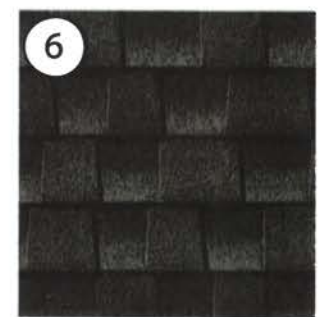
STUCCO WALLS, GABLE END:  
-STUCCO (HARD COAT)  
-FINISH, LIMESTONE SMOOTH  
-MFGR Stolit or EQ.  
-STO 31137



ENTRY PLAZA PAVING:  
-SALT FINISHED CONCRETE  
-4'X4' SCORING



FASCIA, SOFFIT:  
-FIBER CEMENT  
-MFGR JAMES HARDIE OR EQ  
-FASCIA- 1X6 TRIM  
-SOFFIT- 1/2X12  
-SW 7006- EXTRA WHITE



SHINGLE ROOF:  
-MFGR GAF OR EQ.  
-TIMBERLINE HDZ  
-PEWTER GRAY  
-30 YEAR MANUF. WARRANTY



ORIGINAL LAYOUT SIZE: 24x36



1 EAST ELEVATION (REAR)- FACING PARKING  
SCALE: 3/16" = 1'-0"

NOTE: SIGNAGE BY OTHERS  
SEE EXTERIOR MATERIALS PALETTE FOR  
DETAILED BUILDING FACADE SPECS



2 WEST ELEVATION (FRONT)- FACING HWY 52 GOOSE CREEK BLVD  
SCALE: 3/16" = 1'-0"



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400 GOLDENVALE BLVD, SUITE 100  
NORTH PLAZA RD, SUITE  
10000 F. WINGFIELD, GA  
www.lfkarch.com  
phone: 913-530-8868

JOB NUMBER:  
DRAWN:  
CHECKED:

STEINBERG LAW FIRM - GOOSE CREEK  
HWY 52  
GOOSE CREEK, SC  
EAST & WEST ELEVATION

SHEET NUMBER & TITLE

A200

FINAL ARB  
11.15.2021

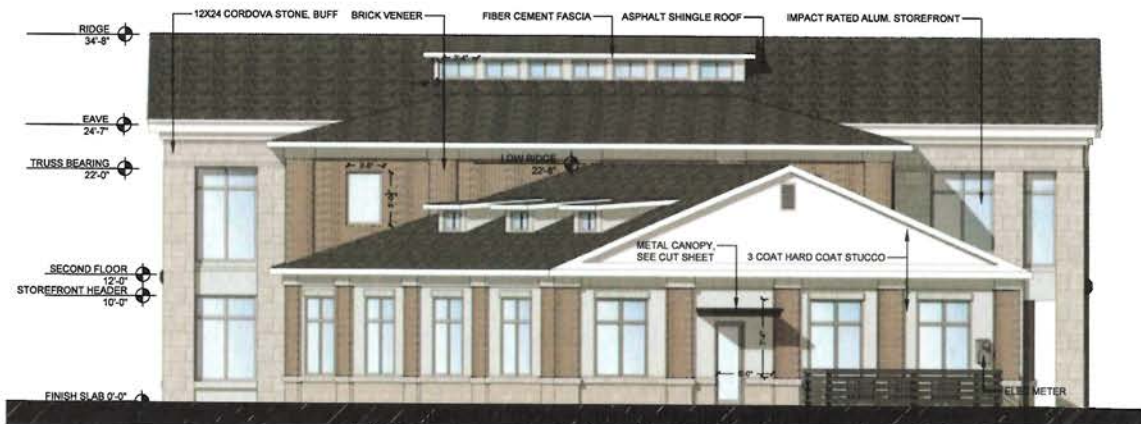
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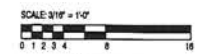
1 NORTH ELEVATION (SIDE)  
SCALE: 3/16" = 1'-0"

NOTE: SIGNAGE BY OTHERS

SEE EXTERIOR MATERIALS PALETTE FOR  
DETAILED BUILDING FACADE SPECS



2 SCALE: 3/16" = 1'-0"



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LFK ARCHITECTS, LLC  
800 COLUMBIA BLVD, SUITE 100  
MOUNTAIN VIEW, NC 28054  
LOUIS F. HODGENTON, AIA  
www.lfkarchitects.com  
phone: 919.550.0040

DATE	DESCRIPTION

DATE	DESCRIPTION

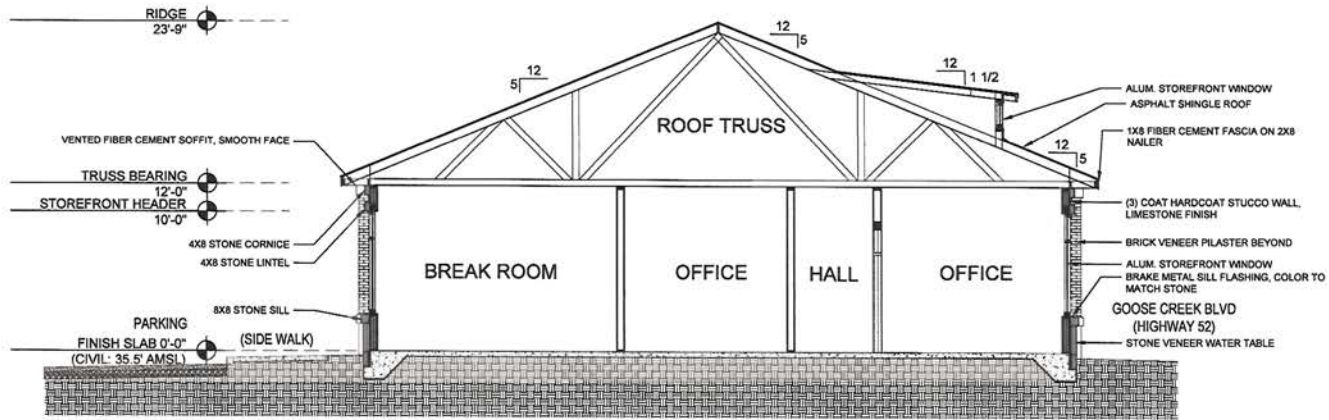
STEINBERG LAW FIRM - GOOSE CREEK  
HWY 52  
GOOSE CREEK, SC  
NORTH & SOUTH ELEVATION

SHEET NUMBER & TITLE

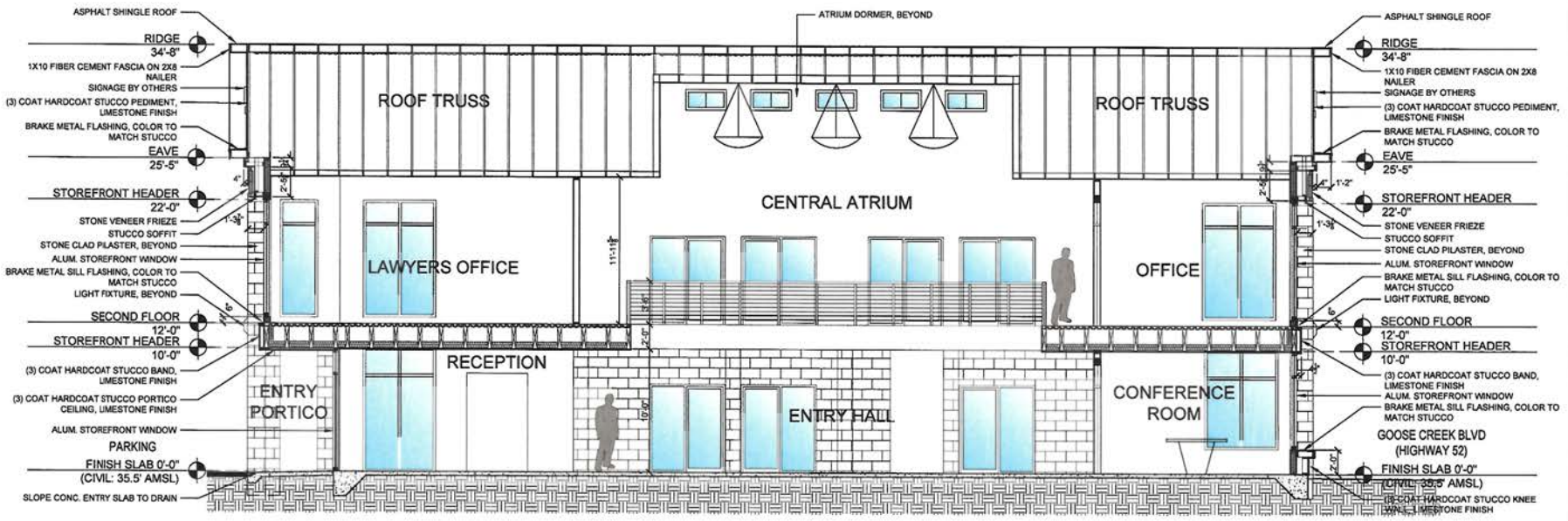
A201

FINAL ARB  
11.15.2021

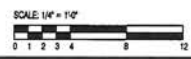
ORIGINAL LAYOUT SIZE: 24x36



2 PROPOSED LONGITUDINAL BUILDING SECTION AT SIDE WING, TYP.  
SCALE: 1/4" = 1'-0"



1 PROPOSED LONGITUDINAL BUILDING SECTION AT ATRIUM  
SCALE: 1/4" = 1'-0"



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 www.lpkarch.com

LPK ARCHITECTS, LLC  
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 MOUNT PLEASANT, SC 29504  
 LICENSE # 3584 (S.C.)  
 LICENSE # 28055 (N.C.)  
 phone: 803.659.8992  
 www.lpkarch.com

STEINBERG LAW FIRM - GOOSE CREEK  
 HWY 52 GOOSE CREEK, SC  
 PROPOSED LONGITUDINAL BUILDING SECTIONS

SHEET NUMBER & TITLE

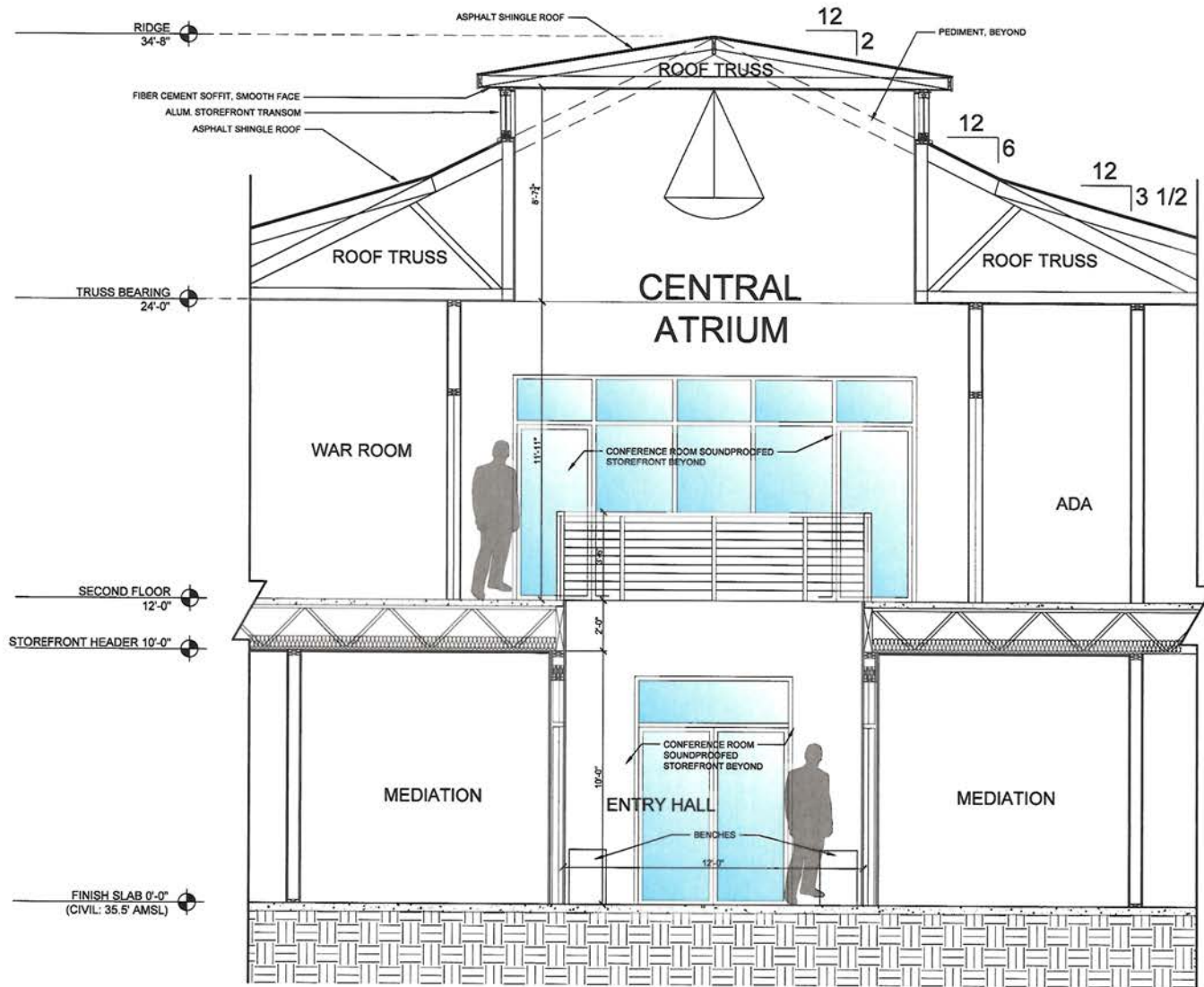
A300

FINAL ARB  
 11.15.2021

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ORIGINAL LAYOUT SIZE: 14x8

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1 PROPOSED TRANSVERSE SECTION AT ATRIUM  
SCALE: 1/2" = 1'-0"



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LFK ARCHITECTS, LLC  
405 COLUMBIA BLVD, SUITE 100  
NORTH PALM BEACH, FL 33408  
LOUIS F. SHAPIRO, AIA  
www.lfkarchitects.com  
Phone: 561.238.8862

DATE	DESCRIPTION

STEINBERG LAW FIRM - GOOSE CREEK  
HWY 52  
GOOSE CREEK, SC  
PROPOSED TRANSVERSE SECTION AT ATRIUM

SHEET NUMBER & TITLE

A301

FINAL ARS  
11.15.2021



# Cordova Stone™

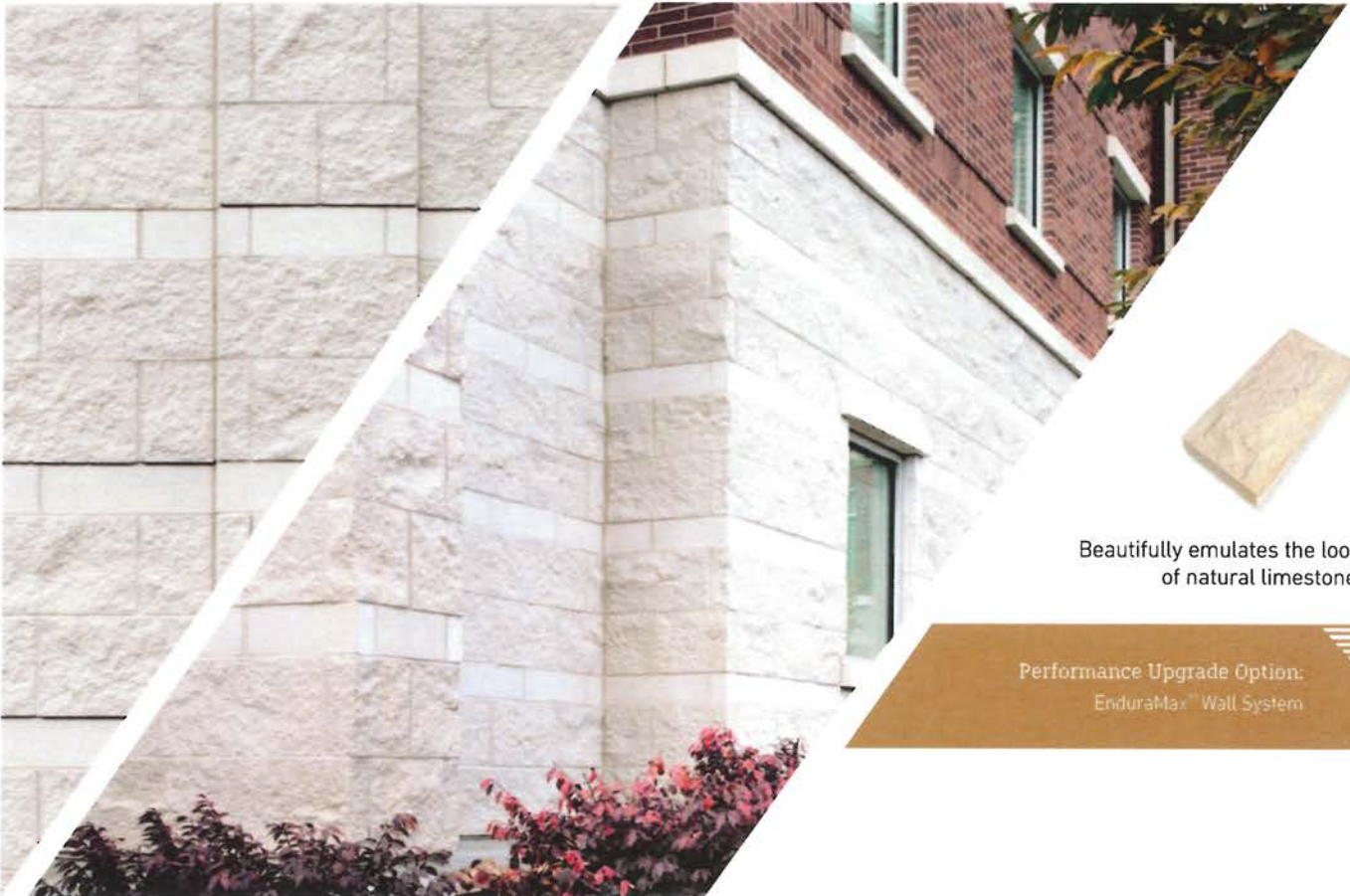
## FULL DEPTH VENEERS

ARTISAN MASONRY STONE VENEERS®



**ECHELON™**

Quality masonry products from  
**Oldcastle APG**  
A CRH Company



Beautifully emulates the look  
of natural limestone.

Performance Upgrade Option:  
EnduraMax™ Wall System

Cordova Stone's durable, high-density finish achieves the look of natural stone by incorporating all-natural aggregates and recycled content. Available in a variety of classic colors and finishes, Cordova Stone delivers the prestigious appearance of cut stone with all the benefits of manufactured stone veneers.

### Features & Benefits

- Ideal for interior & exterior applications
- Emulates cut stone look
- Color throughout unit
- Repels water & resists mold
- Durable
- Expanded colors & finishes
- Look of limestone

## Natural Colors & Textures

### EARTH BLEND



Canyon Blend    Desert Blend    Mountain Blend    Woodland Blend

Note: All color samples are representative only. For accurate color selection, ask your sales representative for samples.

### NATURAL

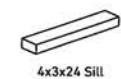
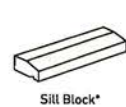
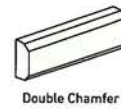
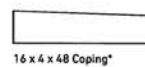
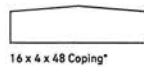
	Buff	Limestone	Alabaster	Graphite	Granite	Midnight
Ground Face						
Rock Face						
Texture Face						
Chisel Face						

### Select Shapes & Sizes

Using state-of-the-art equipment, Echelon can customize standard units to fit your special design needs. Inquire about the endless ways that Cordova Stone can bring your design concept together, including archway pieces, coping units and sill pieces.

### Unit Sizes

- 4" x 8" x 12"
- 4" x 16" x 12"
- 4" x 16" x 16"
- 4" x 4" x 24"
- 4" x 8" x 24"
- 4" x 12" x 24"
- 4" x 16" x 24"
- 4" x 18" x 24"
- 6" x 6" x 24"
- 6" x 8" x 24"
- 6" x 12" x 24"
- 6" x 16" x 24"
- 6" x 4" x 48"
- 8" x 4" x 48"
- 8" x 8" x 24"
- 4" x 16" x 48"



### NEW LONGER SIZES

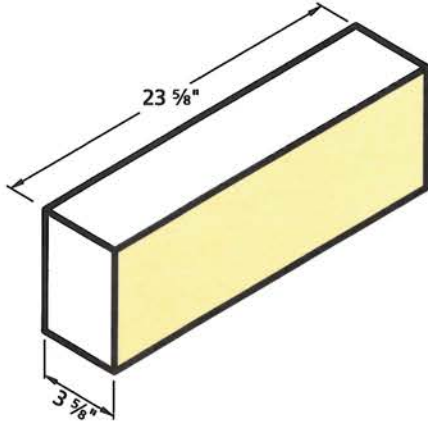
Few mortar joints means reduced labor costs and less chance of water infiltration. These units are machine made and can be cut to your specifications.

Note: Available in many other shapes and sizes.

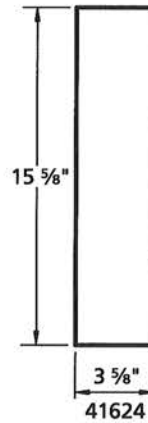
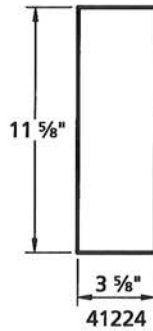
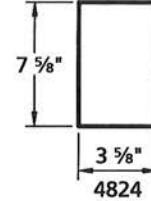
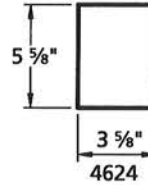
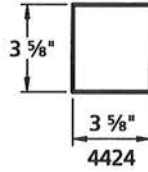


## standard units

### 4" Depth Standard Unit

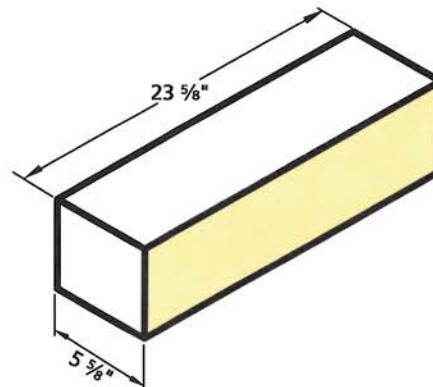
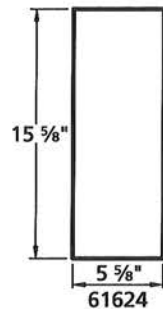
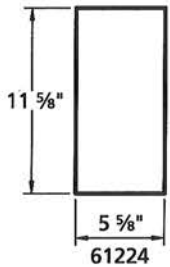
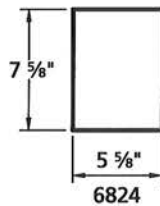
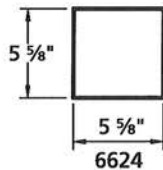
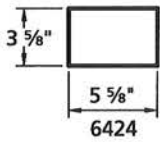


Available in: Rockface (RF),  
Groundface (GF), Textureface (TF)  
and Chiselface (CHF).



Maximum length on Rockface and Chiselface corners is 19%. Return and/or mitered corners need to be ordered separately.  
Note: All units can be cut to a specified height/length. Available with or without drip cut.

### 6" Depth Standard Unit

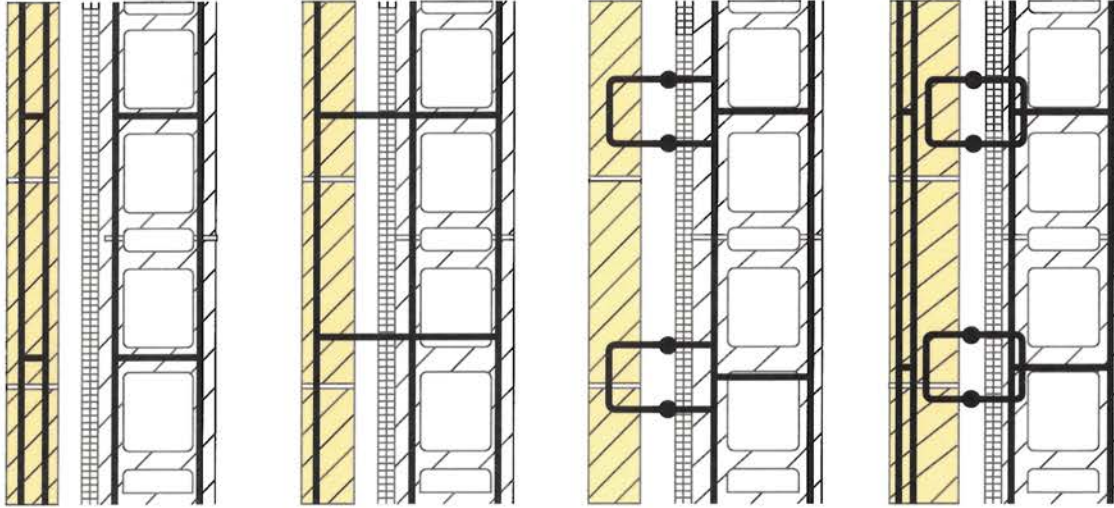


4", 6" and 8" available in Rockface (RF),  
Groundface (GF), Textureface (TF)  
and Chiselface (CHF).

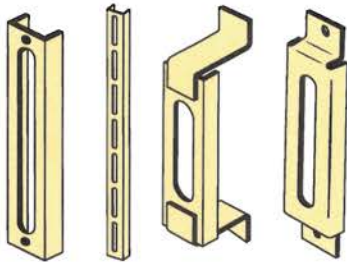
12" and 16" available in Groundface (GF)  
and Textureface (TF).

## wall ties and joint reinforcement

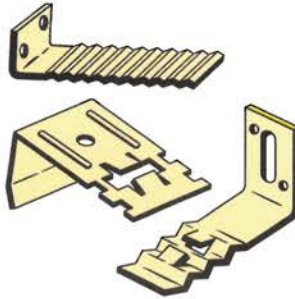
### Multiwythe Wall Assemblies



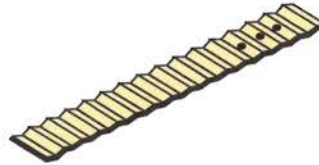
### Channel Slots and Anchors



### Seismic Anchor and Buck and Frame Anchors



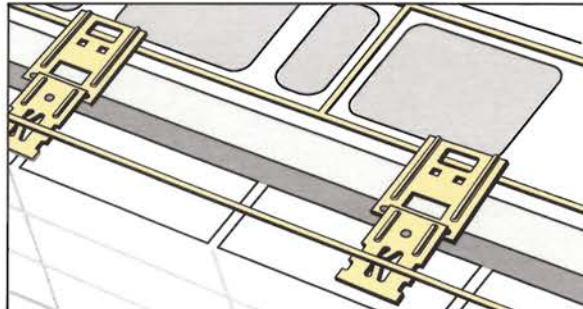
### Corrugated Wall Tie



### Dovetail Slots and Anchors







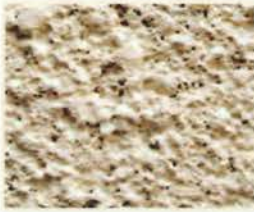















### Seismic Joint Reinforcement



# Colors & Textures

## Natural Collection

	<i>Groundface</i>	<i>Rockface</i>	<i>Textureface</i>	<i>Chiselface</i>
<i>Alabaster</i>				
<i>Buff</i>				
<i>Graphite</i>				
<i>Limestone</i>				
<i>Midnight</i>				

## Earthblend Collection

			
<i>Mountain Blend</i>	<i>Desert Blend</i>	<i>Canyon Blend</i>	<i>Woodland Blend</i>



Imperial Marquees with 6" Fascia and 8" flat panels



Imperial Marquee with 6" Fascia and 8" flat panels

## Super Durable Frame Color Options



## Super Durable & Anti Graffiti Frame Color Options



## Frame Finish

### Standard: Super durable frame finishes:

The anti-graffiti, super durable polyester TGIC finish, is a powder that is applied 6-9 mils thick then cured at 400 degrees until fused into a smooth glossy permeate coating. This coating meets AAMA 2604-2 specifications and has a much longer life expectancy than the industries standard TGIC. This anti-graffiti coating provides an outstanding finish.

The smooth glossy surface can withstand numerous cleanups with the use of our proprietary chemical cleaner without altering the finish. Paint and marker can be removed completely with only a slight reduction in gloss.

The architectural matte, super durable polyester TGIC finish, is a powder that is applied 6-9 mils thick then cured at 400 degrees into a smooth matte permeate coating. This coating meets AAMA 2604-2 specifications and has a much longer life expectancy than the industries standard TGIC.



## Roof Panel & Color Options

### 8" Aluminum Structural Flat Panel Smooth Finish



Coverage Width - 8"  
Minimum Slope - 1/2:12  
Finish - Smooth Matte Finish  
Coatings - DuraCoat XT40 Ceramel  
Rib Spacing - N/A  
Rib Height - 2-5/8"



275 SLATE GRAY    510 BLACK    520 BRONZE    540 TAN



550 BONE WHITE    560 ANODIZED  
UP CHARGE

### 10" Aluminum "V" Panel Stucco Embossed



Coverage Width - 10"  
Minimum Slope - 1/2:12  
Finish - Stucco Embossed  
Coatings - Super Durable Polyester  
Rib Spacing - N/A  
Rib Height - 2-3/4"



WHITE    IVORY

### 24" Aluminum Structural "W" Panel



Coverage Width - 24"  
Minimum Slope - 1/2:12  
Thickness - .038"  
Finish - Stucco Embossed  
Coatings - DuraCoat XT40 Ceramel  
Rib Spacing - 8" on center  
Rib Height - 2-1/2"



550 BONE WHITE

### 6" Aluminum Extruded Flat Panel



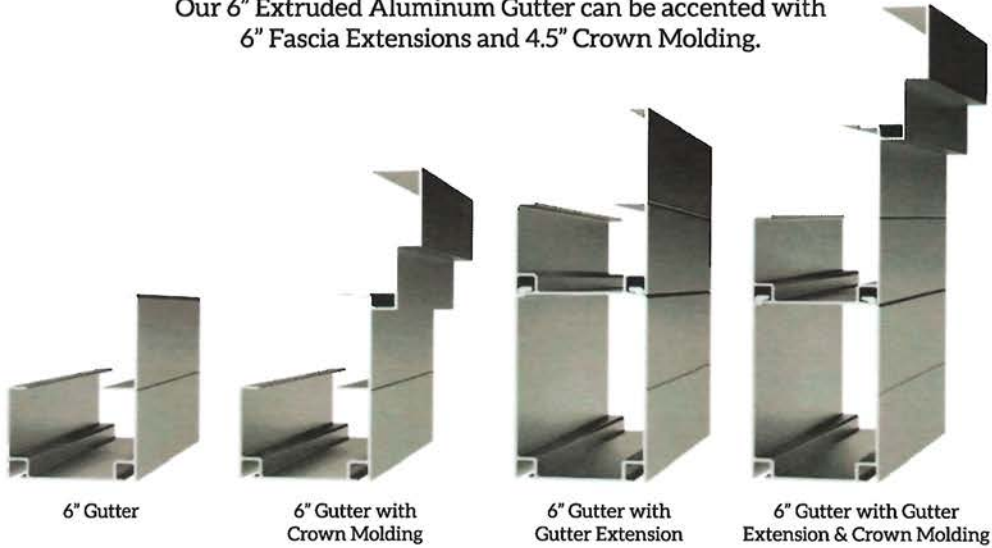
Coverage Width - 6"  
Minimum Slope - 1/2:12  
Finish - Smooth Gloss Finish  
Coatings - Super Durable Polyester  
Rib Spacing - N/A  
Rib Height - 2-7/8"



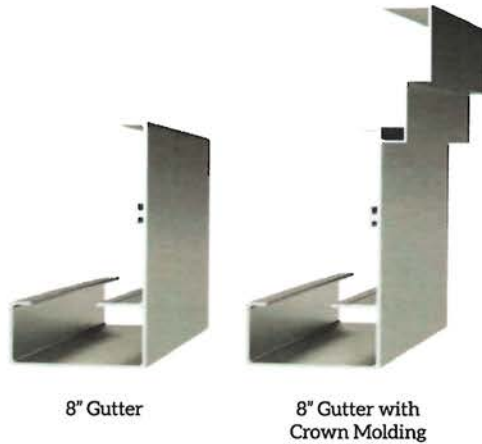
Powder coat finish available in all frame colors.  
Full RAL color palette available at additional cost.

## Fascia & Gutter Options

Our 6" Extruded Aluminum Gutter can be accented with 6" Fascia Extensions and 4.5" Crown Molding.



Our 8" Extruded Aluminum Gutter can be accented with 4.5" Crown Molding.

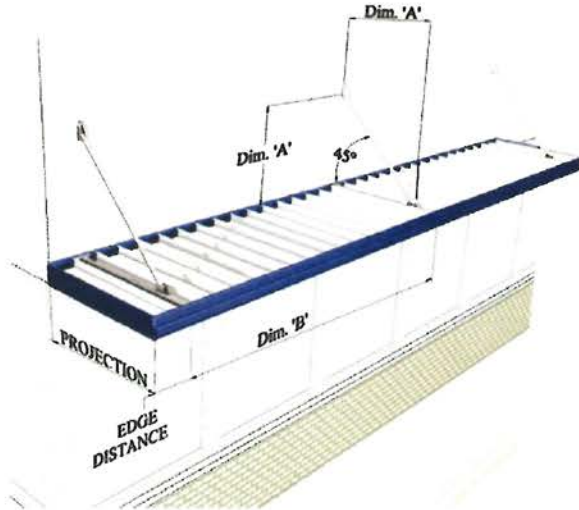


## Decorative Brace Wall Plates

Custom designs are available, call us for more information!



## Engineering & Installation



Designed & Engineered using pre-cut mechanically fastened components for quick & easy installation with minimal in-field preparations.

Zinc plated, galvanized or stainless steel fasteners eliminate rust and stains.



B = Distance between supports at load in lbs per sq ft

A	Projection	B @ 22.6#	B @ 32.6#	B @ 42.5#
3'	4'	10' 0"	9' 2"	7' 0"
4'	5'	10' 0"	7' 10"	6' 0"
5'	6'	9' 10"	6' 10"	5' 2"
6'	7'	8' 8"	6' 0"	4' 7"
7'	8'	7' 9"	5' 4"	4' 1"
8'	9'	7' 0"	4' 10"	3' 8"
9'	10'	5' 8"	4' 6"	3' 4"

### Engineering Requirements

NEED TO MEET SITE SPECIFIC LOAD REQUIREMENTS? CALL FOR CUSTOM QUOTES

## Warranty Terms

### Lifetime Limited Warranty

Lifetime Limited Warranty on aluminum against material failure and corrosion.

### 25 Year Limited Warranty

25 Year Limited Warranty on steel against material failure and defects.

### 10 Year Limited Warranty

10 Year Limited Warranty on all powder coat finishes (200 and 500 series).

With the use of Americana's 500 Series Anti-graffiti powder coat finish is guaranteed to allow removal of graffiti with virtually no change to the finish.

Americana will not be responsible for damages caused by others, building settlement, corrosion by moisture, chemical and pollution, or acts of God. Damage caused by vandalism, abnormal use, lack of maintenance, or incorrect installation will not be covered.





PO Box 1290, Salem IL 62881  
1-800-851-0865, Fax: 1-618-548-2890  
Sales@Americana.com  
www.Americana.com



# Avenue Outdoor Wall Sconce

By Avenue Lighting

LUMENS  
LIGHT AND LIVING

Call Us 877.445.4486

## Product Options

**Finish:** Black, Silver  
**Size:** Small, Medium, Large

## Details

- Designed in 2018
- Material: ALUMINUM
- Sloped ceiling adaptable (0-30)
- UL Listed
- Warranty: Limited 1 Year
- Made In China

## Dimensions

**Small Option Backplate:** Width 4", Height 4", Depth 0.5"

**Small Option Fixture:** Width 7", Height 12", Depth 3.75", Weight 4Lbs

**Medium Option Backplate:** Width 4", Height 4", Depth 0.5"

**Medium Option Fixture:** Width 7", Height 16", Depth 3.75", Weight 5Lbs

**Large Option Backplate:** Width 4", Height 4", Depth 0.5"

**Large Option Fixture:** Width 7", Height 20", Depth 3.75", Weight 6Lbs

## Lighting

- Two 6 Watt (500 Lumens) 120 Volt GU10 Twist & Lock Base LED Lamp(s) (Included)

## Additional Details

**Product URL:** <https://www.lumens.com/avenue-av9898-99-00-outdoor-wall-sconce-by-avenue-lighting-AVLP212843.html>

**Rating:** UL Listed

**Product ID:** AVLP212843

**Prepared by:**

**Prepared for:**

**Project:**

**Room:**

**Placement:**

**Approval:**



Shown in Silver finish, Small size

**Notes:**



Created June 12th, 2019



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Outdoor Lighting

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Item # bci3250965

### Lithonia Lighting WF6 SQ S LED 27K MB M6 Matte Black Wafer 6" LED IC Rated Square Trim Integrated Recessed Fixture with 2700K Color Temperature

Wafer Collection



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\$29.92

Originally \$42.20, You Save 29%

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**Finish: Matte Black**

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Leaves the Warehouse in 1 to 3 business days (Change Zip)

Quantity:

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### Customers Also Viewed

Lithonia Lighting WF6 SQ S LED 40K M6 (0) Starting at \$28.96	Lithonia Lighting WF4 SQ S LED 40K M6 (0) Starting at \$25.47	Lithonia Lighting WF6 SQ B LED 40K M6 (0) Starting at \$25.73	Lithonia Lighting WF6 SQ B LED 30K M6 (0) Starting at \$27.80	Lithonia Lighting WF4 SQ S LED 27K M6 (0) Starting at \$30.64	Lithonia Lighting WF4 SQ B LED 30K M6 (0) Starting at \$24.39
--	--	--	--	--	--

[Overview](#) [Specifications](#) [Reviews](#) [Product Q&A](#)

## Product Overview

### Features

- Includes a steel spring clip for easy installation
- Air tight housing prevents entrance of dust and moisture
- Capable of being installed in t-grid and drop ceiling applications
- Designed for commercial or residential use
- Insulated ceiling rated and airtight
- Constructed from die cast aluminum
- Includes white square diffuser
- Integrated 13.9 watt LED lighting
- Capable of being dimmed
- CSA rated for wet locations
- Energy Star approved
- Covered under a manufacturer 5 year limited warranty

### Dimensions

- Trim Size: 6"
- Height: 1-1/8"
- Width: 6-11/16"
- Depth: 6-11/16"
- Product Weight: 1.5 lbs
- Shade Width: 4-1/8"
- Shade Depth: 4-1/8"
- Cutout Size: 5-7/8 Inches

### Electrical Specifications

- Bulb Base: Integrated LED
- Number of Bulbs: 1
- Bulb Included: Yes
- Lumens: 860
- Watts Per Bulb: 13.9 watts
- Wattage: 13.9 watts
- Voltage: 120 volts
- Color Temperature: 2700K
- Color Rendering Index: 80CRI
- Average Hours: 36000

### Additional Lithonia Lighting Links

- [View the Manufacturer Warranty](#)
- [Lithonia Lighting Wafer Collection](#)

## Manufacturer Resources

[Specification Sheet](#)

### Related Lithonia Lighting Categories

[All Recessed Lighting](#)  
[Recessed Lighting Trims](#)  
[Recessed Light Housings](#)  
[Recessed Lighting Kits](#)  
[Retrofit Recessed Trims](#)  
[Pendant Recessed Lighting](#)  
[Outdoor Recessed Lighting](#)

This product is listed under the following manufacturer number(s):



- Lithonia Lighting WF6 SQ S LED 27K BN M6  
Brushed Nickel
- Lithonia Lighting WF6 SQ S LED 27K MB M6  
Matte Black
- Lithonia Lighting WF6 SQ S LED 27K MW M6  
Matte White
- Lithonia Lighting WF6 SQ S LED 27K ORB M6  
Oil Rubbed Bronze

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**DESCRIPTION**

The slim architectural SLW Series LED wallpack features integral motion detection (PIR sensor) or photocontrol only (NS model) in both "normally on" and UL 924 Listed emergency egress models. The fully gasketed die-cast enclosure is IP65 rated and UL Listed for Wet Locations. The SLW's 15 Watt LED light engine delivers 1500 lumens in AC mode and 600 lumens in emergency mode. Zero upright optics reduce light pollution.

**SPECIFICATIONS**

**Construction:**

- Architectural die-cast aluminum housing
- Snap-fit housing to mounting plate for easy access and installation
- Universal pattern knockouts on back for mounting to 3" and 4" J-box
- ½" Threaded conduit entry for top feed
- Available in Bronze, Black, Silver or White finish

**Optics/ LEDs:**

- 15 Watt high-power LED light engine delivers 1500 lumens (600 lumens in emergency mode for 60' on center spacing)
- Standard 4000K CCT, CRI ≥ 70, L70 > 72,000 hours
- LED array is protected by a high-impact, UV-resistant polycarbonate lens

**Electrical:**

- 120-277VAC, 60Hz driver
- EM option uses long-life, maintenance-free, rechargeable high temperature NiCad battery which includes internal heater suitable for cold locations and draws an additional 17 Watts
- Integral controls include:

- Standard unit: Passive infrared (PIR) motion sensor with up to 10' detection, operational from dusk to dawn. Unit will shut off after two minutes of inactivity. The light will activate in AC mode only when motion is detected. Motion sensor (PIR) and dusk to dawn operation cannot be altered
- No PIR sensor option (NS): switchable AC operation for use as dusk to dawn with included photocontrol or use of a normally open switch by disabling photocontrol

**Installation:**

- Ideal for mounting to any vertical surface by attaching to a 3" or 4" J-box
- Can be surface mounted using the ½" conduit entry point at top of housing

**Options:**

- Emergency (EM) battery back-up is UL 924 Listed to provide a minimum 90 minutes operation during a loss of power, with a 24 hour maximum recharge time for battery. Standard with self-test/ self-diagnostics as well as a heater for cold location operation to -25°C. AC power indicator and test switch are located on bottom face of the unit
- No PIR sensor option (NS) is offered without passive infrared (PIR) motion sensor, but with a photocontrol for use in dusk to dawn applications. Photocontrol can be disabled to be used as an always on or switchable fixture

**Testing & Compliance:**

- cULus Listed for Wet Locations, IP65 rated
- Emergency model UL 924 Listed, NFPA 70, NFPA 101
- DesignLights Consortium® (DLC) Qualified (verify QPL for specific models)
- Complies with Title 24 of the California Code of Regulations
- Operating temperatures: -25°C to 50°C (-13°F to 122°F)

**Warranty:**

Five Year Warranty (Terms and Conditions Apply)

Model: \_\_\_\_\_ Date: \_\_\_\_\_  
 Accessories: \_\_\_\_\_  
 Job Name: \_\_\_\_\_ Type: \_\_\_\_\_



Specs at a Glance*	
Wattage (W)	15 (EM model: 32)
Lumens (lm)	1500
Efficacy (LPW)	100
Equivalency	100W HID
CCT	4000K
CRI	≥ 70
Input Voltage	120-277VAC, 60Hz
Warranty	5 Years
Certifications	UL Listed for Wet Locations, DLC, UL 924, NFPA 101, Title 24
Operating Temp	-25°C to 50°C (-13°F to 122°F)
Weight	3.7 lbs (EM model: 4.5 lbs)

\*Nominal Wattage

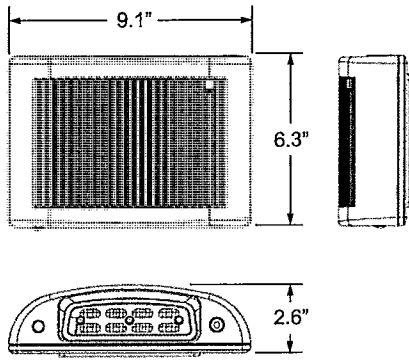
**Note:**

Environment and application will affect actual performance. Typical values and 25°C used for testing. Specifications subject to change without notice.

**Ordering Information**

Series	Wattage	CCT	Finish	Options
SLW	15 = 15W	4K = 4000K	(Blank) = Bronze BL = Black SV = Silver WH = White	EM <sup>1</sup> = UL 924 Emergency battery back-up with self-test/ self-diagnostics, cold location NS = Photocontrol only (no PIR motion sensor)
<b>Notes</b>				
<sup>1</sup> EM model not DLC Qualified product				

**Dimensions**



**PIR Motion Sensor Detection Radius**

Installation height	Rated detection radius
8'	6.5'
10'	8'
11'	10'

**Sample Photometrics**

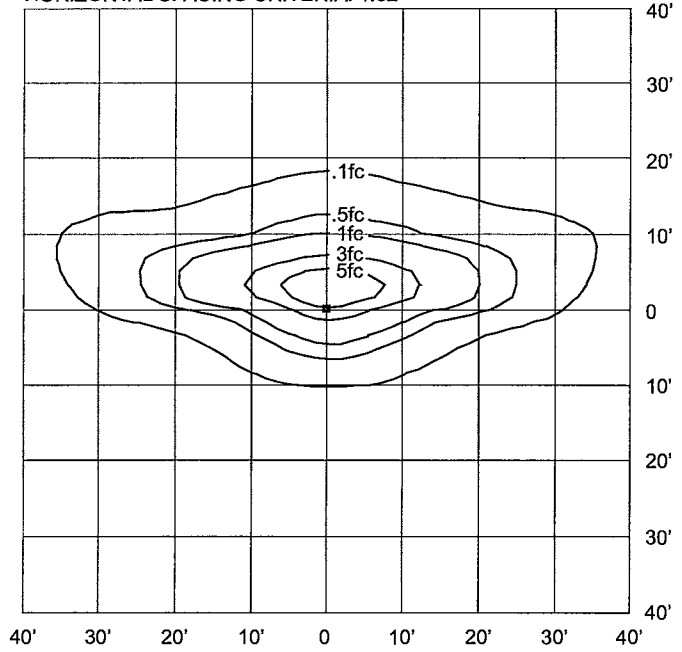
**SLW-15-4K**

IES: TYPE I SHORT

MOUNTING HEIGHT: 10'

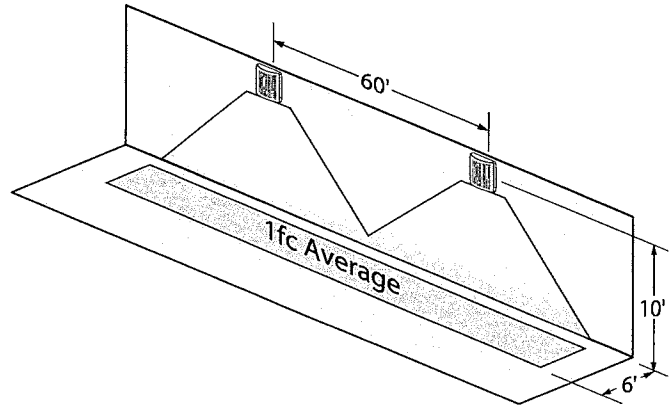
TILT: ZERO

HORIZONTAL SPACING CRITERIA: 1.32



**ON-CENTER SPACING FOR UNITS WITH "EM" OPTION**

Using multiple SLW units mounted at a typical 10' height delivers 60' on center spacing with a 6' wide path of egress.



Specifications are subject to change without notice. Installation must be performed in accordance with Barron Lighting Group installation instructions.