



THE CITY OF
GOOSE CREEK

BERKELEY CO. EST. 1961 SO. CAROLINA

**SUPPORTING MATERIALS FOR
ARCHITECTURAL REVIEW BOARD
MONDAY, OCTOBER 18, 2021
6:00 PM**

**MARGUERITE BROWN MUNICIPAL CENTER
CITY HALL COUNCIL CHAMBERS
519 N. GOOSE CREEK BLVD.
GOOSE CREEK, SOUTH CAROLINA**

MEMORANDUM

TO: MEMBERS OF THE ARCHITECTURAL REVIEW BOARD

FROM: LILI ORTIZ-LUDLUM, ADMINISTRATIVE ASSISTANT

DATE: OCTOBER 13, 2021

SUBJECT: MEETING NOTIFICATION

WHERE: MARGUERITE H. BROWN MUNICIPAL CENTER

This is to remind everyone that the next meeting of the Architectural Review Board is scheduled for Monday, October 18, 2021 at 6:00 p.m.

Please review the enclosed packet. Should you have any questions or comments prior to Monday's meeting, please do not hesitate to contact Brenda Moneer, Planning and Zoning Technician (x1116) or Mark Brodeur, Planning and Zoning Director(x.1118) at 843-797-6220.



MINUTES



**MINUTES
CITY OF GOOSE CREEK
ARCHITECTURAL REVIEW BOARD MEETING
MONDAY, SEPTEMBER 20, 2021, 6:00 P.M.
MARGUERITE H. BROWN MUNICIPAL CENTER
519 N. GOOSE CREEK BOULEVARD**

I. CALL TO ORDER, PLEDGE OF ALLEGIANCE AND ROLL CALL

Chairperson Dresel called the meeting to order at 6:00 p.m. and initiated the Pledge of Allegiance. Mrs. Moneer stated Mr. Gary Becker has resigned from the ARB and initiated roll call.

Present: Ricky Dresel, Jen Wise, David Cantrill, Sharon Clopton, Mary Kay Soto, Teri Victor

Absent: None

Staff Present: Planning and Zoning Director Mark Brodeur
Planning and Zoning Technician Brenda Moneer

II. APPROVAL OF MINUTES - AUGUST 16, 2021

Motion: A motion was made to accept the minutes as submitted. **Moved by** Board Member Cantrill, **Seconded by** Board Member Wise.

Discussion: None.

Vote: All voted in favor (6-0). Motion carried.

III. MINOR APPLICATIONS - NEW BUSINESS

A. 2021-065 SIG: EXCEL AUTO SALES: 137 ST. JAMES AVE - SIGNAGE

The applicant was not present. The board revisited this item later in the meeting.

B. 2021-071 SIG: TI-NEY BANGKOK II: 216 ST. JAMES AVE - SIGNAGE

The applicant presented the application. The applicant stated the proposed sign is a low-profile raceway, LED, channel letter sign in red cases and black returns. The applicant did not present color samples but stated she will bring them to staff. The board stated once the old sign is taken down, they want to make sure the fascia is painted before the new sign is installed. The board suggested staff approves the colors.

Motion: A motion was made to accept the application pending staff approval of colors. **Moved by** Board Member Soto, **Seconded by** Board Member Cantrill.

Discussion: Board Member Wise inquired if Board Member Soto can include in her motion that they do not want to see bright red and would like more of a darker color.

Amended Motion: A motion was made to accept the application pending staff approval of a dark red color and to paint the fascia when the old sign is removed. **Moved by** Board Member Soto, **Seconded by** Board Member Cantrill

Discussion: Mrs. Moneer stated there is a banner at this location that has not been permitted and needs a banner permit.

Amended Motion: A motion was made to accept the application pending staff's approval of a dark red color, the fascia to be painted once the old sign comes down and remove the banner. **Moved by** Board Member Soto, **Seconded by** Board Member Cantrill

Vote: All voted in favor (6-0). Motion carried.

C. 2021-064 SIG: HAPPY CRAB SEAFOOD: 117 PLANTATION NORTH BLVD, SUITE B – SIGNAGE

The applicant presented the application. He is proposing to have a mounted channel letter sign with white returns and red and blue vinyl located on the building facade over the entry. He is also proposing a pre-spaced vinyl sign for the tenant panels on the monument sign. The applicant presented samples. Mr. Brodeur stated this is a sign staff really likes because the white surrounding the letters make them look like reverse channel letters.

Motion: A motion was made to accept the application as presented with the addition of removing all the illegal signage to include the banner that is currently on the building, the two signs on each of the monument signs, and the three flags which are out front by the side of the road. **Moved by** Board Member Wise, **Seconded by** Board Member Cantrill.

Discussion: None.

Vote: All voted in favor (6-0). Motion carried.

D. 2021-069 SIG: JOE'S KWIK MART: 670 COLLEGE PARK ROAD – SIGNAGE

The applicant was not present. The board revisited this item later in the meeting.

E. 2021-068 SIG: GAIL'S SOUL FOOD: 102 BERKELEY SQUARE LANE, UNIT G – SIGNAGE

The applicant presented the application. They are proposing to have two MDO wall signs with printed decal of Gail's logo attached to the brick façade. One sign will be on the side of the building and the second sign will be located on the back of the building. The applicant presented and updated rendering to the board as well as samples. Mr. Brodeur stated staff prefers signs with dark backgrounds and light letters.

Motion: A motion was made to accept the application as submitted. **Moved by** Board Member Clopton, **Seconded by** Board Member Victor.

Discussion: Discussion regarding the size of one of the signs ensued. Mrs. Moneer stated the applicant was originally over their maximum allowable size and adjusted the application to meet the ordinance.

Vote: All voted in favor (6-0). Motion carried.

IV. OLD BUSINESS: MINOR APPLICATIONS

A. 2021-062 SIG: EXXON: 670 COLLEGE PARK ROAD – SIGNAGE

The applicant was not present. The board revisited this item later in the meeting.

B. 2021-067 SIG: DREAM LEARNING ACADEMY: 100 S. GOOSE CREEK BLVD – SIGNAGE

The applicant was not present. The board revisited this item later in the meeting.

V. OLD BUSINESS: MAJOR APPLICATIONS

A. 2021-063 NBLD: HURRICANE COFFEE: 2424 N. MAIN STREET – SITE PLAN, LANDSCAPING, ELEVATIONS COLORS, MATERIALS AND SIGNAGE.

The applicant stated they put together a revised signage plan. He stated the monument sign now has an opaque background with the address incorporated. He stated it has been moved back about twenty-two and a half feet from the curb. He presented the south elevations which showed an elevated roof sign for visibility. He presented engineer drawings.

Chairman Dresel shared his concern regarding the way the building was turned. The applicant stated the reason is to be able to see the broad side of the building from the road. It was stated the traffic flow currently would be using a portion of the second lot. The applicant provided backstory regarding the two lots for this property. He stated the two lots are both owned by the same person. He stated they only wanted to occupy one part of the lot and then get an easement into the other lot so that at some point the other lot

could be leased. It was stated the size of the building is 365 square feet. The applicant presented the landscaping plan.

Mr. Brodeur shared his concerns with the traffic flow. He suggested to rotate the building to get the turn lanes on one lot. He stated SCDOT is making them push the building this far back due to a queuing lane. Mr. Brodeur suggested adding a gable to the building for architectural interest and suggested placing the roof sign inside the gable. He stated he would love to work with the applicant to get the site plan right if possible.

Mr. Brodeur stated he is requesting two motions, one for the sign and one for the building.

Board Member Clopton stated she is concerned with the building as there is no colors or architectural interest. The applicant stated they were trying to match the buildings around them which is Carnes Crossroads.

The board made a motion regarding the building only:

Motion: A motion was made for a continuance for a date to be determined in order for the applicant to work with staff on giving the building more interest, site plan and traffic flow and if necessary, the board can meet for a special call meeting. **Moved By:** Board Member Clopton, **Seconded By:** Board Member Cantrill.

Discussion: None.

Vote: All voted in favor (6-0). Motion carried.

The board discussed signage. Chairman Dresel stated the signage on the roof will change with the addition of architectural features. He stated regarding the monument sign, the board wants to see the logo as opposed to a sign that just says coffee. Board Member Wise agreed and reminded the applicant that this was discussed at the last meeting. Discussion regarding the coffee monument sign ensued between the board and the applicant.

The board voted on the sign application:

Motion: A motion was made to deny the sign application as submitted. **Moved By:** Board Member Clopton, **Seconded By:** Board Member Wise.

Discussion: Discussion regarding adding signage in the special session meeting ensued.

Amended Motion: A motion was made to continue the sign application. **Moved By:** Board Member Clopton, **Seconded By:** Board Member Wise.

Vote: All voted in favor (6-0). Motion carried.

B. 2021-073 NBLD: TIME TO SHINE: 539 ST. JAMES AVE – SITE PLAN, LANDSCAPING, ELEVATIONS, COLORS AND MATERIALS

The applicant presented the application. He stated they worked with staff to present a project that will be suitable for the location. He stated brick columns and canopies were added. He stated the parking was changed to diagonal parking and brick enclosures were added around the vacuum spaces. The applicant stated the top windows coming down St. James Ave are gray tinted in order to not allow light out at night. The board thanked the applicant for taking their comments from the last meeting into consideration. Mr. Brodeur stated they did everything that was asked.

Motion: A motion was made to approve the application as submitted. **Moved By:** Board Member Wise, **Seconded By:** Board Member Soto.

Discussion: None

Vote: All voted in favor (6-0). Motion carried.

The board revisited **EXCEL AUTO SALES**. The applicant presented the application. He stated they are looking to replace the existing cabinet panel with the new Excel Auto Sales panel.

Motion: A motion was made to approve the application as submitted. **Moved By:** Board Member Clopton, **Seconded By:** Board Member Victor.

Discussion: Discussion regarding monument sign ensued. It was stated at this time a monument sign will not be added. Mr. Brodeur stated staff recommends that the field be opaque and the white inside the logo be translucent. The applicant stated this was discussed with the owner however they chose to submit what is being presented.

Vote: All voted in favor (6-0). Motion carried.

The board revisited **DREAM LEARNING ACADEMY**. The applicant stated he reviewed with the owner that the sign code will be changing and made suggestions regarding the proposed code. The applicant chose to stay with the current proposal. The applicant stated the current pole sign is eighteen (18) feet tall and it will be lowered to the maximum height of ten (10) feet. He stated the upper cabinet sign will remain and the reader box will be removed. The applicant stated the address will be added to both sides of the pole. The second sign is a panel that is not lit that will be directly mounted to the building façade. Mr. Brodeur stated he is happy that they brought the height of the pole sign down. Board Member Dresel stated a note needs to be made about landscaping around the sign.

Motion: A motion was made to approve the application as submitted with the addition of cleaning up the landscaping around the pole sign and

adding an eight-inch address to both sides of the pole sign. **Moved By:** Board Member Wise, **Seconded By:** Board Member Cantrill.

Discussion: None.

Vote: All voted in favor (6-0). Motion carried

The board revisited **JOE'S KWIK MART**. The applicant did not show.

Motion: A motion was made to deny the application as presented. **Moved By:** Board Member Wise, **Seconded By:** Board Member Victor.

Discussion: None.

Vote: All voted in favor (6-0). Motion carried.

The board revisited **EXXON**. The applicant did not show.

Motion: A motion was made to deny the application as presented. **Moved By:** Board Member Wise, **Seconded By:** Board Member Victor.

Discussion: None.

Vote: All voted in favor (6-0). Motion carried.

VI. CLOSING REMARKS AND ADJOURNMENT

Board Member Soto stated she needs something to tell her the size limit of signs regarding Gail's Soul Food. Mrs. Moneer stated the applicant originally had two signs that exceed her maximum square footage. Mrs. Moneer stated the applicant could either have one big sign not to exceed the maximum square footage, or two signs and reduce the size not to exceed the maximum allowance. The maximum allowance is based on the distance of the face of the building to the property line in relationship to multiplying that factor by the width of the business. It was stated training is coming up.

Motion: A motion was made to adjourn (7:22p.m.) **Moved By:** Board Member Clopton, **Seconded By:** Board Member Wise.

Discussion: There was none.

Vote: All voted in favor (6-0). Motion carried.

Ricky Dresel, Chairperson

Date _____



OLD BUSINESS: MINOR APPLICATIONS

2021-074 SIG

EXXON



**SIGN PERMIT APPLICATION
CITY OF GOOSE CREEK**

OFFICE USE ONLY

PERMIT #: 044092

AMOUNT DUE: \$ 75.00 PAID

TODAY'S DATE: 6-29-2021

PERMIT FEE: \$75.00

1. Business Owner Hess Retail Stores LLC Business Phone _____
Name of Business EXXON Alternate Phone _____
Street Address of Business 6710 College Park Rd.
Landlord/Lessor _____ Landlord's Phone _____

Sign Company Total Image Solutions Sign Co. Phone _____ Sign Co. Email _____
Sign Co. Contact Tabitha Gaudin Sign Co. Address _____

2. Cost of Sign(s) \$ _____ Sign Installation Cost \$ _____ Total Cost \$ _____
3. How many signs are you applying for? 3 How many signs does this business already have? 3 (replacing)
4. What kind of signs does this business already have? Conopy / Free Standing None
5. What type of business is applying for this sign permit:
A. A standalone business? Yes No
B. A part of a shopping center? Yes No If yes, shopping center name: _____

6. What is the TMS number for this property? 233 - 00 - 00 - 049

7. What is the front setback of the business in feet? 100' (The distance from the front property line to the front of business)
A. For corner lots only, what is the front setback for second street frontage in feet? _____

8. What is the width of the business in feet? 30' (The distance from wall to wall)
A. For corner lots only, what is the width of the business for second street frontage in feet? _____

9. What is the property's road frontage in feet? 275' (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:
A. The storefront in relation to adjacent businesses;
B. The specific location of proposed sign(s) on the property or building; and
C. The actual sign if it already exists.

OFFICE USE ONLY
MAX. NO. OF ALLOWED SIGNS: _____
MAX ALLOWED SIGN AREA: _____

11. Please attach drawings of each proposed sign showing (drawn to scale):
A. The completed sign as it will actually appear on the building
B. All dimensions;
C. Where the colors will appear;
D. The location on the property (on a plat) of proposed & existing freestanding signs
E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
• Please submit this application by the 1st Monday of the month for consideration that month by the ARB.
• The ARB meets on the 3rd Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

SIGN INFORMATION TABLE

Note: This application contains multiple pages

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	Plastic + metal	Plastic + metal	Plastic + metal
Illumination: Exterior, interior or not lighted	Internal	Internal	Internal
Type of Sign:	Free Standing	Canopy	Canopy
Height (FEET)	16'	30"	30"
Width (feet)	73"	72"	72"
Area (square feet)	49.6	15	15
All colors used on sign	White blue red	red + white	red + white
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	NO	NO	NO
Projection from building or cabinet width (thickness)			
Number of styles of lettering			
Height of letters (if channel letters)		32"	32"
If mounting individual letters, space between letters			
If mounting individual letters, space between words			
If window sign, size of window			
If changeable copy sign (reader board), number of lines			
If freestanding sign, distance between sign and street curb (ft)	Existing		
If freestanding sign, total height above grade (ft)	16'		
If freestanding sign, landscaping materials to be planted at base of sign	Existing		

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999)

By signing below, you certify the above information that you provided to be true and correct.

Signature of Applicant

Date

OFFICE USE ONLY	
Remarks: _____	
Approval: Zoning Administrator _____ Issued by: _____ Date: _____	

Exxon MID Sign

Reface existing sign to Exxon Synergy - 2 product MANUAL price sign (Regular/Diesel Efficient)



totalimagesolutions.com

196 Theater Rd.
South Hill, VA 23970

P: (434) 447-3347
F: (434) 447-3266

Existing Sign: 49.6 sq. ft, 10” OAH



Proposed Sign: 49.6 sq. ft, 10” OAH



Brand	Exxon
Address	670 College Park Rd. Ladson, SC 29445
Site ID	#2850
Branded Wholesaler	Project Sonic 7 Eleven
Date	8-09-21
Revisions	1
Designed By	Raheem R.

FOR PERMITTING PURPOSES ONLY

Exxon Gas Canopy

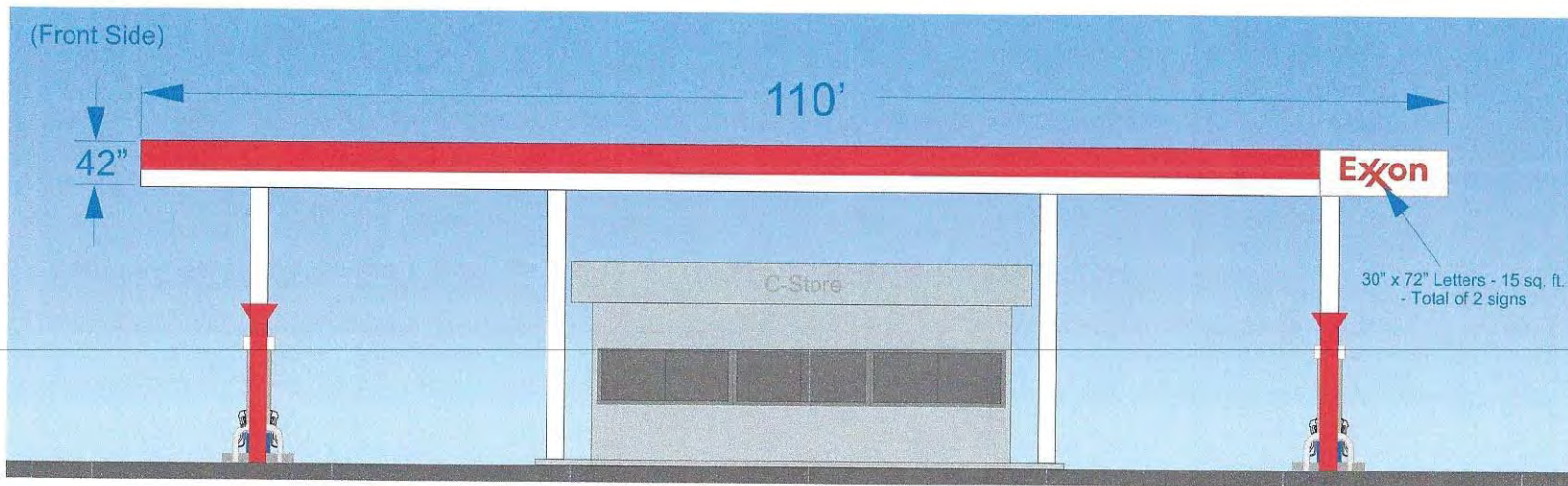
Existing Canopy:



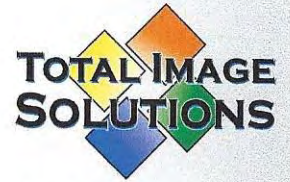
Proposed Canopy:



Secondary Fascia



Primary Fascia



totalimagesolutions.com

196 Theater Rd.
South Hill, VA 23970

P: (434) 447-3347
F: (434) 447-3266

Brand	Exxon
Address	670 College Park Rd. Ladson, SC 29445
Site ID	#2850
Branded Wholesaler	Project Sonic 7 Eleven
Date	6-8-21
Revisions	1
Designed By	Raheem R.

**FOR PERMITTING
PURPOSES ONLY**






Map data ©2021, Map data ©2021 20 ft





reface 10 sign

change canopy signs

670 College Park Rd

- 
Directions
- 
Save
- 
Nearby
- 
Send to your phone
- 
Share

 670 College Park Rd, Goose Creek, SC 29445

 2W86+7R Goose Creek, South Carolina

Photos



OLD BUSINESS: MINOR APPLICATIONS

2021-082 SIG

JOE'S KWIK MART

PAID

OFFICE USE ONLY

PERMIT #: 044460
AMOUNT DUE: \$ 75.00
DATE PAID: 09/09/2021

CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

Today's Date: 9/7/2021

Permit Fee: \$75.00

1. Business Owner Joel Kwik Mart Business Phone 843-821-4444

Name of Business Joel Kwik Mart Alternate Phone _____

Street Address of Business 670 college Park Rd Ladson SC 29456

Landlord/Lessor Joel Kwik Mart Landlord's Phone _____

Sign Company Lockwood Identity Inc dba SignArt Sign Co. Phone _____

Sign Co. Contact Sherri Hartsell Sign Co. Address _____ **13**

2. Cost of Sign(s) \$ _____ Sign Installation Cost \$ 1 Total Cost \$ _____

3. How many signs are you applying for? 1 How many signs does this business already have? 2

4. What kind of signs does this business already have? freestanding & Canopy None

5. What type of business is applying for this sign permit:
A. A stand alone business? Yes No
B. A part of a shopping center? Yes No If yes, shopping center name: _____

6. What is the TMS number for this property? 233 - 000 - 00 - 049

7. What is the front setback of the business in feet? 50 (The distance from the front property line to the front of business)
A. For corner lots only, what is the front setback for second street frontage in feet? _____

8. What is the width of the business in feet? 54 (The distance from wall to wall)
A. For corner lots only, what is the width of the business for second street frontage in feet? 26

9. What is the property's road frontage in feet? _____ (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:
A. The storefront in relation to adjacent businesses;
B. The specific location of proposed sign(s) on the property or building; and
C. The actual sign if it already exists.

11. Please attach drawings of each proposed sign showing (drawn to scale) :
A. The completed sign as it will actually appear on the building
B. All dimensions;
C. Where the colors will appear;
D. The location on the property (on a plat) of proposed & existing freestanding signs
E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
• Please submit this application by the 1st Monday of the month for consideration that month by the ARB.
• The ARB meets on the 3rd Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

OFFICE USE ONLY
MAX. NO. OF ALLOWED SIGNS: _____
MAX ALLOWED SIGN AREA: _____

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

Note: This application contains multiple pages

SIGN INFORMATION TABLE

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	Aluminum		
Illumination: Exterior, interior or not lighted	Not lighted		
Type of Sign:	wall		
Height (FEET)	1'8"		
Width (feet)	10'		
Area (square feet)	16.6		
All colors used on sign	Red, white and blue		
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	N/A		
Projection from building or cabinet width (thickness)	1/4"		
Number of styles of lettering	2		
Height of letters (if channel letters)	N/A		
If mounting individual letters, space between letters	N/A		
If mounting individual letters, space between words			
If window sign, size of window			
If changeable copy sign (reader board), number of lines			
If freestanding sign, distance between sign and street curb (ft)			
If freestanding sign, total height above grade (ft)			
If freestanding sign, landscaping materials to be planted at base of sign			

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.



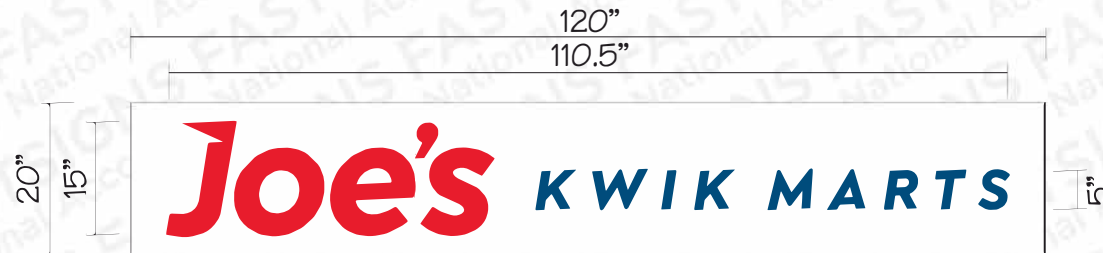
 Signature of Applicant

9/7/2021

Date

<u>OFFICE USE ONLY</u>	
Remarks: _____	

Approval: Zoning Administrator _____	18 of 59 Issued by: _____ Date: _____



FRONT ELEVATION



EXISTING

ALUMINUM PAN SIGN

- QTY: 1
- PAN FORMED ALUMINUM, WITH 1" RETURNS
- CORNERS ARE WELDED AND GROUND SMOOTH
- FACES AND RETURNS PAINTED WHITE
- ALL GRAPHICS TO BE CUT FROM 3M IJ-39C
- LETTER COLORS ARE PANTONE 185-C & PANTONE 301-C
- INSTALL WITH ANGLE ALUMINUM CLIP SYSTEM

FASTSIGNS NATIONAL ACCOUNTS	
ACCOUNT: JOE'S KWIK MART	
FILE: 228901-ART1	
REPRESENTATIVE: Erica Watkins	
ADDRESS: 670 College Park Rd Ladson SC 29456	
ORIGINAL DRAWING DATE: 06/10/21	
SCALE: NTS	
REV. #1 BY: BB	REV. DATE: 08/04/21
REVISION NOTES: Changed to pan.	
REV. #2 BY:	REV. DATE:
REVISION NOTES:	
REV. #3 BY:	REV. DATE:
REVISION NOTES:	
NOTES:	
REVISION-1 08/04/21	
DRAWN BY: J.Lazo	
REVISED BY: B. Busse	
THIS DRAWING IS THE PROPERTY OF FASTSIGNS INTERNATIONAL, INC. THE BORROWER AGREES, IT SHALL NOT BE REPRODUCED, COPIED OR DISPOSED OF, DIRECTLY OR INDIRECTLY, NOR USED FOR ANY PURPOSE WITHOUT	

LANDLORD OR AGENT SIGNATURE HERE

X

Please sign & return drawings to FASTSIGNS
Signature below indicates approval of BOTH design & placement of signs

DATE

DRAWING IS NOT TO SCALE BUT IS PROPORTIONATE

FIELD VERIFY ALL MEASUREMENTS BEFORE BEGINNING ANY WORK.
INSTALLER TO VERIFY MOUNTING SURFACE PRIOR TO INSTALLATION.



OLD BUSINESS: MINOR APPLICATIONS

2021-075 PT

CROWFIELD PARK PLAZA



**PERMIT APPLICATION
CITY OF GOOSE CREEK,
SOUTH CAROLINA**

Office Use Only: Permit Numbers		
	X	E
043683	B	M
	G	SP
	P	DP
BL#		

Street Address 119 Springhall Dr Construction Group/Classification _____
 Tax Map Number 243-03-00-013 Lot 1 Block C Subdivision Crowthield
 Property Owner Sumter's Landing Phone _____
 Contractor Sari Cardoza Phone _____
 Address _____ Contractor's State License # _____
 Owner Email _____ Contractor Email _____

Scope of Work (Please use reverse side of this form for a detailed description of work) over →

Use of Improvement Single Family Duplex Apartment Commercial Other Painting
 1st Floor Heated Sq. Ft. _____ 2nd Floor Heated Sq. Ft. _____ 3rd Floor Heated/Unheated (please circle) Sq. Ft. _____
 Garage Sq. Ft. _____ Attached/Detached (please circle) Heated/Unheated (please circle) Room Over Garage Sq. Ft. _____
 Carport Sq. Ft. _____ Porch Sq. Ft. _____ Patio Sq. Ft. _____
 Number of: Baths _____ Bedrooms _____ Fireplace _____ Rooms _____ Stories _____ Units _____
 Type of Fuel: Electric - #Amps _____ Gas - # Outlets _____ Outlet Type: Range/H2O/Heat/Fire/Grill/Other
 Cost of: Mechanical \$ _____ Land \$ _____ Construction \$ 0.00

OFFICE USE ONLY

Primary Structure (sq. ft. 11000)
 Cost per sq. ft. \$ _____ Construction value \$ _____
 Secondary Structure (sq. ft. _____)
 Cost per sq. ft. \$ _____ Construction value \$ _____

Application Fee (Non-refundable) \$ 25.00

PERMIT FEES

Primary Structure Permit Fee \$ _____
 Primary Structure Plan Review Fee \$ _____
 Secondary Structure Permit Fee \$ _____
 Secondary Structure Plan Review Fee \$ _____
 Impact Fee Res/Multi - Other \$ _____
 Impact Fee Com/Off/Ind sq. ft. _____ \$ _____
 Electrical Permit Fee \$ _____
 Plumbing Permit Fee \$ _____
 _____ sq. ft. x 2.30 = _____ Construction Value
 Mechanical Permit Fee \$ _____
 Gas Permit Fee \$ _____
 Pool Permit Fee \$ _____
 Dumpster Fee \$ _____
Total Fee Due \$ _____

Notes:

OWES \$

Zoning Administrator _____ Date _____
 Date of ARB Approval _____
 Building Inspector _____ Date _____
 Permit Technician _____ Date _____



April 4
8:53 AM

All Photos



22 of 59

Edit









OLD BUSINESS: MINOR APPLICATIONS

2021-078 SIG

HURRICANE COFFEE

PAID

OFFICE USE ONLY	
PERMIT #:	044270
AMOUNT DUE: \$	75.00
DATE PAID:	08/02/2021

CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

Today's Date: 7/30/21 Permit Fee: \$75.00

1. Business Owner Mistina Chambers Business Phone 206 399-7033
 Name of Business Hurricane Coffee Alternate Phone _____
 Street Address of Business 2424 N. Main Street; Summerville, SC 29486
 Landlord/Lessor _____ Landlord's Phone _____
 Sign Company POSITIVE SIGNS, LLC dba Signarama of Charleston Sign Co. Phone _____
 Sign Co. Contact Andy Bonner Sign Co. Address _____

2. Cost of Sign(s) _____ Sign Installation Cost \$ _____ Total Cost \$ _____

3. How many signs are you applying for? 2 How many signs does this business already have? NONE

4. What kind of signs does this business already have? None None

5. What type of business is applying for this sign permit:
 A. A stand alone business? Yes No
 B. A part of a shopping center? Yes No If yes, shopping center name: _____

6. What is the TMS number for this property? 222 - 07 - 00 - 004

7. What is the front setback of the business in feet? 106 (The distance from the front property line to the front of business)
 A. For corner lots only, what is the front setback for second street frontage in feet? _____

8. What is the width of the business in feet? 24.6 (The distance from wall to wall)
 A. For corner lots only, what is the width of the business for second street frontage in feet? _____

9. What is the property's road frontage in feet? N/A (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:
 A. The storefront in relation to adjacent businesses;
 B. The specific location of proposed sign(s) on the property or building; and
 C. The actual sign if it already exists.

OFFICE USE ONLY	
MAX. NO. OF ALLOWED SIGNS:	_____
MAX ALLOWED SIGN AREA:	_____

11. Please attach drawings of each proposed sign showing (drawn to scale):
 A. The completed sign as it will actually appear on the building
 B. All dimensions;
 C. Where the colors will appear;
 D. The location on the property (on a plat) of proposed & existing freestanding signs
 E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
 • Please submit this application by the 1st Monday of the month for consideration that month by the ARB.
 • The ARB meets on the 3rd Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

Note: This application contains multiple pages

SIGN INFORMATION TABLE

Required Information	Sign 1 Roof Mounted	Sign 2 Freestanding	Sign 3
Materials: (metal, plastic, wood, etc.)	Aluminum, Plastic Face	Aluminum with Plastic Faces	
Illumination: Exterior, interior or not lighted	Interior: LED	Interior: LED	
Type of Sign:	Roof mounted Capover cabinet	Freestanding Monument Sign	
Height (FEET)	5'	Cabinet itself 7' Plus Base: 7'	Cabinet itself: 5'
Width (feet)	6.875'	9'	
Area (square feet)	34.375	45	
All colors used on sign	Blue, Brown, Black, White	Blue, Brown, Black, White	
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	Y (entire sign)	Y: Arrow is 24" x 74"	
Projection from building or cabinet width (thickness)	5"		
Number of styles of lettering	1	1	
Height of letters (if channel letters)	N/A	N/A	
If mounting individual letters, space between letters	N/A	N/A	
If mounting individual letters, space between words	N/A	N/A	
If window sign, size of window	N/A	N/A	
If changeable copy sign (reader board), number of lines	N/A	N/A	
If freestanding sign, distance between sign and street curb (ft)	N/A	12.5'	
If freestanding sign, total height above grade (ft)	N/A	7'	
If freestanding sign, landscaping materials to be planted at base of sign	N/A	short decorative plants (annuals, perennials, etc.)	

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.


Signature of Applicant

7/30/21
Date

OFFICE USE ONLY

Remarks: _____

Approval: Zoning Administrator _____ 27 of 59 Issued by: _____ Date: _____



OPTION A 10-1-21



OPTION B 10-1-21



OPTION C 10-1-21



OPTION D 10-1-21

Job Name

Hurricane Coffee

Date:

10/1/21

Notes

Sign options for storefront

- A - 60" x 43.5"
- B - 60" x 43.5"
- C - 47.5" x 43.5"
- D - 47.5" x 43.5"

CUSTOMER'S APPROVAL

- Approved
- Approved With Changes
- Revise and Proof Again

Signature _____

Date _____

PROPERTY MANAGER'S APPROVAL

- Approved
- Approved With Changes
- Revise and Proof Again

Signature _____

Date _____



Signarama
CHARLESTON



1340 Chuck Dawley Blvd., Mt. Pleasant, SC 29464 • PH 843.881.7881 • Fax 843.881.7883 • Andy@Signarama-Charleston.com • Signarama-Charleston.com

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OPTION E 10-1-21



OPTION F 10-1-21



OPTION G 10-1-21



OPTION H 10-1-21

Job Name

Hurricane Coffee

Date:

10/1/21

Notes

Sign options for storefront

E, F, G, H - 43.5" diameter

CUSTOMER'S APPROVAL

- Approved
- Approved With Changes
- Revise and Proof Again

Signature _____

Date _____

PROPERTY MANAGER'S APPROVAL

- Approved
- Approved With Changes
- Revise and Proof Again

Signature _____

Date _____



Signarama
CHARLESTON



1340 Chuck Dawley Blvd., Mt. Pleasant, SC 29464 • PH 843.881.7881 • Fax 843.881.7883 • Andy@Signarama-Charleston.com • Signarama-Charleston.com

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Proposed Roof-Mounted Sign:
Internally illuminated logobox cabinet

Embossed and painted. Cap over face
Internal illumination. **Quantity 1**



Job Name

Hurricane Coffee Co

Date:

7/31/20

Notes

82.5" wide x 60" tall Sign Cabinet

Square Footage: 34.4

CUSTOMER'S APPROVAL

- Approved
- Approved With Changes
- Revise and Proof Again

Signature _____

Date _____

PROPERTY MANAGER'S APPROVAL

- Approved
- Approved With Changes
- Revise and Proof Again

Signature _____

Date _____



Signarama
CHARLESTON

1340 Chuck Dawley Blvd., Mt. Pleasant, SC 29464 • PH 843.881.7881 • Fax 843.881.7883 • Andy@Signarama-Charleston.com • Signarama-Charleston.com



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Job Name

Hurricane Coffee

Date:

10/1/21

Notes

Sign options for roadside sign

A - 9' x 5' sign cabinet with 7' x 2' skirt

B - 8' x 4' sign cabinet with 7' x 4' skirt

C - 5' x 6' sign cabinet with 4' x 2' skirt

D - 5' x 6' sign cabinet with 4' x 2' skirt

All options have opaque background so that lighting to shine through the logo and graphics only

CUSTOMER'S APPROVAL

- Approved
- Approved With Changes
- Revise and Proof Again

Signature _____

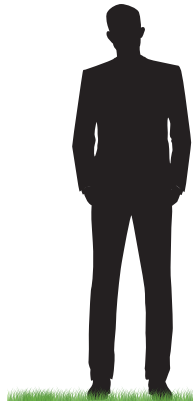
Date _____

PROPERTY MANAGER'S APPROVAL

- Approved
- Approved With Changes
- Revise and Proof Again

Signature _____

Date _____



2424

OPTION A 10-1-21

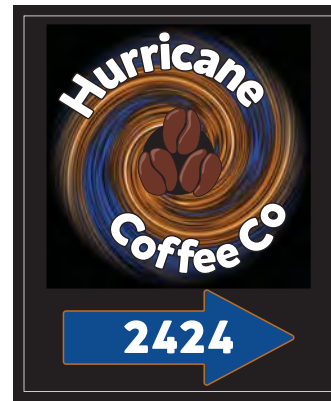


2424

OPTION B 10-1-21



OPTION C 10-1-21



OPTION D 10-1-21



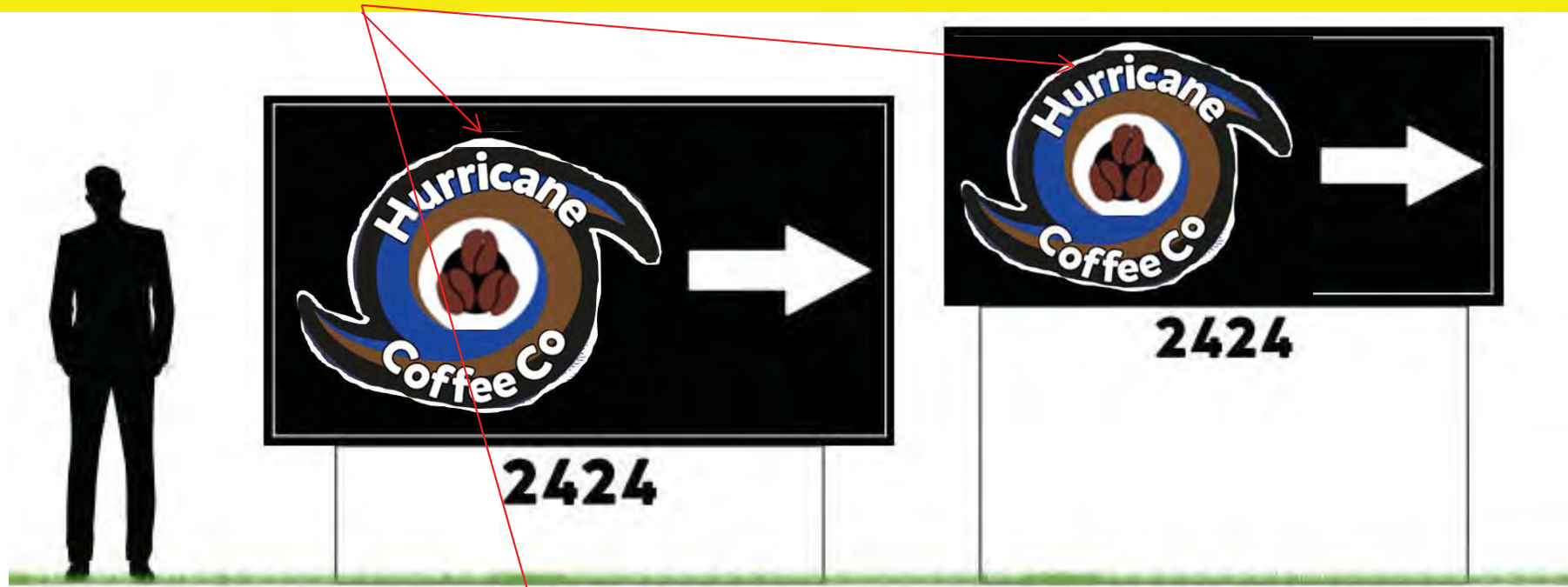
Signarama
CHARLESTON



1340 Chuck Dawley Blvd., Mt. Pleasant, SC 29464 • PH 843.881.7881 • Fax 843.881.7883 • Andy@Signarama-Charleston.com • Signarama-Charleston.com

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The white lines would be smoothed out by graphic designer. This is rough last minute idea



OPTION A 10-2-21

OPTION B 10-2-21



OPTION C 10-2-21
33 of 59



NEW BUSINESS: MINOR APPLICATIONS

2021-076 SIG

DELIVERANCE OF FAITH

PAID

OFFICE USE ONLY	
PERMIT #:	044631
AMOUNT DUE: \$	75.00
DATE PAID:	10/05/2021

CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

Today's Date: 10/4/21 Permit Fee: \$75.00

1. Business Owner Apastle Rosita Simmons Business Phone _____
 Name of Business Deliverance and Faith Ministries Alternate Phone 901-340-1182
 Street Address of Business 107 B2 St. James Ave.
 Landlord/Lessor Flam's Investments Landlord's Phone _____
 Sign Company CAROLINA MOON SIGNS Sign Co. Phone _____
 Sign Co. Contact _____ Sign Co. Address _____

2. Cost of Sign(s) \$ _____ Sign Installation Cost \$ _____ Total Cost \$ _____

3. How many signs are you applying for? 1 How many signs does this business already have? 0

4. What kind of signs does this business already have? None

5. What type of business is applying for this sign permit:
 A. A stand alone business? Yes No
 B. A part of a shopping center? Yes No If yes, shopping center name: Flam's Crossroads

6. What is the TMS number for this property? 243-12-07-015

7. What is the front setback of the business in feet? 150' (The distance from the front property line to the front of business)
 A. For corner lots only, what is the front setback for second street frontage in feet? _____

8. What is the width of the business in feet? 30' (The distance from wall to wall)
 A. For corner lots only, what is the width of the business for second street frontage in feet? _____

9. What is the property's road frontage in feet? _____ (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:
 A. The storefront in relation to adjacent businesses;
 B. The specific location of proposed sign(s) on the property or building; and
 C. The actual sign if it already exists.

OFFICE USE ONLY	
MAX. NO. OF ALLOWED SIGNS:	_____
MAX ALLOWED SIGN AREA:	_____

11. Please attach drawings of each proposed sign showing (drawn to scale) :
 A. The completed sign as it will actually appear on the building
 B. All dimensions;
 C. Where the colors will appear;
 D. The location on the property (on a plat) of proposed & existing freestanding signs
 E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.

- Please submit this application by the 1st Monday of the month for consideration that month by the ARB.
- The ARB meets on the 3rd Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.


Note: This application contains multiple pages

SIGN INFORMATION TABLE

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	ACM, 3mil Aluminum Composite Material		
Illumination: Exterior, interior or not lighted	NOT lighted		
Type of Sign:	WALL MOUNT		
Height (FEET)	4'		
Width (feet)	8'		
Area (square feet)	32 sq		
All colors used on sign	Black/White		
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	YES 8" w x 11" h		
Projection from building or cabinet width (thickness)	3mil		
Number of styles of lettering	TWO		
Height of letters (if channel letters)	N/A		
If mounting individual letters, space between letters	N/A		
If mounting individual letters, space between words	N/A		
If window sign, size of window	N/A		
If changeable copy sign (reader board), number of lines	N/A		
If freestanding sign, distance between sign and street curb (ft)	N/A		
If freestanding sign, total height above grade (ft)	N/A		
If freestanding sign, landscaping materials to be planted at base of sign	N/A		

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.



 Signature of Applicant

10/4/21

 Date

OFFICE USE ONLY		
Remarks: _____		

Approval: Zoning Administrator _____	Issued by: _____	Date: _____

A



107 St James Ave Ste B-2 | Goose Creek, SC 29445



SITE PLAN NTS

Client:
Deliverance and Faith Ministries

Location:
107 St James Ave
Ste B-2
Goose Creek, SC 29445

CAROLINA SIGN Co. 779.SIGN
107 St. James Ave
Ste A2
Goose Creek, SC 29445
843-779-7446
carolinasignco.com

Project Updates

▲	Sept 29th '21 HW
▲	n/a
▲	n/a
▲	n/a
▲	n/a
▲	n/a
▲	n/a
▲	n/a
▲	n/a
▲	n/a

Project Manager:
Hugh Welch
E-Mail:
hugh@carolinasignco.com

Approval Signatures

X Client

X Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

This original unpublished drawing is submitted solely for the project being planned. It is not to be copied or shown to persons outside of your organization without express written authorization from CAROLINA SIGN COMPANY. All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. CAROLINA SIGN COMPANY will do their best to maintain the design intent of these drawings at all times. If the owner or owner's representative wishes to receive detail drawings on all changes during the fabrication process, CAROLINA SIGN COMPANY must be advised in writing prior to the start of fabrication.

Sheet Title
Site

Page Number
1 of 3



A	3mil Aluminum Composite Panel			Sign Area 32 sf
---	-------------------------------	--	--	--------------------

Client:
Deliverance and Faith Ministries

Location:
107 St James Ave
Ste B-2
Goose Creek, SC 29445

CAROLINA SIGN Co 779.SIGN
107 St. James Ave
Ste A2
Goose Creek, SC 29445
843-779-7446
carolinasingnco.com

Project Updates

- ▲ Sept 29th '21 HW
- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a

Project Manager:
Hugh Welch
E-Mail:
hugh@carolinasingnco.com

Approval Signatures

X
Client

X
Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

This original unpublished drawing is submitted solely for the project being planned. It is not to be copied or shown to persons outside of your organization without express written authorization from CAROLINA SIGN COMPANY. All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. CAROLINA SIGN COMPANY will do their best to maintain the design intent of these drawings at all times. If the owner or owner's representative wishes to receive detail drawings on all changes during the fabrication process, CAROLINA SIGN COMPANY must be advised in writing prior to the start of fabrication.

Sheet Title
Exterior

Page Number
2 of 3



CURRENT & PROPOSED

Client:
Deliverance and Faith Ministries

Location:
107 St James Ave
Ste B-2
Goose Creek, SC 29445

CAROLINA
SIGN co 779.SIGN

107 St. James Ave
Ste A2
Goose Creek, SC 29445
843-779-7446
carolinasignco.com

Project Updates

- Sept 29th '21 HW
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a

Project Manager:
Hugh Welch
E-Mail:
hugh@carolinasignco.com

Approval Signatures

Client

Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

This original unpublished drawing is submitted solely for the project being planned. It is not to be copied or shown to persons outside of your organization without express written authorization from CAROLINA SIGN COMPANY. All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. CAROLINA SIGN COMPANY will do their best to maintain the design intent of these drawings at all times. If the owner or owner's representative wishes to receive detail drawings on all changes during the fabrication process, CAROLINA SIGN COMPANY must be advised in writing prior to the start of fabrication.

Sheet Title
Exterior

Page Number

3 of 3



NEW BUSINESS: MINOR APPLICATIONS

2021-083 SIG

ESPIONAGE SALON AND SPA

PAID

OFFICE USE ONLY	
PERMIT #:	044574
AMOUNT DUE: \$	75.00
DATE PAID:	09/23/2021

CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

Today's Date: 9/21/21 Permit Fee: \$75.00

1. Business Owner Esperanza Pineda Business Phone _____
 Name of Business Espionage Salon + Spa Alternate Phone 843-324-6848
 Street Address of Business 136 Reed Bank Rd.

Landlord/Lessor _____ Landlord's Phone _____
 Sign Company Carolina Moon Signs Sign Co. Phone _____
 Sign Co. Contact Hugh Welch Sign Co. Address _____

2. Cost of Sign(s) \$ _____ Sign Installation Cost \$ _____ Total Cost \$ _____

3. How many signs are you applying for? 1 How many signs does this business already have? 0

4. What kind of signs does this business already have? None

5. What type of business is applying for this sign permit:
 A. A stand alone business? Yes No
 B. A part of a shopping center? Yes No If yes, shopping center name: _____

6. What is the TMS number for this property? 244-09-01-058

7. What is the front setback of the business in feet? 75' (The distance from the front property line to the front of business)
 A. For corner lots only, what is the front setback for second street frontage in feet? _____

8. What is the width of the business in feet? 60' (The distance from wall to wall)
 A. For corner lots only, what is the width of the business for second street frontage in feet? _____

9. What is the property's road frontage in feet? _____ (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:
 A. The storefront in relation to adjacent businesses;
 B. The specific location of proposed sign(s) on the property or building; and
 C. The actual sign if it already exists.

OFFICE USE ONLY	
MAX. NO. OF ALLOWED SIGNS:	_____
MAX ALLOWED SIGN AREA:	_____

11. Please attach drawings of each proposed sign showing (drawn to scale) :
 A. The completed sign as it will actually appear on the building
 B. All dimensions;
 C. Where the colors will appear;
 D. The location on the property (on a plat) of proposed & existing freestanding signs
 E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
 • Please submit this application by the 1st Monday of the month for consideration that month by the ARB.
 • The ARB meets on the 3rd Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

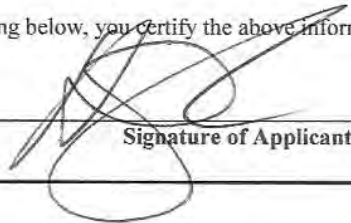
Note: This application contains multiple pages

SIGN INFORMATION TABLE

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	Aluminum/Wood/Vinyl Steels		
Illumination: Exterior, interior or not lighted	NOT Lighted		
Type of Sign:	Freestanding		
Height (FEET)	4'		
Width (feet)	8'		
Area (square feet)	32 sq		
All colors used on sign	Coral/Blue/Yellow/Purple/Teal/Orange/Green/Black		
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	NO		
Projection from building or cabinet width (thickness)	N/A		
Number of styles of lettering	TWO		
Height of letters (if channel letters)	N/A		
If mounting individual letters, space between letters	N/A		
If mounting individual letters, space between words	N/A		
If window sign, size of window	N/A		
If changeable copy sign (reader board), number of lines	N/A		
If freestanding sign, distance between sign and street curb (ft)	20'		
If freestanding sign, total height above grade (ft)	7'6"		
If freestanding sign, landscaping materials to be planted at base of sign	Evergreen Shrubs		

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.



 Signature of Applicant

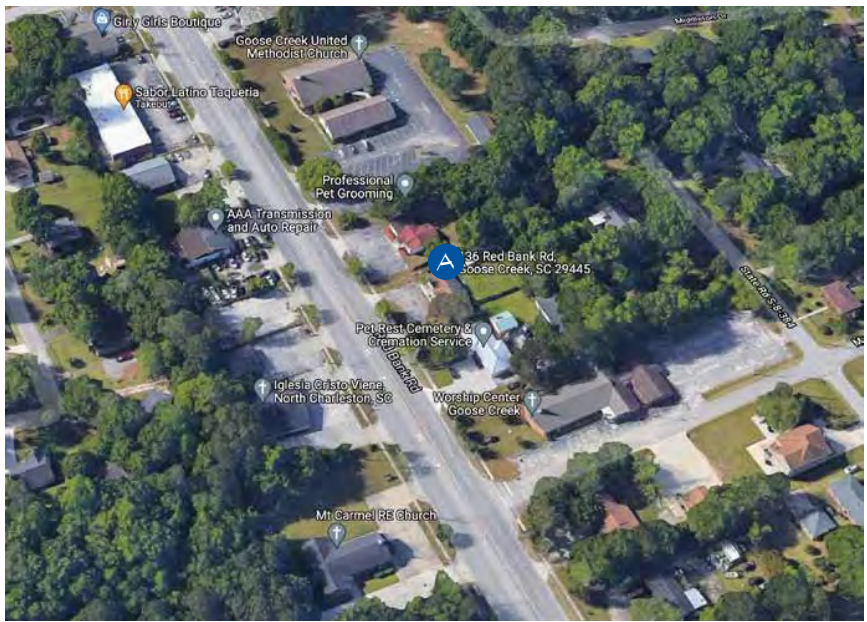
9/21/21

 Date

OFFICE USE ONLY		
Remarks: _____		
Approval: Zoning Administrator _____ Issued by: _____ Date: _____		



136 Red Bank Rd. Goose Creek, SC 29445



SITE PLAN

Client:
Espionage Salon, Spa & Cafe

Location:
136 Red Bank Rd.
Goose Creek, SC
29445

CAROLINA SIGN Co. 779.SIGN
107 St. James Ave
Ste A2
Goose Creek, SC 29445
843-779-7446
carolinasignco.com

Project Updates

- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a

Project Manager:
Hugh Welch
E-Mail: hugh@carolinasignco.com

Approval Signatures

X Client

X Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

This original unpublished drawing is submitted solely for the project being planned. It is not to be copied or shown to persons outside of your organization without express written authorization from CAROLINA SIGN COMPANY. All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. CAROLINA SIGN COMPANY will do their best to maintain the design intent of these drawings at all times. If the owner or owner's representative wishes to receive detail drawings on all changes during the fabrication process, CAROLINA SIGN COMPANY must be advised in writing prior to the start of fabrication.

Sheet Title
Site

Page Number
1 of 3



Fabricate & install one (1) 10mm Alumacorr Panel with printed graphics on 4x4' posts (monument style).

Client:
Espionage Salon, Spa & Cafe
Location:
136 Red Bank Rd.
Goose Creek, SC
29445

CAROLINA SIGN Co 779.SIGN
107 St. James Ave
Ste A2
Goose Creek, SC 29445
843-779-7446
carolinasingnco.com

Project Updates

- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a

Project Manager:
Hugh Welch
E-Mail:
hugh@carolinasingnco.com

Approval Signatures

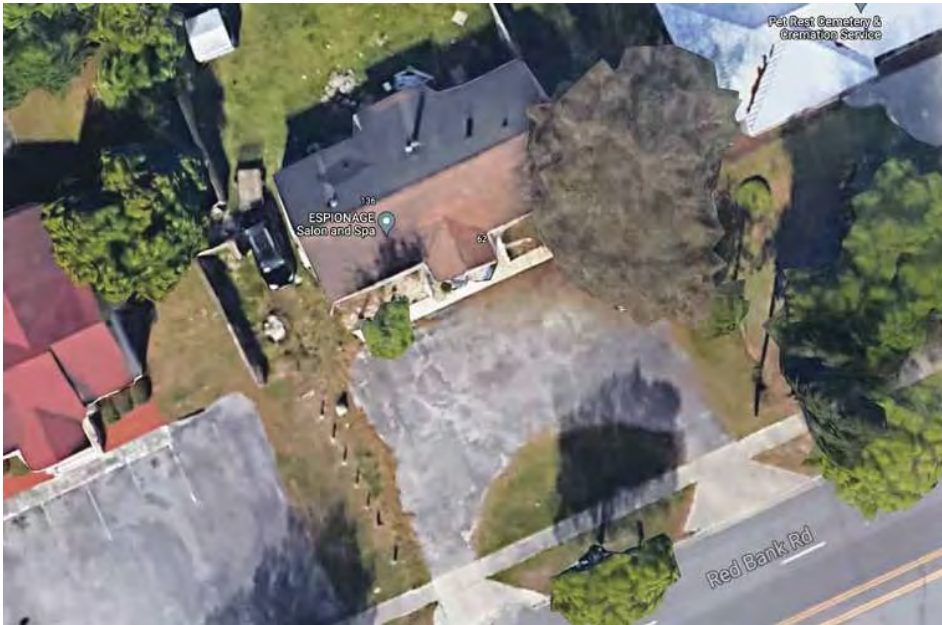
Client
 Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

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Sheet Title
Site

Page Number
2 of 3



Client:
Espionage Salon, Spa & Cafe

Location:
136 Red Bank Rd.
Goose Creek, SC
29445

CAROLINA SIGN Co 779.SIGN
107 St. James Ave
Ste A2
Goose Creek, SC 29445
843-779-7446
carolinasignco.com

Project Updates

- 1
- 2 n/a
- 3 n/a
- 4 n/a
- 5 n/a
- 6 n/a
- 7 n/a
- 8 n/a
- 9 n/a
- 10 n/a

Project Manager:
Hugh Welch
E-Mail:
hugh@carolinasignco.com

Approval Signatures

X Client

X Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

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Sheet Title
Site

Page Number
3 of 3



NEW BUSINESS: MINOR APPLICATIONS

2021-084 SIG

ALIGNLIFE

OFFICE USE ONLY	
PERMIT #:	044628
AMOUNT DUE: \$	75.00
DATE PAID:	10/04/2021

CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

Today's Date: Oct 1, 2021

Permit Fee: \$75.00

PAID

1. Business Owner Alignlife Business Phone 843-747-1920
 Name of Business Alignlife Alternate Phone _____
 Street Address of Business 105 Greenland Dr.
 Landlord/Lessor _____ Landlord's Phone _____
 Sign Company Miller Signs Sign Co. Phone [REDACTED]
 Sign Co. Contact Shelby Bates Sign Co. Address [REDACTED]

2. Cost of Sign(s) \$ _____ Sign Installation Cost \$ _____ Total Cost \$ [REDACTED]

3. How many signs are you applying for? 1 How many signs does this business already have? 1 - will be replaced with this one

4. What kind of signs does this business already have? Post/panel None

5. What type of business is applying for this sign permit:
 A. A stand alone business? Yes No
 B. A part of a shopping center? Yes No If yes, shopping center name: _____

6. What is the TMS number for this property? _____

7. What is the front setback of the business in feet? 74 (The distance from the front property line to the front of business)
 A. For corner lots only, what is the front setback for second street frontage in feet? _____

8. What is the width of the business in feet? 80 (The distance from wall to wall)
 A. For corner lots only, what is the width of the business for second street frontage in feet? _____

9. What is the property's road frontage in feet? NA (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:
 A. The storefront in relation to adjacent businesses;
 B. The specific location of proposed sign(s) on the property or building; and
 C. The actual sign if it already exists.

OFFICE USE ONLY	
MAX. NO. OF ALLOWED SIGNS:	_____
MAX ALLOWED SIGN AREA:	_____

11. Please attach drawings of each proposed sign showing (drawn to scale):
 A. The completed sign as it will actually appear on the building
 B. All dimensions;
 C. Where the colors will appear;
 D. The location on the property (on a plat) of proposed & existing freestanding signs
 E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
- Please submit this application by the 1st Monday of the month for consideration that month by the ARB.
 - The ARB meets on the 3rd Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

Note: This application contains multiple pages

SIGN INFORMATION TABLE

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	Wood		
Illumination: Exterior, interior or not lighted	non illum		
Type of Sign:	Post/panel-freestanding		
Height (FEET)	4		
Width (feet)	3.5		
Area (square feet)	13.33		
All colors used on sign	orange/grey/black/white		
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	NO		
Projection from building or cabinet width (thickness)	4" post		
Number of styles of lettering	2		
Height of letters (if channel letters)	NA		
If mounting individual letters, space between letters	NA		
If mounting individual letters, space between words	NA		
If window sign, size of window	NA		
If changeable copy sign (reader board), number of lines	NA		
If freestanding sign, distance between sign and street curb (ft)	11		
If freestanding sign, total height above grade (ft)	4		
If freestanding sign, landscaping materials to be planted at base of sign	grass		

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.

Shelby Miller Bates
Signature of Applicant

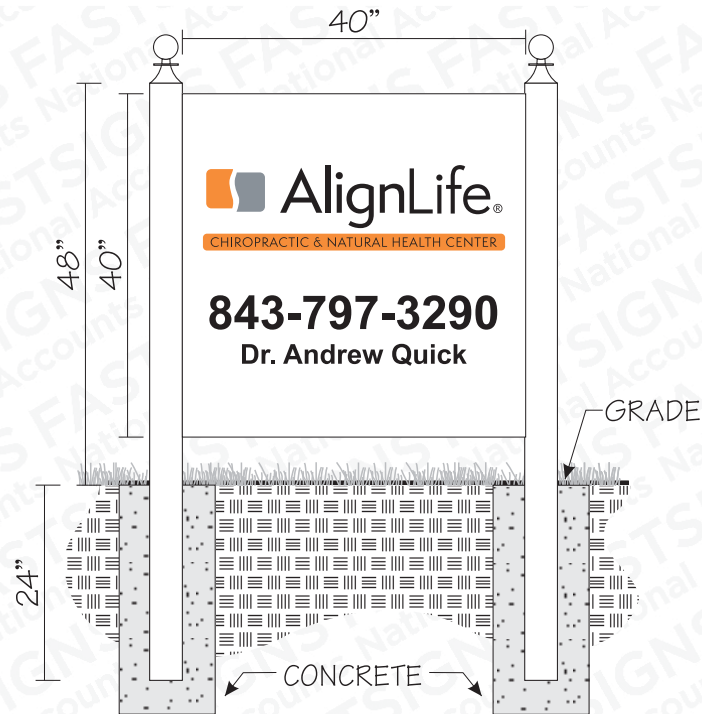
10/1/2021
Date

OFFICE USE ONLY		
Remarks: _____		
Approval: Zoning Administrator _____	Issued by: _____	Date: _____



FRONT ELEVATION

**SURVEY REQUIRED PRIOR TO INSTALLATION,
PER GROUND (SLOPE) CONDITIONS**



D/S DIBOND POST AND PANEL SIGN

- QTY. 1
- 3mm DOUBLE SIDED DIBOND PANEL TO BE INSTALLED WITH TWO 4" x 4" x 72" WOOD POSTS.
- BACKGROUND AND POST PAINTED WHITE
- LOGO COLORS ARE PANTONE 715-C ORANGE, PANTONE 7544-C GREY AND BLACK
- COPY TO BE BLACK

**** INSTALLER TO PAINT POSTS ****

DRAWING IS NOT TO SCALE BUT IS PROPORTIONATE

**FIELD VERIFY ALL MEASUREMENTS BEFORE BEGINNING ANY WORK.
INSTALLER TO VERIFY MOUNTING SURFACE PRIOR TO INSTALLATION.**

LANDLORD OR AGENT SIGNATURE HERE

Please sign & return drawing/s to **FASTSIGNS**

Signature below indicates approval of **BOTH** design & placement of sign/s

X _____

DATE _____

FASTSIGNS NATIONAL ACCOUNTS

ACCOUNT: **ALIGN LIFE**

FILE: **229774-ART4**

REPRESENTATIVE:

ADDRESS:
105 Greenland Dr
Goose Creek SC 29445-5354

ORIGINAL DRAWING DATE: 07/06/21

SCALE: NTS

REV. #1 BY: RS	REV. DATE: 08/12/21
----------------	---------------------

REVISION NOTES:
Updated phone number

REV. #2 BY: RS	REV. DATE: 08/12/21
----------------	---------------------

REVISION NOTES:
Changed size of face;
Added setback to imposed photo

REV. #3 BY:	REV. DATE:
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REVISION NOTES:

REVISION-2
08/18/21

DRAWN BY: J.Stillman

REVISED BY: Sledge

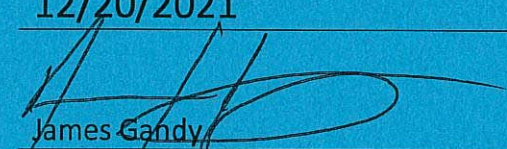
THIS DRAWING IS THE PROPERTY OF FASTSIGNS INTERNATIONAL, INC. THE BORROWER AGREES, IT SHALL NOT BE REPRODUCED, COPIED OR DISPOSED OF, DIRECTLY OR INDIRECTLY, NOR USED FOR ANY PURPOSE WITHOUT



48" x 40"
DOUBLE SIDED
POST AND
PANEL SIGN
INSTALLED
WITH 11' SET
BACK

Crowfield Plantation Community Services Association
ARB Permit

Item # 47

PROPERTY OWNER	
NAME:	<u>Deborah Dove-Kidd</u>
SUBDIVISION:	<u>Executive Park</u>
ADDRESS:	<u>105 Greenland Drive</u>
ISSUE DATE:	<u>09/20/2021</u>
NATURE OF WORK	
<u>Miscellaneous – new signage</u> AS DESCRIBED ON PERMIT APPLICATION	
EXPIRATION DATE:	<u>12/20/2021</u>
ISSUED BY:	 <u>James Gandy</u> ARB Chairperson

This permit must be displayed on the front of the main structure at the work site, viewable from the street. Failure to post this permit will result in a \$25.00 fine.

This Permit is contingent upon being in full accord with the covenants, restrictions and other requirements applicable to the subdivision of Crowfield Plantation in which the property is located. Any additional authorization(s), if required by the authority having jurisdiction, is the responsibility of the property owner to secure from that agency.

Questions regarding this permit may be resolved by reviewing the Covenants and Restrictions applicable to the respective subdivision of Crowfield Plantation, which can be found at www.crowfieldhoa.net.

Property owner is required to provide CPCSAs with photos of project completion within 15 days after work is accomplished and grants authority to the CPCSAs representative to review the completed work on the property.

Crowfield Plantation Community Services Association, Inc.
101 Hunters Lane, Goose Creek, SC 29445
843-572-4758 843-572-0540 fax
www.crowfieldhoa.net

September 22, 2021

Deborah Dove-Kidd
PO Box 810
Goose Creek, SC 29445

RE: 105 Greenland Drive

Dear Deborah Dove-Kidd,

After Careful consideration, review, and evaluation of all the facts and information provided to us, the Architectural Review Board, reached a decision concerning your application.

Application for: **Miscellaneous – new signage**

The Architectural Review Board has made the following determination to **Approved**.

This permit expires 12/20/2021. If the project is not completed by expiration date contact the office for instructions on obtaining an extension. Any changes from the original submission will require resubmittal.

Please email completion pictures are to compfour@crowfieldhoa.net. Thank you for your cooperation and best wishes on your project.

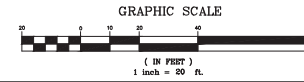
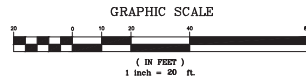
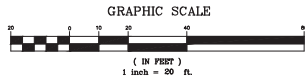
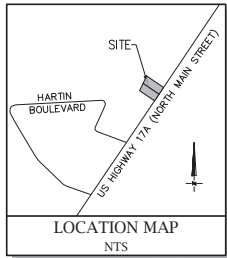
Regards,
CPCSA
Architectural Review Board



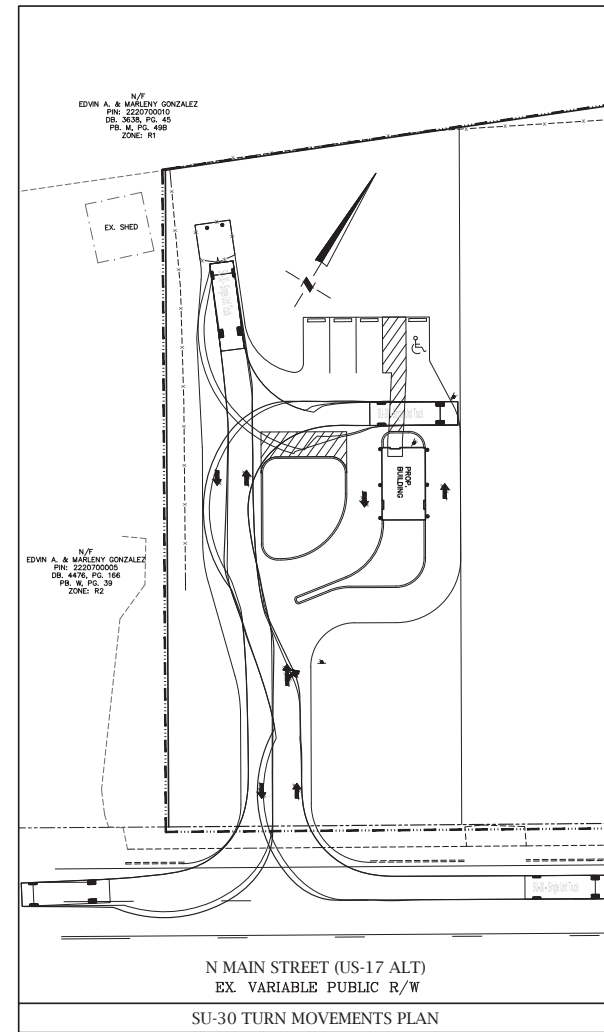
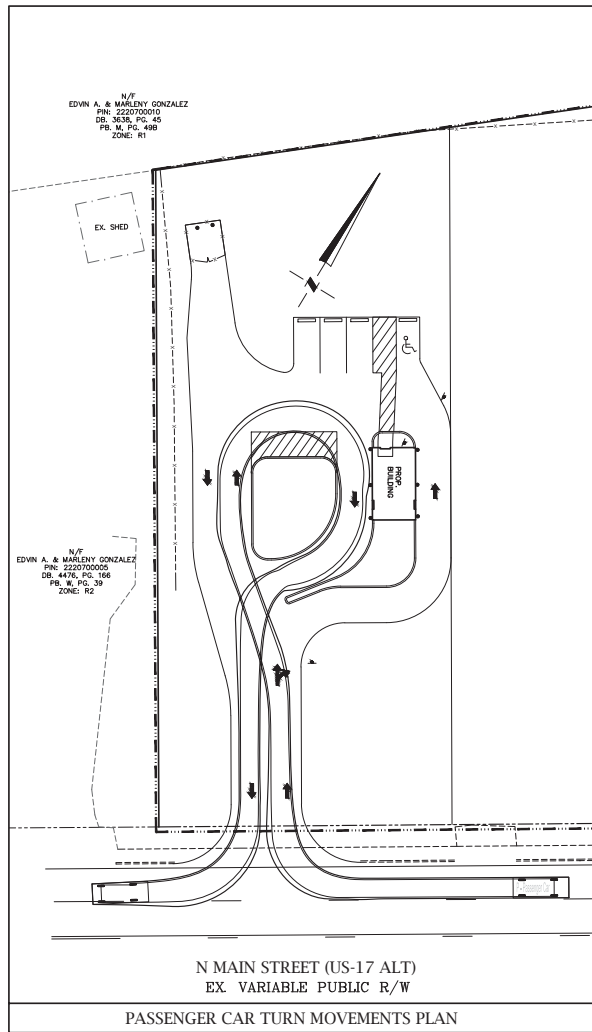
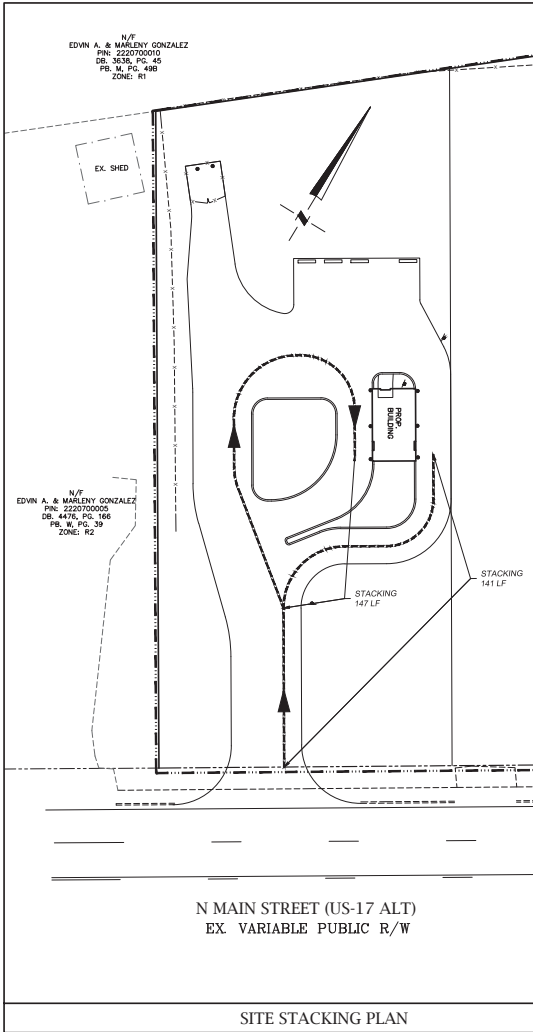
OLD BUSINESS: MAJOR APPLICATIONS

2021-077 NBLD

HURRICANE COFFEE



M²
ENGINEERING
M² ENGINEERING, INC. 400
2111 W. GARDNER ROAD
CHARLOTTE, NC 28262
PHONE 704.510.0797



PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION

THE PLACING AND DISPLAYING HEREON ARE THE PROPERTY OF
M² ENGINEERING, INC. REPRODUCTION BY ANY MEANS
WITHOUT THE WRITTEN PERMISSION OF M² ENGINEERING, INC. IS PROHIBITED BY LAW. 2017

HURRICANE COFFEE
2424 N MAIN STREET
SUMMERVILLE, SC 29483
INTELLIGENT HOME
SERVICES, LLC
2860 BACONS BRIDGE ROAD
SUMMERVILLE, SC 29485

SITE STACKING
& TURN
MOVEMENTS
PLAN

REVISIONS

NO.	DATE	DESCRIPTION

CAD FILE: 20-029 BASE.DWG
PROJECT NO.: 20-029
DESIGNED BY: JDM
REVIEWED BY: JDM
DATE: JUNE 10, 2021

C2.2

BENSON DESIGN GROUP

TURNKEY DESIGN-COMMERCIAL,
RETAIL, RESIDENTIAL & INDUSTRIAL
CHARLOTTE, N.C.
T: 704.578.8688



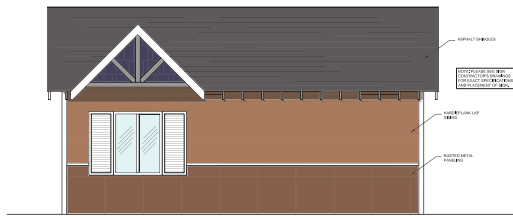
2526 Plantation Center Drive,
Suite A
Charlotte, NC 28105
P. 704.341.9800
F. 704.341.9822
www.scopeac.com

HURRICANE COFFEE 2424 N MAIN ST. SUMMERVILLE, SC 29483 NEW COFFEE SHOP

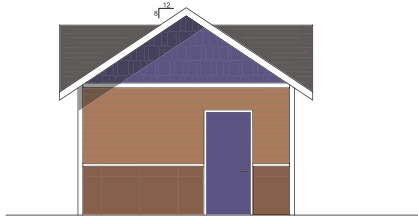
DRAWING ISSUED FOR:
FOR CONSTRUCTION
REVISIONS:

FILE NAME:
DATE: 08/02/2021
PROJECT NUMBER:
120049
SHEET TITLE:
FLOOR & ROOF PLANS
SHEET:

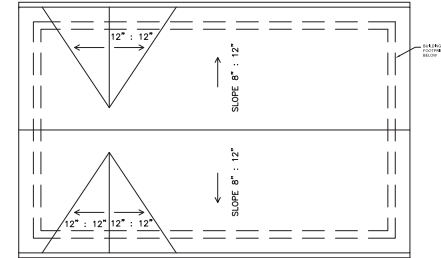
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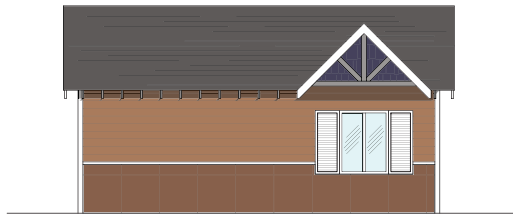
6 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



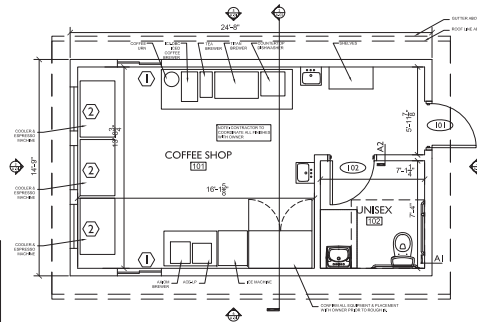
2 ROOF PLAN
SCALE: 1/4" = 1'-0"



5 WEST ELEVATION
SCALE: 1/4" = 1'-0"



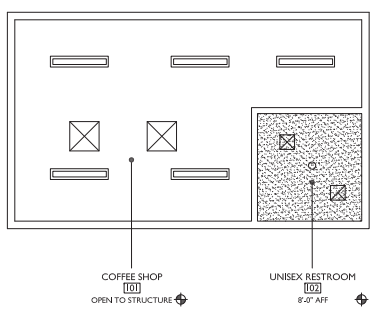
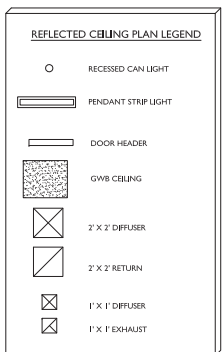
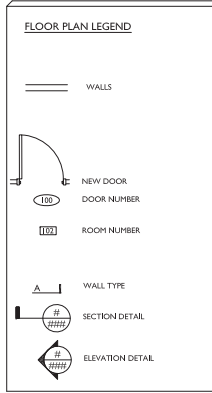
3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



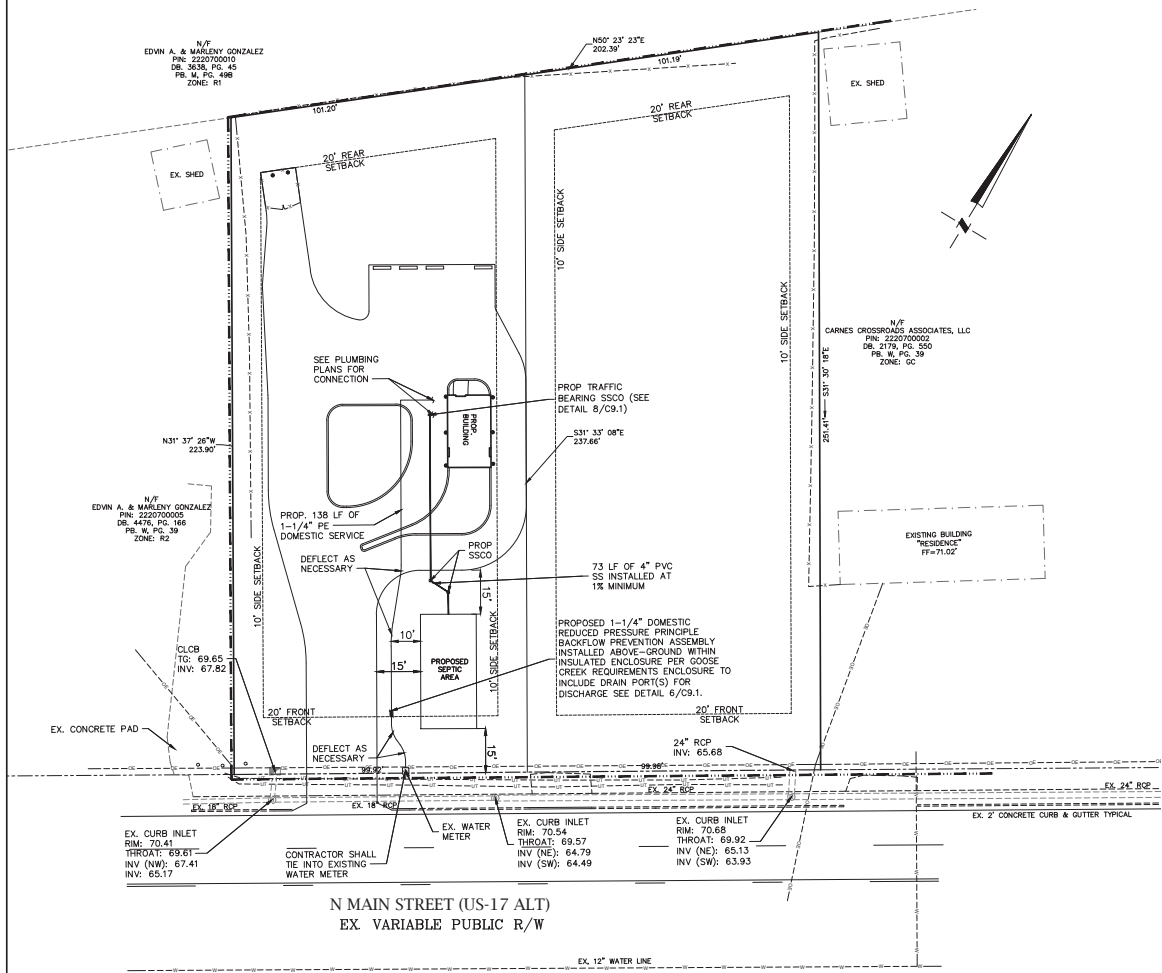
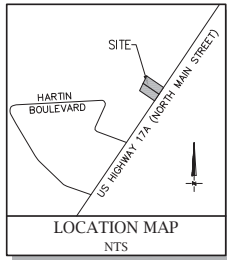
1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- ALL WORK SHALL CONFORM WITH THE REQUIREMENTS OF 2018 SOUTH CAROLINA BUILDING CODE AS WELL AS ALL FEDERAL, STATE, AND LOCATED LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
- CONTRACTOR TO ENSURE THAT ALL GRAB BARS IN TOILET ROOMS MEET ADA CODE COMPLIANCE.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD ON BOTH SIDES OF WET WALLS OF RESTROOM, BREAK ROOM AND ANY OTHER WALLS WITH PLUMBING FIXTURES INCLUDED.
- PROVIDE REINFORCING BLOCCING FOR PLUMBING FIXTURES AND ACCESSORIES.
- CONTRACTOR IS RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- CONSTRUCTION MEANS, METHODS, TECHNIQUE SEQUENCE PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- GC TO ENSURE SAFE CONDITIONS THROUGHOUT CONSTRUCTION PER SECTION 3309 AND 3310 OF SCBC.
- ALL NEW EQUIPMENT, FIXTURES, FINISHES, ETC TO BE SUBMITTED TO ARCHITECT/OWNER FOR REVIEW AND APPROVAL BEFORE ORDERING AND INSTALLATION.
- INSTALLATE EXTERIOR WALLS WITH PLUMBING LINES AS NECESSARY.
- SIZE FIRE EXTINGUISHERS ACCORDINGLY PER NFPA TABLE 906.3(1). EXTINGUISHERS MUST BE TAGGED BY A LICENSED FIRE EXTINGUISHER COMPANY FROM THE APPLICABLE STATE. FIRE EXTINGUISHERS MUST BE POSTED IN A VISIBLE, CONSPICUOUS, UNOBSTRUCTED, AND UNOBSCURED LOCATION, MOUNTING HEIGHTS AND TRAVEL DISTANCES TO MEET NFPA SECTIONS 906.6, 906.6.1 AND 906.9 REQUIREMENTS.
- ALL INTERIOR FINISHES SHALL COMPLY WITH THE FLAME SPREAD CRITERIA OF CHAPTER 9 (CH-9) OF THE 2018 N.C. BUILDING CODE. REFER TO ROOM FINISH SCHEDULE FOR INTERIOR WALL, CEILING, AND FLOOR FINISH MATERIALS.
- FLOOR SURFACES SHALL BE SUBMERGENT. COORDINATE FINAL FLOOR FINISH WITH OWNER.
- ALL MATERIALS AND EQUIPMENT ARE TO BE INSTALLED PER MANUFACTURERS' INSTRUCTIONS.
- PROVIDE TACTILE EXIT SIGNS PER NFPA 1034.
- PROVIDE SIGNAGE IN ACCORDANCE WITH SCBC 1111 AND ANSI A117.1, SECTION 703.
- FOR EXIT DISCHARGE LIGHTING, SEE ELECTRICAL.
- ALL INSULATION PRODUCTS SHALL BE INSTALLED PER MANUFACTURERS' INSTRUCTIONS.
- ALL MATERIALS SPECIFIED BY MANUFACTURER'S NAME AND/OR TRADEMARKED MATERIALS SHALL BE CONSIDERED THE HIGHEST QUALITY REQUIRED FOR THE PROJECT. PRODUCTS OF OTHER MANUFACTURERS OF THE SAME OR BETTER QUALITY OF THE MATERIAL SPECIFIED MAY BE SUBSTITUTED UPON APPROVAL FROM ARCHITECT AND OWNER IN WRITING.
- CONTRACTOR TO ENSURE ALL EXISTING TO REPAIR STOREFRONT GLASS IS IN GOOD CONDITION WITH NO CRACKS OR BREAKS AND REPLACE IF NECESSARY.

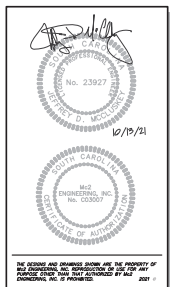
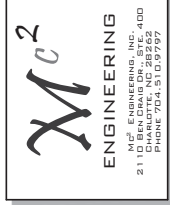


7 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



- SITE/UTILITY NOTES:**
1. MAINTAIN MINIMUM 10' HORIZONTAL SEPARATION BETWEEN WATER LINE AND OTHER UTILITY LINES.
 2. CONTRACTOR TO LOCATE BUILDING TIE-INS PER PLUMBING PLANS.
 3. ALL BACKFLOW PREVENTERS SHALL BE IN ACCORDANCE WITH YORK COUNTY PUBLIC WORKS AND SCHEC.
 4. THERE SHALL BE NO TAPS, BRANCHES, UNAPPROVED BY-PASS HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND THE REQUIRED BACKFLOW ASSEMBLY.
 5. REQUIRED BACKFLOW PREVENTER SHALL BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING WATER SYSTEM IN SERVICE.
 6. WATER SERVICE TO BE INSTALLED PER YORK COUNTY PUBLIC WORKS REQUIREMENTS.
 7. NO PERMANENT INSULATION MAY BE INSTALLED ON THE BF ASSEMBLY.
 8. WATERLINE SHALL BE INSTALLED WITH A MINIMUM OF 36" OF COVER.
 9. CONTRACTOR SHALL INSTALL A COPPER TRACER WIRE WITH PROPOSED PVC WATERLINE FOR FUTURE LOCATING. CONTRACTOR SHALL PROVIDE EXTRA LOOP OF WIRE IN VALVE BOXES.
 10. CONTRACTOR SHALL FURNISH TRAFFIC BEARING SANITARY SEWER CLEANOUT COVERS IN ALL TRAFFIC BEARING LOCATIONS AND SIDEWALKS.
 11. ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.

- RELATION OF WATER MAINS TO SEWERS - LATERAL SEPARATION OF SEWERS AND WATER MAINS**
1. SEWER AND WATER MAINS SHALL HAVE AT LEAST A 10 FEET HORIZONTAL SEPARATION MEASURED FROM OUTSIDE EDGE TO OUTSIDE EDGE OF PIPE.
 2. IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SEWER IS OVER THE WATER MAIN, BOTH THE WATER MAIN AND SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150 PSI TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.
 3. A 24 INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED.
- CROSSING A WATER MAIN OVER A SEWER**
4. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 24 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 24 INCH VERTICAL SEPARATION IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
- CROSSING A WATER MAIN UNDER A SEWER**
5. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.



HURRICANE COFFEE
2424 N MAIN STREET
SUMMERVILLE, SC 29483

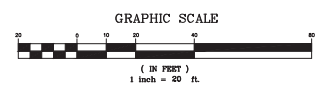
INTELLIGENT HOME SERVICES, LLC
2860 BACONS BRIDGE ROAD
SUMMERVILLE, SC 29485

UTILITY PLAN

REVISIONS

NO.	DESCRIPTION

CAD FILE: 20-029 BASE.DWG
PROJECT NO.: 20-029
DESIGNED BY: JDM
REVIEWED BY: JDM
DATE: JUNE 10, 2021



C2.1

