



THE CITY OF
GOOSE CREEK

BERKELEY CO. EST. 1961 SO. CAROLINA

**SUPPORTING MATERIALS FOR
ARCHITECTURAL REVIEW BOARD
MONDAY, AUGUST 17, 2020
5:30 PM**

**MARGUERITE BROWN MUNICIPAL CENTER
CITY HALL COUNCIL CHAMBERS
519 N. GOOSE CREEK BLVD.
GOOSE CREEK, SOUTH CAROLINA**

MEMORANDUM

TO: MEMBERS OF THE ARCHITECTURAL REVIEW BOARD

FROM: LILI ORTIZ-LUDLUM, ADMINISTRATIVE ASSISTANT

DATE: August 13, 2020

SUBJECT: MEETING NOTIFICATION

WHERE: VIA ZOOM (Video Conference)

This is to remind everyone that the next meeting of the Architectural Review Board is scheduled for Monday, August 17, 2020 at 5:30 p.m. via Zoom.

Please review the enclosed packet. Should you have any questions or comments prior to Monday's meeting, please do not hesitate to contact Brenda Moneer, Planning and Zoning Technician (x1116) or Mark Brodeur, Planning and Zoning Director(x.1118) at 843-797-6220.



MINUTES: JULY 20, 2020

**MINUTES
CITY OF GOOSE CREEK
ARCHITECTURAL REVIEW BOARD MEETING
MONDAY, JULY 20, 2020, 5:30 P.M.
VIA VIDEO CONFERENCE (ZOOM)**

I. CALL TO ORDER

Vice Chairman Risso called the meeting to order at 5:30 p.m.

II. ROLL CALL

Present: Sharon Clopton; Gary Becker; Ricky Dresel; Tom Risso; Jen Wise; Lisa Burdick; David Cantrill
Absent: None
Staff Present: Director of Planning and Zoning Mark Brodeur; Planning Technician Brenda Moneer

III. REVIEW OF MINUTES – JUNE 15, 2020

Board Member Dresel stated his name was misspelled under item D of the June 15th minutes.

Motion: A motion was made to accept the minutes with corrections. **Moved by** Board Member Dresel, **Seconded by** Board Member Burdick.
Discussion: There was none
Vote: All voted in favor (7-0). Motion carried.

IV. MINOR APPLICATIONS – NEW BUSINESS

A) Quality Inn: Signage -103 Red Bank Road

A representative presented the application. She stated the only sign that is up for ARB review is the monument sign. She stated the directional and roof signage that was included in the application will be removed. She stated the monument sign will be lowered to the ten (10) foot maximum allowance and will include an updated logo with landscaping.

Motion: A motion was made to accept the application as submitted. **Moved by** Board Member Burdick, **Seconded by** Board Member Dresel.
Amended Motion: A motion was made to accept the application as submitted with only the monument sign. **Moved by** Board Member Burdick, **Seconded by** Board Member Dresel.
Discussion: There was none.
Vote: All voted in favor (7-0). Motion carried.

B) First Baptist Church: Door Replacement – 141 St. James Ave

A representative presented the application. He stated he is requesting approval to replace the door. He stated the proposed door will be made of mahogany and fiber glass. The representative stated a transom, which is located above the door, will match. He stated 1x6 or 1x8 lap wood siding will be added above the existing painted glass, leaving the cross exposed. He stated he wants to use a fifty-year warranted, engineered wood, smart siding that is pre-painted white.

- Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Dresel, **Seconded by** Board Member Wise.
- Discussion:** Mrs. Moneer requested that the diagonal wood siding be added to the motion.
- Amended Motion:** A motion was made to accept the application to include the diagonal wood siding. **Moved by** Board Member Dresel, **Seconded by** Board Member Wise.
- Vote:** All voted in favor (7-0). Motion carried.

C) Chao Goiano Brazilian Steak House & Bakery: Signage – 408 Red Bank Road

Mrs. Moneer stated the applicant was asked to come back in August with the building proposal for paint and canopy.

- Motion:** A motion was made to table the application pending submittals for the building. **Moved by** Board Member Dresel, **Seconded by** Board Member Wise.
- Discussion:** There was none
- Vote:** All voted in favor (7-0). Motion carried.

D) That's So Brisha: Signage – 142 St. James Ave Suite L

The representative presented the application. He stated it will be a cloud sign internally lit. The size is 19.94 square feet and will be wall mounted.

- Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Becker, **Seconded by** Board Member Burdick.
- Discussion:** Board Member Cantrill stated he feels it will be difficult to see from a distance.
- Vote:** All voted in favor (7-0). Motion carried.

E) Village Wine & Spirits: Signage - 129 Plantation North Blvd Suite 1B

The representative stated this sign is the basic liquor store red circles. He stated the business has to split their signage between the front and the back of the building. He stated the three (3) red circles are twenty-four (24) inches high and eighty (80) inches long with the square footage being 9.42. He stated the sign will be wall mounted, internally lit, and include the Village Wine & Spirits logo in the center red circle.

Motion: A motion was made to accept the application as submitted.
Moved by Board Member Burdick, **Seconded by** Board Member Wise.

Discussion: There was none.

Vote: All voted in favor (7-0). Motion carried.

F) 540 Smoke and Vape: 129 Plantation Blvd, Unit C

The representative presented the application. He stated they are proposing two identical signs for the front and rear elevations. Both signs will be internally lit channel letters located on a raceway totaling 19.18 square feet.

Motion: A motion was made to accept the application as submitted.
Moved by Board Member Burdick, **Seconded by** Board Member Cantrill.

Discussion: Chairperson Clopton inquired about samples. Mrs. Moneer stated they are available at City Hall.

Vote: All voted in favor (7-0). Motion carried.

G) Charleston Sports Pub: 125 Plantation North Blvd, Unit A

A representative presented the application. He stated this property is a free-standing building located in the Goose Creek Village Plaza. He is proposing two identical signs that are LED internally lit, consisting of channel letters and a logo box mounted on a raceway that will be painted the color of the façade. He stated the size is 65 inches tall and 214 inches wide totaling 96.8 square feet. Mrs. Moneer stated samples will need to be dropped off at City Hall to have on file.

Motion: A motion was made to accept the application as submitted.
Moved by Board Member Dresel, **Seconded by** Board Member Wise.

Discussion: There was none.

Vote: All voted in favor (7-0). Motion carried.

H) Metro by T-Mobile: 220 Red Bank Road, Unit 8

A representative presented the application. She stated the proposed sign is an opaque illuminated channel sign with the trademark colors of T-Mobile.

- Motion:** A motion was made to approve the application as submitted. **Moved by** Board Member Becker, **Seconded by** Board Member Dresel.
- Discussion:** It was inquired if the background will be painted to match the raceway. Mrs. Moneer stated yes as this is referenced in the application.
- Vote:** All voted in favor (7-0). Motion carried.

V. MAJOR APPLICATIONS – NEW BUSINESS

A) Chick-Fil-A: Elevations, Parking, Site Plan, Landscape, Lighting -516 St. James Ave

The representative presented the application. He stated the goal is to rectify the traffic issue. The proposal is to construct a new service yard addition along the rear of the existing building; to install new canopies at the menu order point locations and the pick up windows; to reconstruct the existing parking lot to provide a separate entry for the stacking lanes and a dual lane system; to reconstruct the parking lot to separate the drive-thru customers from walk-in customers; and to reconfigure the existing storm water detention pond to accommodate new site improvements. The representative provided photos showing examples at other Chick-fil-a locations in the Lowcountry that have these improvements. He stated the site lighting will be redone to be more energy efficient. He stated the proposal expands the pickup window to include a tarmac door and a person door to allow employees to deliver meals. He stated all colors will stay the same and match. It was inquired if a traffic barrier will be installed to protect the employees. The representative stated there is a guard rail already installed and it will stay in place.

- Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Dresel, **Seconded by** Board Member Becker.
- Discussion:** There was none.
- Vote:** All voted in favor (7-0). Motion carried.

B) 101 Button Hall Avenue LLC: Elevations, Site Plan, Landscaping, Materials, Paint

The representative presented the application and mentioned Cityvolve purchased this property, which is the City's old fire station. He stated the ultimate goal for this project is to make it a brewery. He stated the building sits on a nice well acre site and there is also existing hard scape. He stated minor demolition will take place. He explained that an old shed will be removed as well as saw cutting some of the existing pavement. He stated

new trees and a new shrub edge will be added. He stated currently no signage has been proposed.

The board inquired if some landscaping or planters could be incorporated along the concrete area. It was stated color samples were not provided and there was some concern from the board as to the shade of red being proposed. Mr. Brodeur stated the color is called Tawney Port and the Pantone number is 19-1725 TCX. He stated this color represents a brown red.

Motion: A motion was made to approve the application as submitted with the addition of landscaping as mentioned by the board. **Moved by** Board Member Dressel, **Seconded by** Board Member Burdick.
Discussion: There was none.
Vote: All voted in favor (7-0). Motion carried.

VI. COMMENTS FROM THE BOARD

Board Member Dresel inquired about the signage at Navy Federal Credit Union. Mrs. Moneer stated Navy Federal Credit Union application was on the March agenda. She stated at that time Mr. Broom approved the application as submitted as City Hall was closed due to Covid 19. Board Member Wise inquired if Staff is planning on speaking to them as it has been three months that they have had illegal window signage. Mr. Broder stated he will send a letter regarding the signage in the windows.

Board Member Cantrill inquired if the board could have a training session regarding signs. Mrs. Moneer stated she feels it is a great idea. She stated we could check with the American Planning Association if they had a class on signage. Mr. Brodeur stated he would be glad to do a presentation to the ARB regarding signage.

VII. COMMENTS FROM STAFF

There was none.

VIII. ADJOURNMENT

Motion: A motion was made to adjourn (6:53 p.m.) **Moved By:** Board Member Dresel, **Seconded By:** Board Member Wise.
Discussion: There was none.
Vote: All voted in favor (7-0). Motion carried.

Tom Risso, Vice Chairman

Date_____



MINOR APPLICATION: NEW BUSINESS

Barbers Inc
142 St. James Ave
SIGNAGE



CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

OFFICE USE ONLY
PERMIT #: 042149
AMOUNT DUE: \$ 75.00
DATE PAID: 08-04-2020

Today's Date: 8/3/20 Permit Fee: \$75.00

1. Business Owner Robert Bligen Business Phone
Name of Business Barbers Inc. Alternate Phone
Street Address of Business 142 St. James Ave. Unit A
Landlord/Lessor Reliance Realty Landlord's Phone
Sign Company Carolina Sign Co. Sign Co. Phone 843-779-7446
Sign Co. Contact Hugh Welch Sign Co. Address 107 St. James Ave Ste A2

2. Cost of Sign(s) \$ 1,800 Sign Installation Cost \$ 300 Total Cost \$ 2,100

3. How many signs are you applying for? 1 How many signs does this business already have? 0

4. What kind of signs does this business already have? None

5. What type of business is applying for this sign permit:
A. A stand alone business? Yes No
B. A part of a shopping center? Yes No If yes, shopping center name: Food Lion Shopping Center (formerly Bi-lo)

6. What is the TMS number for this property? 243-08-06-025

7. What is the front setback of the business in feet? 365' (The distance from the front property line to the front of business)
A. For corner lots only, what is the front setback for second street frontage in feet?

8. What is the width of the business in feet? 20' (The distance from wall to wall)
A. For corner lots only, what is the width of the business for second street frontage in feet?

9. What is the property's road frontage in feet? (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:
A. The storefront in relation to adjacent businesses;
B. The specific location of proposed sign(s) on the property or building; and
C. The actual sign if it already exists.

OFFICE USE ONLY
MAX. NO. OF ALLOWED SIGNS:
MAX ALLOWED SIGN AREA:

11. Please attach drawings of each proposed sign showing (drawn to scale):
A. The completed sign as it will actually appear on the building
B. All dimensions;
C. Where the colors will appear;
D. The location on the property (on a plat) of proposed & existing freestanding signs
E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
Please submit this application by the 1st Monday of the month for consideration that month by the ARB.
The ARB meets on the 3rd Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)


NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

SIGN INFORMATION TABLE

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	Aluminum/Acrylic		
Illumination: Exterior, interior or not lighted	Interior		
Type of Sign:	WALL MOUNT		
Height (FEET)	20" 1.6'		
Width (feet)	180" 15'		
Area (square feet)	20 sq ft		
All colors used on sign	Red/Black		
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	NO		
Projection from building or cabinet width (thickness)	6"		
Number of styles of lettering	One		
Height of letters (if channel letters)	20"		
If mounting individual letters, space between letters	3"		
If mounting individual letters, space between words	10"		
If window sign, size of window	N/A		
If changeable copy sign (reader board), number of lines	N/A		
If freestanding sign, distance between sign and street curb (ft)	N/A		
If freestanding sign, total height above grade (ft)	N/A		
If freestanding sign, landscaping materials to be planted at base of sign	N/A		

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.



 Signature of Applicant

8/3/20

 Date

OFFICE USE ONLY	
Remarks: _____	_____
Approval: Zoning Administrator _____	Issued by: _____ Date: _____

180"

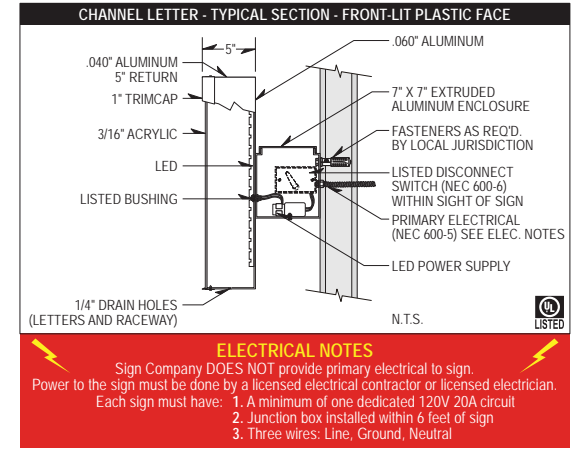
20" **BARBERS INC**

2.08 2.48 2.13 2.08 1.98 2.13 2.16 .54 2.12 2.3

EXISTING SIGNAGE



PROPOSED SIGNAGE



NOTES:

- Red Acrylic Faces
- Black Returns
- LED Internal Lighting
- Raceway-Painted Bldg Color

CLIENT NAME: BARBERS INC

CONTACT: Robert Bligen

SALES REP:
HW

DESIGNER:
AM



MAJOR APPLICATION: NEW BUSINESS

McDonalds
109 N. Goose Creek Blvd



Architectural Review Board

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address: 109 N Goose Creek Blvd, 29445		TMS No.: 243-08-06-046
Review request:	For:	Preliminary meeting date requested: 8/17/2020
<input type="checkbox"/> Conceptual	<input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final	<input type="checkbox"/> Repairs or repaint with no changes	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition

Property Owner: JA Preacher, SR & LH Preacher	Daytime phone: [REDACTED]
Applicant: McDonald's USA, LLC	Daytime phone: [REDACTED]
ARB Meeting Representative: Integrity Engineering, Anthony Lynch	Contact Information : [REDACTED]
Applicant's mailing address: [REDACTED]	
City: [REDACTED]	State: [REDACTED] Zip: [REDACTED]
Applicant's e-mail address: [REDACTED]	
Applicant's relationship: <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

Materials/Colors Used: *(specific color(s)/manufacture #'s listed: samples must be presented to Board attached)*
(Example: Building Materials, Exterior Colors, Landscaping, Lighting)

~ Add one new drive thru canopy (elevation attached to application)
 ~ Add one new menu board (picture attached to application)
 ~ Remove single gateway clearance pole and replace with a double gateway (elevation attached to application)

Scope of Work: *(please give a detailed description)*

Change single drive thru to a double drive thru by adding/reconfiguring drive thru equipment

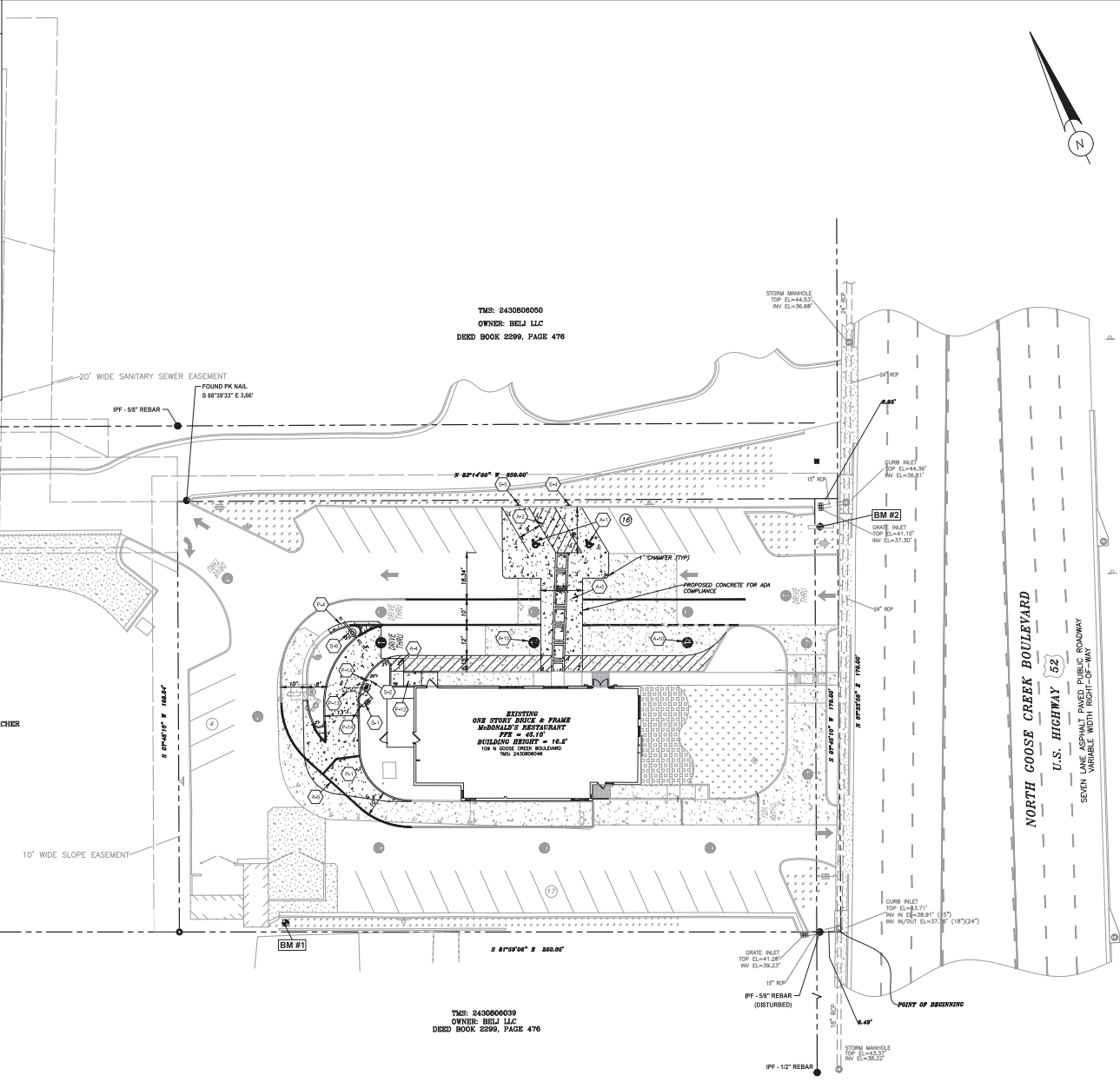
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature: Anthony Lynch Date: 7.30.2020

Print name legibly: Anthony Lynch

LEGEND

- AREA DRAIN
- GRATE INLET
- DROP INLET
- HEAD WALL
- JUNCTION BOX
- SINGLE WING CATCH BASIN
- DOUBLE WING CATCH BASIN
- - - PROPOSED STORM PIPE
- STORM SEWER I.D.
- MANHOLE
- CLEAN OUT (C.O.)
- - - PROPOSED SANITARY SEWER LINE
- SANITARY SEWER I.D.
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- REDUCER
- FIRE DEPARTMENT CONNECTION
- WATER VAULT
- - - PROPOSED WATER LINE
- TRANSFORMER PAD
- - - PROPOSED ELECTRIC LINE
- SPOT ELEVATION
- SLOPE ARROW



STRIPING LEGEND		PROPOSED SIGNS	
A.1	ADA ACCESSIBLE STALL WITH WHITE STRIPES PER ADA REQUIREMENTS	S.1	OUTDOOR DIGITAL MENU BOARD
A.2	HANDICAP ACCESSIBLE AISLE 4" WHITE STRIPES @ 4" O.C.	S.2	SPRINGBOARD CANOPY
A.3	5" WIDE PEDESTRIAN ACCESS AISLE WITH 4" WHITE STRIPES	S.3	EXISTING ROAD SIGN
A.4	4" WHITE PARKING STRIPE OR STRIPED AREA 4" WHITE STRIPES	S.4	MUTCD SIGN R7-8 - HANDICAP PARKING
A.5	5" YELLOW DRIVE-THRU STRIPE	S.5	MUTCD SIGN R7-8 & R7-9a - ADA VAN ACCESSIBLE HANDICAP PARKING
A.6	DOUBLE HEADED ARROW	S.6	"WELCOME" SIGN (NEXT GENERATION)
A.7	YELLOW OGGIP STRIPING	S.7	"THANK YOU" SIGN (NEXT GENERATION)
A.8	"THRU THRU" W/ ARROW PAVEMENT MARKING	S.8	DOUBLE GATEWAY SIGN
A.9	"THANK YOU" PAVEMENT MARKING PLACED 40' FROM C.L. OF PRESENT BODDY WINDOW	S.9	FLAG POLE
A.10	PARKING LIST ARROWS @ 4" - 6" O.C. (IDEAL)	S.10	OGGP SIGNAGE
A.11	INGRESS / EGRESS ARROWS	S.11	"CAUTION PEDESTRIAN CROSSING" SIGN
A.12	24" STOP BAR	S.12	DIGITAL PRE-SALE BOARD

STANDARD CURB, GUTTER, SIDEWALKS AND PAVING ON SITE	
ITEM	SPECIFICATION
P.1	CONCRETE PAVING IF THK 4,000 PSI
P.2	CONCRETE THROAT ENCLOSURE PAD
P.3	PAVER SCHEDULE
P.4	CURB & GUTTER 18" TALL
P.5	STANDING CURB
P.6	4" CURB PAURED WITH POLYOLIC SLABS
P.7	CONCRETE SIDEWALK
P.8	CONCRETE TRASH APRON
P.9	ASPHALT
P.10	OPTIONAL CONCRETE DRIP APRON
P.11	OPTIONAL CONCRETE DELIVERY TRUCK APRON

MISCELLANEOUS ITEMS	
M.1	DELIVERY RAMP
M.2	DETECTOR LOOP (TYP)
M.3	4" BOLLARD (TYP)
M.4	EXISTING TRANSFORMER PAD
M.5	TRUSS OVERHANG
M.6	SAFETY RAIL (STAINLESS STEEL)

PARKING DATA				
REQUIRED: ONE SPACE PER EACH 4 SEATS + 1 SPACE PER EMPLOYEE ON LARGEST SHIFT. (80 SEATS / 4) + (15 EMPLOYEES) = 35 SPACES REQUIRED				
EXISTING	PROPOSED	PROPOSED	TOTAL	TOTAL
42 SPACES	35 SPACES	1/2 SPACES	35 SPACES	37 SPACES
NET LOSS OF 12 PARKING SPACES				

McDonald's
ONE GLENLAKE PARKWAY
ATLANTA, GEORGIA 30328-5373

McDonald's
109 NORTH GOOSE CREEK BLVD.
GOOSE CREEK, SC
BERKELEY COUNTY

MCD STATE SITE CODE:
39-0094

MDS PROJECT NUMBER:
MCD-20116

SHEET TITLE:
SITE PLAN

SHEET NUMBER: 4 / 10

SCALE 1" = 20'



NO.	DATE:	1	2	3	4
1	7-22-20				



GENERAL NOTES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING DURING CONSTRUCTION. FOUNDATION WALLS WHICH ARE SHOWN TIED INTO SLAB-ON-GRADE OR FLOOR/ROOF FRAMING SHALL BE BRACED AGAINST BACK FILL MOVEMENT UNTIL SLAB/FRAMING (INCLUDING DECK) IS COMPLETED. THOUGH DETAILS DO NOT INDICATE, ADEQUATE DRAINAGE MUST BE PROVIDED BEHIND WALLS TO ELIMINATE UNANTICIPATED HYDROSTATIC LOADING. PROVIDE ADEQUATE SHORING OR BRACING DURING CONSTRUCTION TO RESIST ALL REQUIRED FORCES SUCH AS (BUT NOT LIMITED TO) DEAD LOADS, LIVE LOADS, SOIL PRESSURES, CONSTRUCTION LOADS, WIND AND UNBALANCED LOADING. PROVIDE TEMPORARY SAFETY ENCLOSURES AS NECESSARY TO PROTECT ALL PERSONNEL INVOLVED WITH THIS PROJECT.
2. GROUT SHALL BE NON-METALLIC NON-SHRINK CONFORMING TO ASTM C1107 WITH A MINIMUM 7 DAY COMPRESSIVE STRENGTH OF 2 TIMES THE COMPRESSIVE STRENGTH OF THE CONCRETE P.S.I. ANY EXPOSED GROUT SHALL BE NON-STAINING.
3. THE INTERNATIONAL BUILDING CODE, 2012 EDITION, PUBLISHED BY THE INTERNATIONAL CODE COUNCIL, SHALL APPLY IN CONJUNCTION WITH THE LATEST AMENDMENTS.
4. DETAILS NOT SHOWN SHALL BE IN ACCORDANCE WITH
- AMERICAN CONCRETE INSTITUTE (A.C.I.)
SPECIFICATIONS FOR CONCRETE CONSTRUCTION
5. CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS AND VERIFY ALL DIMENSIONS PRIOR TO SUBMITTING SAME TO THE ARCHITECT AND/OR ENGINEER FOR REVIEW. ARCHITECT AND ENGINEERS REVIEW OF THESE SHOP DRAWINGS IS FOR CONFORMANCE WITH THE DESIGN CONCEPT AND GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS.
6. ALL SHOP DRAWINGS SHALL BE PREPARED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF ALABAMA. COMPLETE SHOP DRAWINGS FOR CONSTRUCTION OF ALL APPLICABLE SPECIALLY ITEMS INCLUDING BUT NOT LIMITED TO AWNINGS, STOREFRONT, STAR FRAMING, CONNECTIONS, AND LIGHT GAUGE STEEL FRAMING SHALL BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER AND SHALL BE AVAILABLE AT THE JOB SITE DURING THE TIMES OF INSPECTION.
7. PROFESSIONAL ENGINEER QUALIFICATIONS: A PROFESSIONAL ENGINEER WHO IS LEGALLY AUTHORIZED (REGISTERED) TO PRACTICE IN JURISDICTION WHERE PROJECT IS LOCATED AND WHO IS EXPERIENCED IN PROVIDING ENGINEERING SERVICES OF THE KIND INDICATED.
8. DESIGN LOADS:

ROOF LOADS (ORDER HERE CANDIDY):

ROOF LIVE LOAD (Lr) - 20 P.S.F.
ROOF DEAD LOAD (D) - 10 P.S.F.

SNOW LOADS:

GROUND SNOW LOAD, Pg - 5 P.S.F.

WIND:

ULTIMATE DESIGN WIND SPEED, Vult (3-SECOND GUST) - 128 MPH
NOMINAL DESIGN WIND SPEED, Vnom - 100 MPH
RISK CATEGORY - I
EXPOSURE - C

FOUNDATION NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER OR THE DESIGN ENGINEER IMMEDIATELY OF ANY SPECIAL SOIL OR WATER CONDITIONS THAT ARE PRESENT ON SITE. DO NOT PROCEED WITH FURTHER WORK UNTIL NOTIFIED TO DO SO.
2. THE FOUNDATION STRUCTURE AND ITS ELEMENTS HAVE BEEN DESIGNED USING ACCEPTABLE ENGINEERING PRACTICES AND IN ACCORDANCE WITH THE CODE REFERENCED EDITION AMERICAN CONCRETE INSTITUTE'S (ACI) BUILDING CODE PROVISIONS.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM THE SLAB PERIMETER. THE GROUND SHOULD BE SLOPED DOWN AND AWAY FROM THE EDGE OF THE SLAB. SEE GRADING AND DRAINAGE PLANS FOR ADDITIONAL DETAILS.
4. SIDE SLOPES OF ANY EXCAVATIONS FOR BEAMS OR FOOTINGS SHALL NOT EXCEED A TEMPORARY 1:1 SLOPE. IF STEEPER SIDE SLOPES ARE REQUIRED, COORDINATE WITH THE GEOTECHNICAL ENGINEER AND PROVIDE ANY AND ALL REQUIRED TEMPORARY SHORING IN COMPLIANCE WITH OSHA REGULATIONS AND ALL LOCAL TRENCH SAFETY REQUIREMENTS.
5. CONTRACTOR SHALL REMOVE ANY STANDING WATER AND DEBRIS FROM FOUNDATION EXCAVATION PRIOR TO PLACEMENT OF THE CONCRETE.
6. THE GRADE ELEVATIONS, WHERE SHOWN ON THE FOUNDATION PLAN ARE PER THE CIVIL DRAWINGS. HOWEVER, THE GRADES, WHERE SHOWN, MAY BE SUBJECT TO CHANGE AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE GRADES, WHERE SHOWN ON THE FOUNDATION PLAN AGREE WITH THE LATEST CIVIL DRAWINGS AND THE ACTUAL PROJECT SITE. AT NO TIME SHALL THE BOTTOM OF FOOTING BE LESS THAN THE REQUIRED FROST DEPTH PER GEOTECH REPORT.
NOTE: IF THE GRADES, WHERE SHOWN ON THE FOUNDATION PLAN DIFFER FROM THE CIVIL DRAWINGS OR THE ACTUAL PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE FOUNDATION ENGINEER IN THAT THE FOUNDATION PACKAGE CONTAINED HEREIN MAY NO LONGER BE STRUCTURALLY ADEQUATE WHICH WOULD NECESSITATE A RESUBMITTAL OF DESIGN DRAWINGS.
7. UNLESS SHOWN IN THIS CONTRACT DOCUMENT SET, SEE CIVIL FOR ALL SITE RETAINING WALLS.

GENERAL NOTES (CONTINUED):

- 9. SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT, AND ARE SUPERSEDED BY THE STRUCTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST STRUCTURAL DRAWINGS.
10. THE REVIEW OF SHOP DRAWINGS, WHERE REQUIRED BY THE ENGINEER OF RECORD, DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT NOR DOES IT IMPLY THAT THEY SUPERSEDE THE STRUCTURAL DRAWINGS. NOTWITHSTANDING HAND WRITTEN COMMENTS MADE BY THE ENGINEER OF RECORD THAT MAY APPEAR ON THE SHOP DRAWINGS AFTER THE ENGINEER OF RECORD'S REVIEW.
11. REFER TO ARCHITECTURAL AND MECHANICAL/ELECTRICAL/PLUMBING PLANS FOR ALL ANCHORS, INSERTS, PLUGS AND SUCH EMBEDDED ITEMS NOT SHOWN ON STRUCTURAL PLANS.
12. REFER TO CIVIL ENGINEERING PLANS FOR NOTES RELATED TO SITE, PAVING, GRADING, DRAINAGE, AND UTILITY WORK.
13. NO SLEEVES OR OTHER PENETRATIONS SHALL BE ALLOWED THROUGH STRUCTURAL MEMBERS WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
14. PROPER SLOPE TO THE ROOF SHALL BE PROVIDED - AS PER ARCH. PLAN - TO AVOID DAMAGE TO ROOF SYSTEM DUE TO RAINWATER PONDING.
15. THE DIMENSIONS, LOCATIONS, AND DETAILS SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME OF PREPARATION OF THESE DRAWINGS. DEVIATIONS WHICH ARE NECESSARY OR WHICH CONFLICT SHALL BE REPORTED TO THE ENGINEER AND/OR THE OWNER. PRIOR TO COMMENCING ANY WORK, SPECIAL CARE SHALL BE GIVEN TO SITE AND BUILDING LAYOUT THEREON.
16. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND REPORT ANY ERRORS, OMISSIONS, OR POSSIBLE DISCREPANCIES TO THE DESIGN ENGINEER AND/OR THE OWNER PRIOR TO COMMENCING ANY WORK. SPECIAL CARE SHALL BE GIVEN TO SITE AND BUILDING LAYOUT THEREON.
17. UNLESS SHOWN ON THE DRAWINGS, SUBSTITUTION OF STRUCTURAL MEMBERS SHALL NOT BE PERMITTED WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
18. THESE NOTES SHALL BE SUPPLEMENTARY TO ALL OTHER SPECIFICATIONS IF PROVIDED, SHOULD ANY CONFLICT EXIST BETWEEN THESE NOTES AND THE SPECIFICATIONS, THE MORE STRINGENT PROVISION SHALL GOVERN UNLESS APPROVED OTHERWISE BY THE DESIGN ENGINEER.
19. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF BOTH LOCAL ORDINANCES AND THE APPLICABLE BUILDING CODE(S).
20. OPTIONS, IF PROVIDED HEREIN, ARE FOR CONTRACTOR'S CONVENIENCE. HE SHALL BE RESPONSIBLE FOR ANY CHANGES NECESSARY FOR COORDINATING ALL DETAILS, AND FOR OBTAINING ALL REQUIRED APPROVALS.
21. COSTS OF ADDITIONAL DESIGN WORK NECESSITATED BY SELECTION OF AN OPTION OR DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR.
22. ALL PROPRIETARY MEMBERS ARE DEFERRED SUBMITTAL ITEMS.
23. PROTECT COMPONENTS FROM CONTACT WITH DISSIMILAR MATERIALS BY SEPARATION UTILIZING TECHNIQUES, SUCH AS BUT NOT LIMITED TO, CONCEALED NEOPRENE GASKETS, BITUMINOUS COATING, OR APPROVED ALTERNATE.

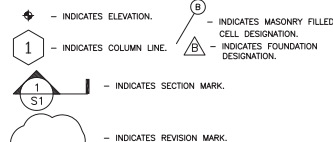
MJM ENGINEERING GEOTECHNICAL DESIGN DATA

- * PER DEPTHS IGNORE THE TOP TWELVE INCHES DUE TO POTENTIAL FOR FROST AND SEASONAL MOISTURE CHANGES.

IBC GEOTECHNICAL DESIGN DATA

- * ALLOWABLE PASSIVE = 150 PCF PER IBC TABLE 1806.2
* ALLOWABLE PASSIVE = 300 PCF, FACTOR OF TWO INCREASE
FOR FOUNDATIONS THAT ARE NOT ADVERSELY AFFECTED BY 1/2" MOTION AT THE GROUND SURFACE DUE TO SHORT-TERM LATERAL LOADS PER IBC SECTION 1806.3.4
* ALLOWABLE SOIL BEARING PRESSURE = 2000 P.S.F. PER IBC TABLE 1806.2
* DUE TO THE POTENTIAL FOR SHALLOW GROUNDWATER CONDITIONS IN AREAS OF THE SITE, IT MAY BE NECESSARY TO PERFORM TEMPORARY DEWATERING DURING CONSTRUCTION. THE DEWATERING OPERATIONS MAY CONSIST OF INSTALLING PERIMETER RIM PITCHES TO WITHDRAW GROUNDWATER. THE GROUNDWATER TABLE SHOULD BE CONTROLLED AT LEAST 3 FEET BELOW THE COMPACTED OR EXCAVATED ELEVATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS NECESSARY TO CONTROL THE GROUNDWATER AT A DEPTH SUFFICIENT TO SUCCESSFULLY COMPLETE THE SITE PREPARATION, GRADING, AND NEW CONSTRUCTION.

SYMBOLS:



CONCRETE NOTES:

- 1. ALL CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" AND A MINIMUM 28 DAY COMPRESSIVE STRENGTH AND EXPOSURE CLASS AS FOLLOWS:
FOOTINGS 3000 PSI (F70, S0, P0, C)
SEE ACI 318 FOR EXPOSURE CLASSIFICATION AND CONCRETE MIX REQUIREMENTS.
IF THE SULFATE CONTENT AT THE SITE IS AT A LEVEL REQUIRING A MORE STRINGENT EXPOSURE CLASS THAN THAT SPECIFIED ABOVE FOR ANY CONCRETE DESIGNATION, THE ENGINEER SHALL BE NOTIFIED, AND THE CONCRETE MIXES SHALL BE REVISED AS REQUIRED.
2. AIR ENTRAINING AGENTS SHALL BE USED TO PRODUCE 3% TO 6% AIR BY VOLUME IN ALL CONCRETE, BUT IT SHALL NOT BE LESS THAN THAT REQUIRED FOR THE EXPOSURE CLASS OF THE CONCRETE. AIR CONTENT ON INTERIOR SLABS SHALL BE 3% MAXIMUM.
3. C.J. ON PLANS INDICATES CONSTRUCTION JOINTS OR CONTROL JOINTS. IF NOT SHOWN OTHERWISE, MAINTAIN A MAXIMUM AREA BOUNDED BY SLAB CONTROL JOINTS OF 400 SQUARE FEET (i.e. 20' x 20') THE MAXIMUM SIDE RATIO OF WHICH SHALL BE 1:5.
PROVIDE JOINTS OR REINFORCEMENT AT ALL RE-ENTRANT SLAB CORNERS SUCH AS INSIDE CORNERS OF AN L-SHAPED SLAB. IF REINFORCEMENT IS UTILIZED, THESE RE-ENTRANT CORNERS SHALL HAVE TWO PIECES OF #4 REINFORCING BAR 48 INCHES LONG PLACED DIAGONALLY TO THE CORNER, 12 INCHES APART, WITH THE FIRST BAR PLACED 2 INCHES FROM THE CORNER. ALL REINFORCEMENT SHALL BE APPROPRIATELY POSITIONED IN THE UPPER THIRD OF THE SLAB.
4. ALL STEEL BAR REINFORCEMENT SHALL BE A.S.T.M. A-615, GRADE 60.
5. MAINTAIN MINIMUM CONCRETE COVERAGE FOR REINFORCING STEEL AS INDICATED UNLESS OTHERWISE NOTED IN THE DRAWINGS.
A. 3" CLEAR WHERE CONCRETE IS DEPOSITED DIRECTLY AGAINST EARTH.
B. 2" CLEAR WHERE CONCRETE IS EXPOSED TO EARTH OR WEATHER BUT CAST AGAINST FORMS FOR BARS #6 OR LARGER.
C. 1 1/2" CLEAR WHERE CONCRETE IS EXPOSED TO EARTH OR WEATHER BUT CAST AGAINST FORMS FOR BARS #5 OR SMALLER.
D. 3/4" CLEAR FOR SLABS AND WALLS FORMED ABOVE GRADE AND NOT EXPOSED TO WEATHER.
E. 1-1/2" CLEAR FOR BEAMS AND COLUMNS FORMED ABOVE GRADE AND NOT EXPOSED TO WEATHER.
6. UNLESS NOTED OTHERWISE IN THE DRAWINGS, CAST IN PLACE CONCRETE SHALL HAVE THE FOLLOWING TRIM STEEL ADDED AROUND ALL OPENINGS: TWO (2) #5 BARS (LENGTH OF BARS = LENGTH OF OPENING + 4'-0") ALONG EACH SIDE OF OPENING AND TWO (2) - #5 x 5'-0" DIAGONALLY AT EACH CORNER.
7. FOOTINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 P.S.F. ALL FOOTING EXCAVATIONS SHALL BE EVALUATED BY THE GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF CONCRETE. FOR DETAILS OF FILL AND COMPACTOR REQUIREMENTS, REFER TO CIVIL DRAWINGS AND THE SPECIFICATIONS. MODULUS OF SUBGRADE REACTION IS 100 P.C.I.
8. WELDED WIRE FABRIC (W.W.F.) SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR COLD-DRAWN STEEL WIRE FOR CONCRETE REINFORCEMENT A.S.T.M. A-185. ALL WELDED WIRE FABRIC SHALL BE CLEAN AND FREE OF EXCESSIVE RUST.
9. DESIGN OF CONCRETE STRUCTURAL ELEMENTS IS IN ACCORDANCE WITH ACI 318-08 (BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE)
10. RESULTS FOR ALL CONCRETE COMPRESSIVE STRENGTH TESTS SHALL BE AVAILABLE AT THE JOB SITE.
11. SEE ARCHITECTURAL DRAWINGS/SPECIFICATIONS FOR CONCRETE FLOOR FINISH REQUIREMENTS.
12. FLY ASH MAY BE USED AS A DIRECT SUBSTITUTE FOR PORTLAND CEMENT. FLY ASH MUST CONFORM TO ALL ASPECTS OF ASTM C618-04 STANDARD SPECIFICATION FOR FLY ASH, CLASS F OR CLASS C FLY ASH MAY BE USED, HOWEVER, TOTAL LOSS ON IGNITION OF FLY ASH MUST BE 3% OR LESS. FLY ASH MAY BE SUBSTITUTED ON A 1:1 RATIO BY WEIGHT AND ONLY UP TO A 20% REDUCTION IN THE ORIGINAL CEMENT CONTENT. CONCRETE PROPORTIONS SHALL BE SELECTED ON THE BASIS OF TRIAL MIXES CONFORMING TO A.C.I. 211.1.
13. ALL CONCRETE SHALL BE OF NORMAL WEIGHT (HARD ROCK, AGGREGATE). CONCRETE DESIGN MIX SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE REQUIREMENTS.
14. ALL CONCRETE SHALL BE DESIGNED, MIXED, TRANSPORTED AND PLACED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF ACI.
15. ADEQUATE CURING OF CONCRETE, ESPECIALLY DURING HOT WEATHER, SHALL BE PROVIDED TO PREVENT FORMATION OF SHRINKAGE CRACKS.
16. CONCRETE SURFACES SHALL BE FINISHED AS CALLED FOR ON PLANS AND SPECIFICATIONS, AND AS DIRECTED BY THE OWNER.
17. ALL REINFORCEMENT SHALL BE DESIGNED AND DETAILED IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI MANUAL OF STANDARD PRACTICES FOR DETAILING CONCRETE STRUCTURES.
18. REINFORCEMENT SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENTS DURING PLACEMENT OF CONCRETE. REINFORCEMENT SHALL BE SUPPORTED WITH PLASTIC CHAIRS OR BOLSTERS AND SHALL BE TIED AT EVERY OTHER INTERSECTION. ALL REINFORCING STEEL SHALL BE SECURELY WIRED AND PROPERLY SUPPORTED ABOVE GROUND AND AWAY FROM FORMS.
19. SPICE BARS IN MEMBERS SUCH AS SPANDRELS, BEAMS, ETC. AS FOLLOWS: TOP BARS AT CENTERLINE OF SPAN, BOTTOM BARS AT THE SUPPORT.
20. CONSTRUCTION JOINTS SHALL HAVE ENTIRE SURFACE REMOVED TO EXPOSE CLEAN, SOLIDLY EMBEDDED AGGREGATE. THE CONTRACTOR SHALL OBTAIN THE ENGINEER'S APPROVAL OF CONSTRUCTION JOINT LOCATION IN SLABS AND BEAMS.
21. TEMPERATURE AND SHRINKAGE REINFORCEMENT OF THIRTY (30) BAR DIAMETERS, BUT NOT LESS THAN 18 INCHES, AND THE SPLICES IN ADJACENT BARS SHALL BE A MINIMUM OF (5) FEET APART.
22. CONCRETE TEST REPORTS SHALL BE AVAILABLE AT THE JOB SITE.
23. CONTINUOUS MONITORING OF THE PIER INSTALLATION BY THE GEOTECHNICAL ENGINEER IS RECOMMENDED IN GENERAL ACCORDANCE WITH THE GUIDELINES PRESENTED IN THE "INSPECTORS GUIDE TO AUGERED CAST-IN-PLACE PIERS" PREPARED BY THE DEEP FOUNDATIONS INSTITUTE.

Michael Jon McQuay, P.E. M.J.M.
114 OLD HILL ROAD
CARTERSVILLE, GA 30120
(770) 572-6693
(404) 928-8179 FAX

These drawings are NOT to be REPRODUCED for the purpose of generating shop drawings without the WRITTEN APPROVAL of the STRUCTURAL ENGINEER.

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Table with columns: ISSUE, DESCRIPTION, NO., DATE.



INTEGRITY ENGINEERING & DEVELOPMENT SERVICES, INC.
3615 Braselton Highway, Suite 201 Duluth, Ga 30019
(678) 546-4446



McDonald's
109 Goose Creek Blvd
Goose Creek, SC 29445

MCD STATE SITE CODE: 039-0094

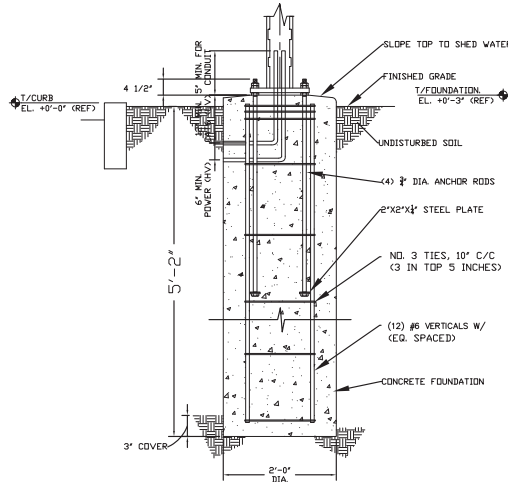
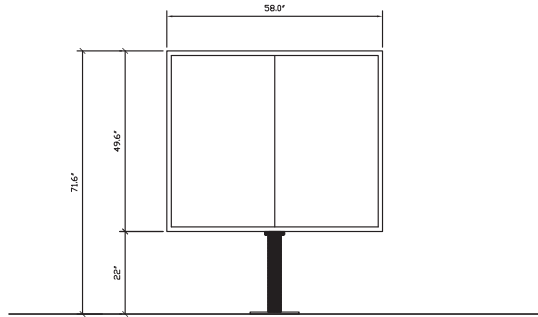
DOB PROJECT NUMBER: MCD-1650

SHEET TITLE: GENERAL NOTES

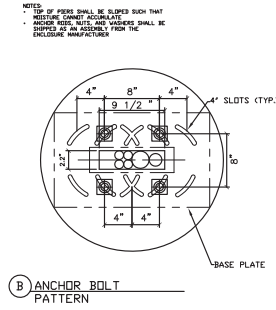
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FOR CONSTRUCTION

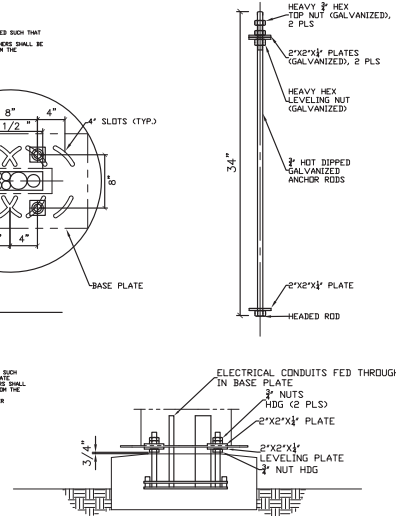
- NOTES:
- PIER BERTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
 - TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 - MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH (X2)
 - ALL REINFORCING STEEL BY GENERAL CONTRACTOR.



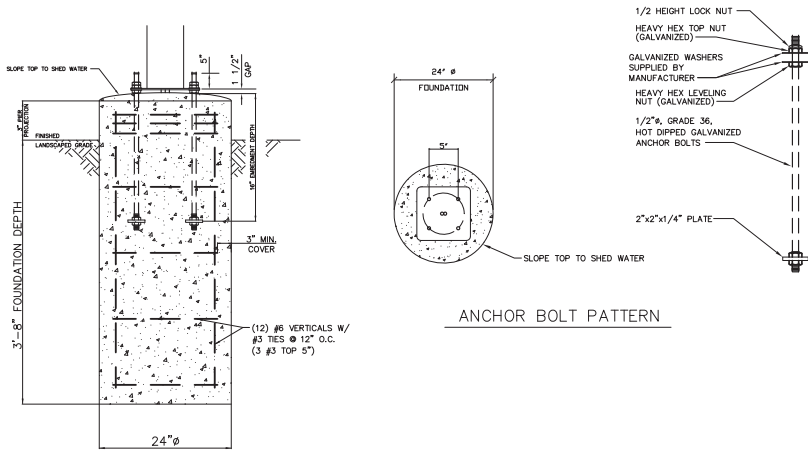
1 DIGITAL MENU BOARD
 SCALE: N.T.S.



B ANCHOR BOLT PATTERN

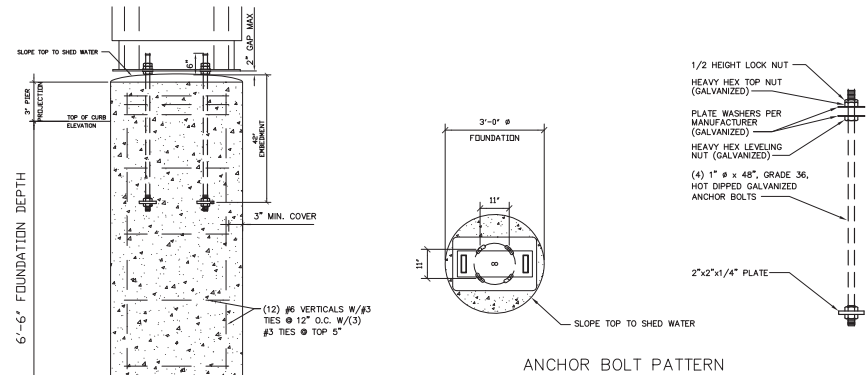


C CONNECTION DETAILS



ANCHOR BOLT PATTERN

2 DIRECTIONAL SIGN
 SCALE: N.T.S.



ANCHOR BOLT PATTERN

3 CANOPY
 SCALE: N.T.S.

NO.	DATE	ISSUE	DESCRIPTION



INTEGRITY
 ENGINEERING & DEVELOPMENT SERVICES, INC.
 3615 Braselton Highway, Suite 201 Decatur, Ga 30019
 (678) 546-0446



McDonald's
 MCD STATE SITE CODE: 039-0094
 MCD PROJECT NUMBER: MCD-1650

SHEET TITLE:
 FOUNDATION SECTIONS

S2.0

FOR CONSTRUCTION

NO.	DATE	ISSUE DESCRIPTION



INTEGRITY
 ENGINEERING & DEVELOPMENT SERVICES, INC.
 3615 Braselton Highway, Suite 201 Decatur, Ga 30019
 (678) 546-0446



McDonald's
 109 Goose Creek Blvd
 Goose Creek, SC 29445

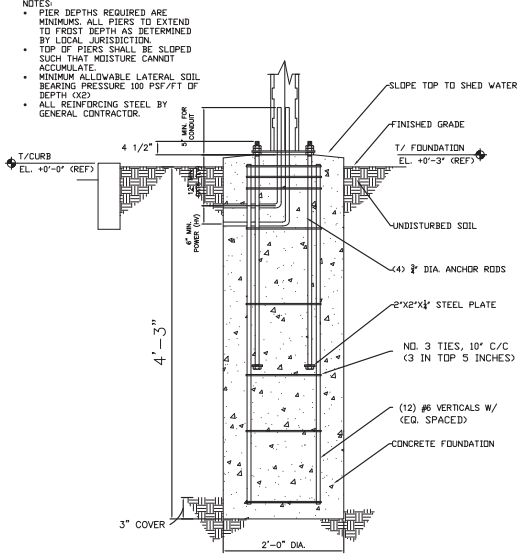
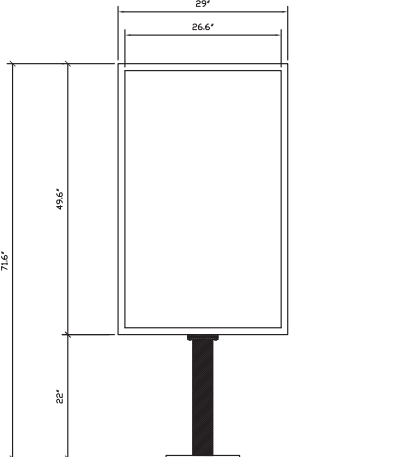
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MCD PROJECT NUMBER:
 MCD-1650

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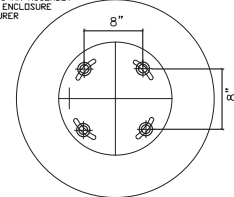
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FOR CONSTRUCTION



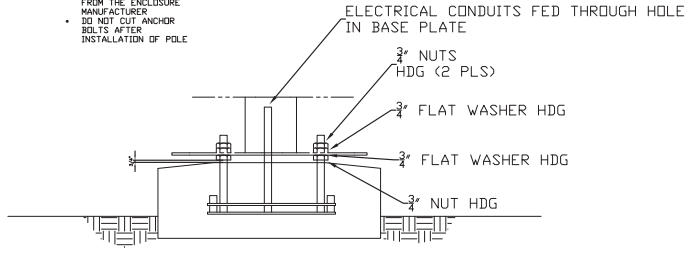
1 DIGITAL PRE-BROWSE BOARD
 S2.1 SCALE: N.T.S.

- NOTES:
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE ENCLOSURE MANUFACTURER.

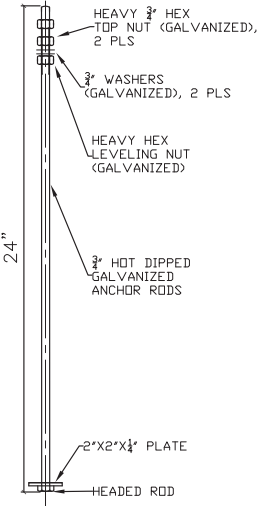


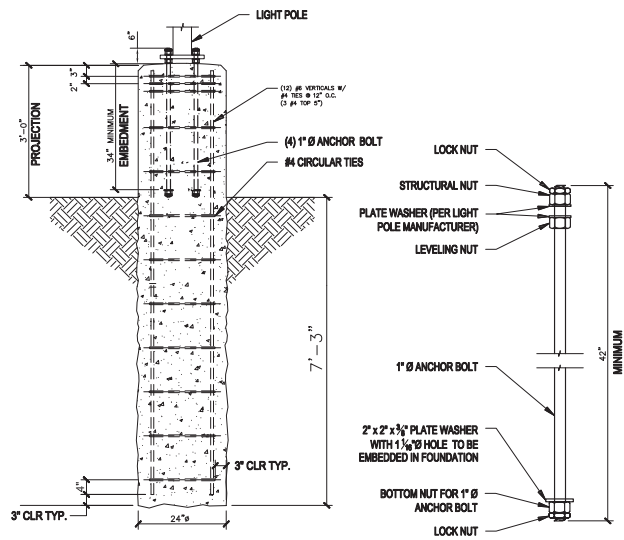
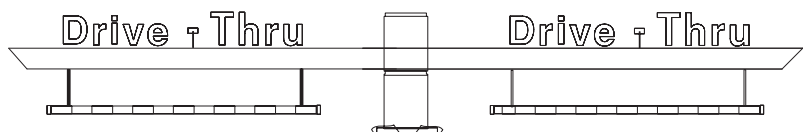
B ANCHOR BOLT PATTERN

- NOTES:
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE ENCLOSURE MANUFACTURER.
 - DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.



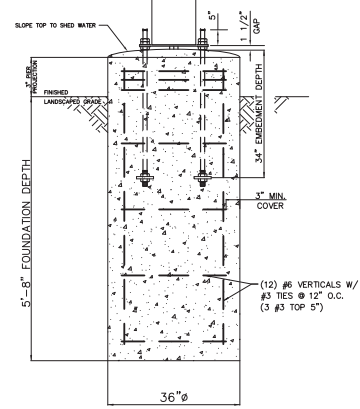
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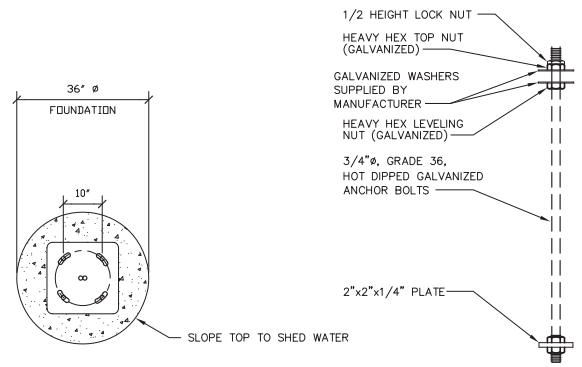


1 LIGHT POLE
 S2.2 SCALE: N.T.S.

ANCHOR BOLT PATTERN



2 DOUBLE CLEARANCE GATEWAY SIGN
 S2.2 SCALE: N.T.S.



ANCHOR BOLT PATTERN

NO.	DATE	ISSUE DESCRIPTION



McDonald's
 109 Goose Creek Blvd
 Goose Creek, SC 29445

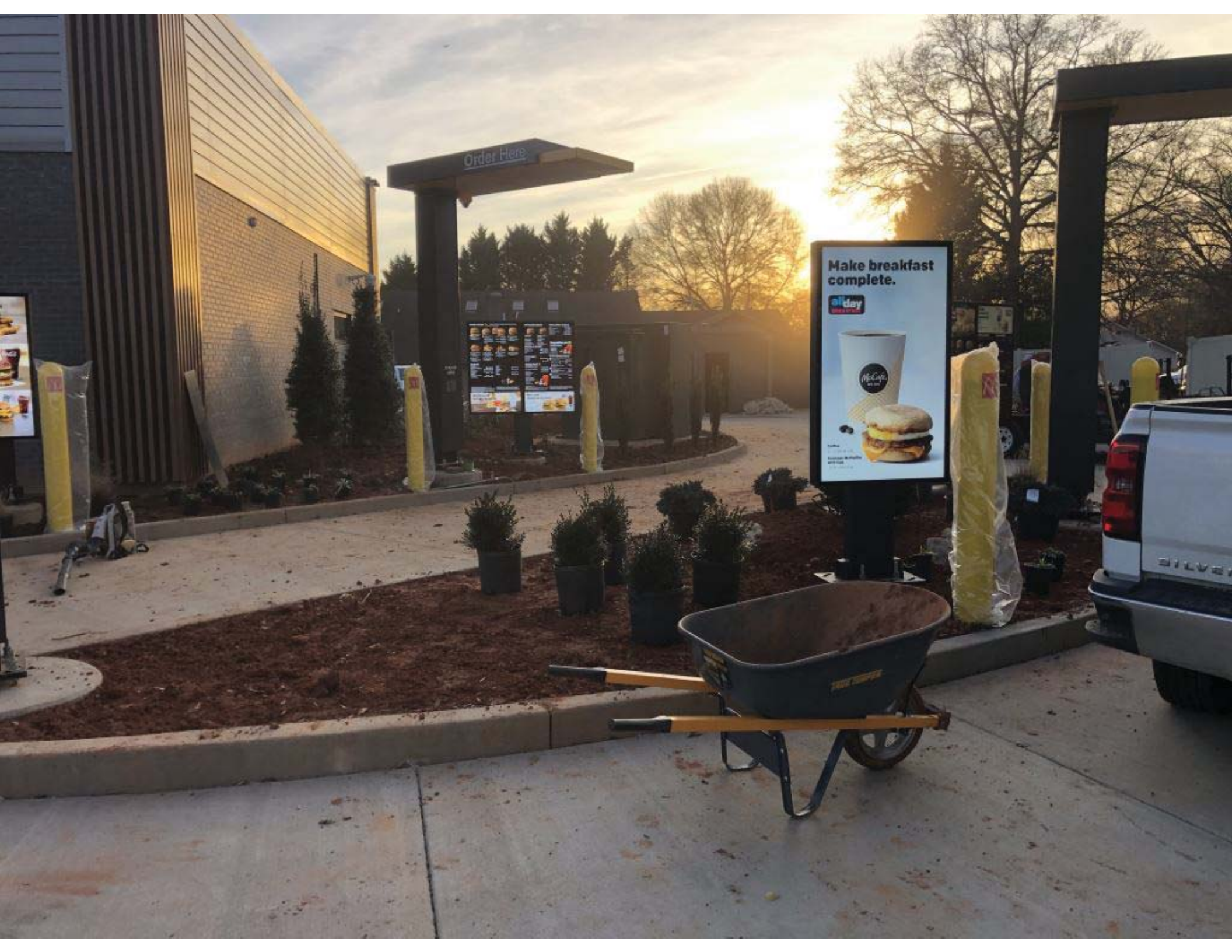
MCD STATE SITE CODE:
 039-0094

MCD PROJECT NUMBER:
 MCD-1650

SHEET TITLE:
 FOUNDATION SECTIONS

S2.2

FOR CONSTRUCTION



Order Here

Make breakfast complete.

all day breakfast

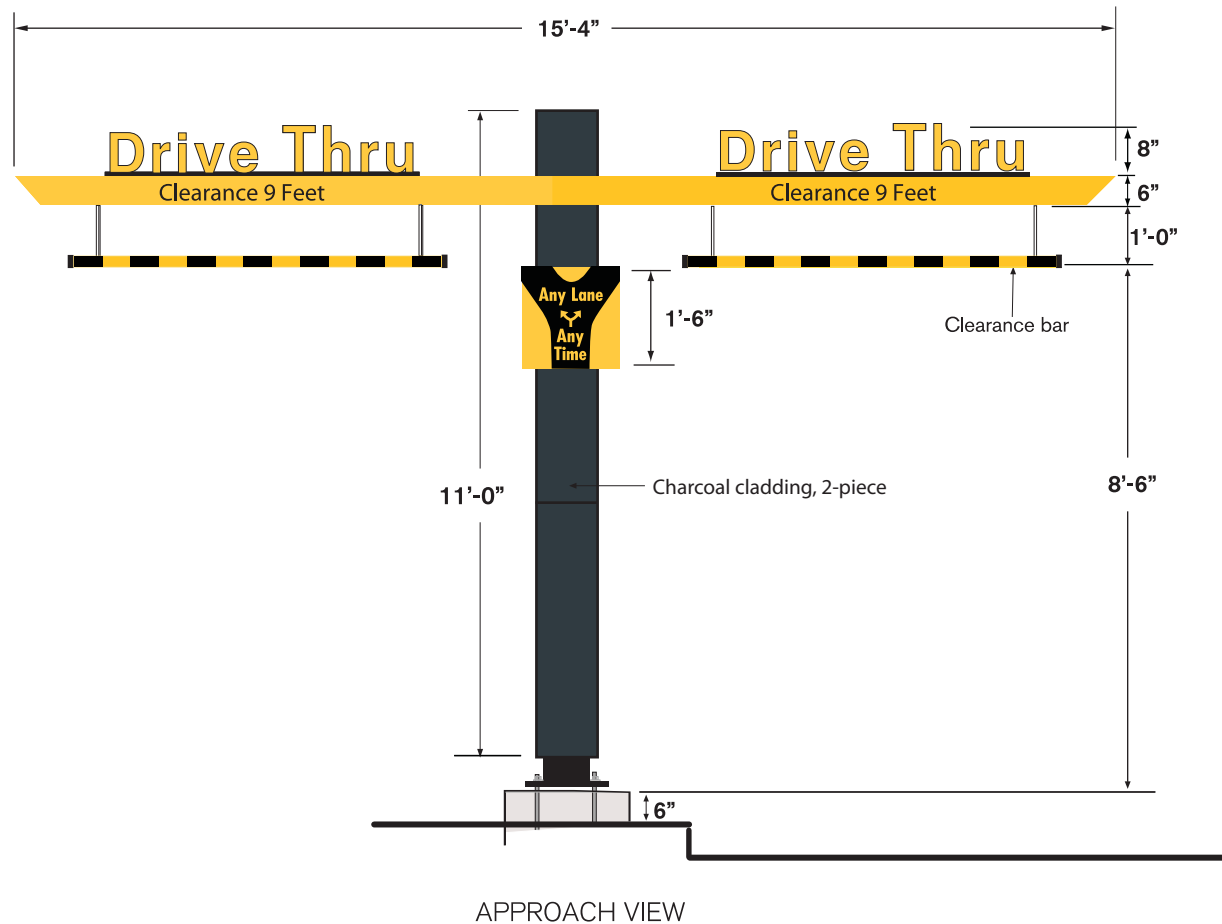


SILVER

Double Welcome Point Gateway

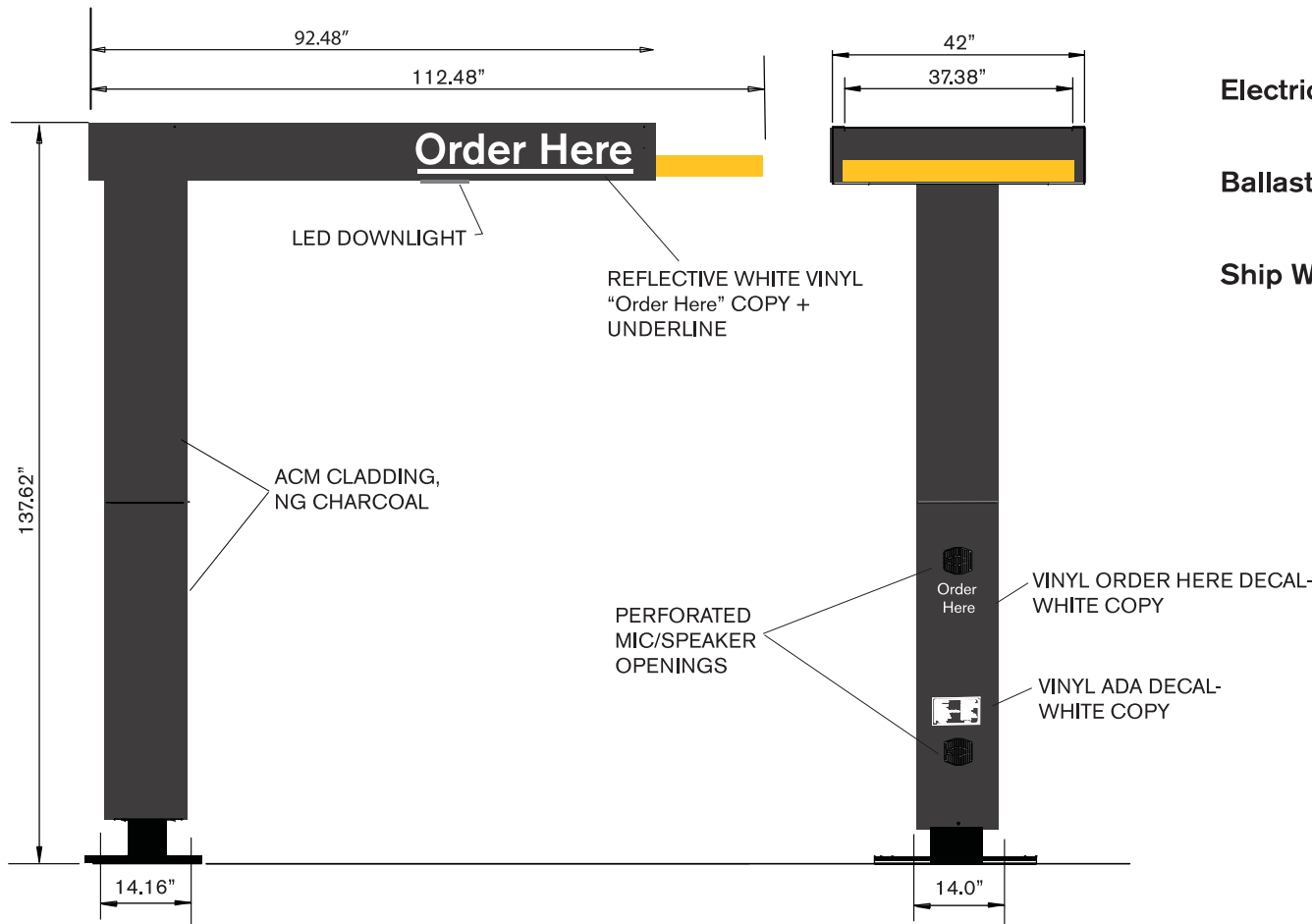


Illumination: N/A



- Other:**
- Non-illuminated clearance sign with spring loaded break away clearance arm.
 - Adjustable bang bar.

Slim Springboard Canopy w/Audio Only - Yellow



Illumination: LED Downlighting

Electrical: 1.5 Amps 120 volt, 60 Hz

Ballast:

Ship Weight:



MAJOR APPLICATION: NEW BUSINESS

Take 5

TMS 243-00-00-072
(address not assigned)



Architectural Review Board

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address: St. James Avenue, Goose Creek, SC		TMS No.: 243-00-00-072
Review request:	For:	Preliminary meeting date requested: Aug. 17, 2020
<input checked="" type="checkbox"/> Conceptual	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Preliminary <input type="checkbox"/> Final	<input type="checkbox"/> Repairs or repaint with no changes	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition

Property Owner: Steve Vaughn (Current Owner)	Daytime phone: [REDACTED]
Applicant: Michael McDonald (Pavilion Development Company)	Daytime phone: [REDACTED]
ARB Meeting Representative: Michael McDonald	Contact Information: [REDACTED]
Applicant's mailing address: [REDACTED]	
City: [REDACTED]	State: [REDACTED] Zip: [REDACTED]
Applicant's e-mail address: [REDACTED]	
Applicant's relationship: <input checked="" type="checkbox"/> Future Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

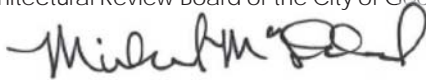
Materials/Colors Used: (specific color(s)/manufacture #'s listed: samples must be presented to Board attached)
(Example: Building Materials, Exterior Colors, Landscaping, Lighting)

Scope of Work: (please give a detailed description)

This project includes the construction of an approximately 1,100 SF Take 5 Oil Change Facility on a parcel of land located on St. James Avenue and identified by TMS No. 243-00-00-072. The building will consist of two service bays, mechanical room, office, and restroom facility. Additional site improvements include construction of a right-in/right-out driveway on St. James Avenue (conceptually approved by SCDOT), rear driveway, internal driveways, sidewalks, parking areas, and dumpster enclosure. The site will provide an underground stormwater management facility which will discharge to the SCDOT right-of-way.

Take 5 Oil Change facilities offer "Drive-Thru Oil Changes". A customer is never required to exit the vehicle and the Take 5 Oil Change facility can offer contact free care. Typically, a customer will enter the site and get in a queue for an available service bay. The customer can remain in the car while the facility services vehicles in line. The customer will drive their vehicle into the service bay, select from an option of services, remain in care during oil change, pay from car, and exit the service bay. The Take 5 Oil Change concept requires that the building have a vehicular entrance and exit at each bay.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature:  Date: 07/29/20

Print name legibly: Michael McDonald

CONSTRUCTION PLANS FOR: GOOSE CREEK TAKE 5 PAVILION DEVELOPMENT COMPANY

CITY OF GOOSE CREEK, SC
TMS NO. 243-00-00-072

CBaker
ENGINEERING, LLC
943.270.3186
943.270.3186
CHARLESTON, SC 29416
CBKERENGINEERING.COM



COVER SHEET
GOOSE CREEK TAKE 5
PAVILION DEVELOPMENT COMPANY
CITY OF GOOSE CREEK, SC
TMS NO. 243-00-00-072

PROJECT INFORMATION:

- PROJECT NAME: GOOSE CREEK TAKE 5
- PROJECT ADDRESS: ST. JAMES AVENUE, GOOSE CREEK, SC, TMS NO. 243-00-00-072
- PARCEL ID: 045 ACRES
- PARCEL ACREAGE: GENERAL COMMERCIAL (GC)
- JURISDICTION: CITY OF GOOSE CREEK, SC
- ZONING: AUTO SERVICE (NO FUEL)
- PROPOSED USE: AUTO SERVICE (NO FUEL)

PROJECT CONTACT INFORMATION:

- DEVELOPER: PAVILION DEVELOPMENT COMPANY
CONTACT: MICHAEL McDONALD
5005 CARNegie BLVD, SUITE 110
CHARLOTTE, NC 28209
- ENGINEER: C BAKER ENGINEERING, LLC
CONTACT: CAMERON BAKER, PE
PO BOX 81082
CHARLESTON, SC 29416
843.270.3186
- ARCHITECT: SCANARIMOUR WRIGHT DESIGN
CONTACT: CHRIS NORDMEYER, AIA, NCARB
718 S. MAIN STREET
GREENVILLE, SC 29601
864.920.0002
- LANDSCAPE ARCHITECT: OUTDOOR SPATIAL DESIGN, LLC
CONTACT: EVAN BRANDON
1000 EAST MONTAGUE AVENUE, SUITE 306
NORTH CHARLESTON, SC 29405
843.733.3332

REGULATORY CONTACT INFORMATION:

- PLANNING/ZONING: CITY OF GOOSE CREEK, SC
CONTACT: MARK BRODEUR
519 NORTH GOOSE CREEK BLVD
GOOSE CREEK, SC 29445
843.787.8220
- ENGINEERING/MS4: BERKELEY COUNTY, SC
CONTACT: BRYAN MERTA, PE
212 OAKLEY PLANTATION DRIVE
MONCKSON CORNER, SC 29461
843.723.3900
- NPODES: SCOHREC/OORFM
CONTACT: SHANNON HICKS, P.E.
1562 McMILLAN AVENUE, SUITE 300
CHARLESTON, SC 29405
843.933.0150
- WATER SYSTEM: CITY OF GOOSE CREEK
519 NORTH GOOSE CREEK BLVD
GOOSE CREEK, SC 29445
843.787.8220
- SEWER SYSTEM: BERKELEY COUNTY WATER & SANITATION
CONTACT: ASHLEY YEH
212 OAKLEY PLANTATION DRIVE
MONCKSON CORNER, SC 29461
843.751.8117
- ELECTRIC PROVIDER: BERKELEY ELECTRIC COOPERATIVE, INC.
CONTACT: CHRIS SOUTHERLAND
2 SPRINGHALL DRIVE
GOOSE CREEK, SC 29445
843.699.2923

Sheet List Table	
Sheet Number	Sheet Title
C001	COVER SHEET
C100	EXISTING CONDITIONS
C300	SITE LAYOUT PLAN

PROJECT NO. 243-00-00-072; SHEET NO. C001; DATE: 01/18/2016

DCRM STANDARD NOTES:

- IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
- WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
- WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INCORRECTLY, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION, ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION, FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR OFF-SITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL IMMEDIATELY REMOVE MUDSOL FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUPERVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR10000.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT/LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS. FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING. WHEEL WASH WATER, AND OTHER WASH WATERS, WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
 - WASTEWATER FROM WASHOUT AND CLEANSING OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER COMPOUNDS THAT ARE TOXIC TO FISH;
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR S.C.'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD ON-SITE FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE, THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

BOARD/COMMISSION APPROVALS	
BOARD/COMMISSION	APPROVAL DATE
ZONING BOARD OF APPEALS	
ARCHITECTURAL REVIEW BOARD	

GENERAL NOTES:

- CONTRACTOR SHALL PROTECT EXISTING BENCHMARKS, MONUMENTS, ROADWAYS, AND FACILITIES FROM DAMAGE THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MINIMIZE, TO THE MAXIMUM EXTENT POSSIBLE, THE AMOUNT OF DISTURBANCE IN AREAS THAT REQUIRE INSTALLATION OF THIS DESIGN.
- LOCATIONS AND ELEVATIONS EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE.
- AT CLOSURE OF THE CONSTRUCTION PROJECT, ALL COMPONENTS OF THIS DESIGN PACKAGE SHALL BE IN OPERABLE CONDITION, MEETING ITS REQUIREMENTS.
- CONTRACTOR SHALL RESTORE ALL GROUND SURFACE CONDITIONS AFTER CONSTRUCTION TO MATCH EXISTING CONDITIONS AND GRADE ELEVATIONS SURROUNDING THE SITE.
- SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS, OR IN THE FIELD, HE SHALL NOTIFY THE OWNER PRIOR TO BEGINNING WORK.
- CONTRACTOR IS TO VERIFY ALL EXISTING SITE CONDITIONS AND REPORT ANY CONFLICTS TO THE ENGINEER.
- A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF UNDERGROUND UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF FEDERAL, STATE, COUNTY AND LOCAL MUNICIPALITIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO THE START OF THE PROJECT.
- THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE & LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
- TRANSFER OF SITE BENCHMARKS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DONE BY A S.C. LICENSED LAND SURVEYOR.
- CONTRACTOR SHALL OVERSEE INSTALLATION OF UTILITIES AND COORDINATE WITH ALL DISCIPLINES TO AVOID CONFLICTS.
- IN THE EVENT OF A CONFLICT WITH WATER, SEWER, DRAINAGE OR OTHER UTILITY LINES THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO MAKING FIELD ADJUSTMENTS.
- ALL BACK FILL OF ALL TRENCHES SHALL BE COMPACTED TO A DENSITY OF 95% OF THE THEORETICAL MAXIMUM DENSITY (STANDARD PROCTOR), UNLESS NOTED OTHERWISE. BACK FILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED AT OR NEAR OPTIMUM MOISTURE CONTENT.
- CONTRACTOR SHALL REMOVE ALL STRIPPING DEBRIS AND EXCESS EXCAVATED MATERIAL FROM THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR EXCAVATIONS AND GRADINGS INCLUDING FURNISHING OFF-SITE BORROW AREAS REQUIRED TO MEET PLAN GRADES.
- CONTRACTOR SHALL OVERSEE INSTALLATION OF UTILITIES AND COORDINATE WITH ALL DISCIPLINES TO AVOID CONFLICTS.
- UNDESIRABLE MATERIALS SUCH AS INCOMPATIBLE BORROW MATERIALS OF ALL UNSUITABLE MATERIAL TO MEET COMPACTED REQUIREMENTS UNDER PAVED SURFACES. THE OWNER SHALL BE NOTIFIED IMMEDIATELY UPON ENCOUNTERING UNSUITABLE SUBGRADE MATERIAL.
- GRADE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE TO EXISTING OR NEW DRAINAGE FACILITIES.
- ALL FINISHED SURFACES SHALL BE FREE FROM SURFACE IRREGULARITIES.
- LOCATIONS AND TOP ELEVATIONS OF INLETS AND STRUCTURES WILL BE ADJUSTED IN THE FIELD BY THE CONTRACTOR WHERE NECESSARY AND SHALL BE APPROVED BY THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AS NECESSARY TO MEET REQUIRED EXCAVATION AND GRADING. DEWATERING OPERATIONS SHALL NOT DISCHARGE DIRECTLY INTO WETLANDS AREAS, SETTLING BASINS AND SILT FENCING SHALL BE UTILIZED TO PREVENT DISCHARGE OF SILTS INTO THESE AREAS.
- INVERTS SHOWN ON PLAN DRAWING ARE PIPE INVERTS.
- TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS SHALL BE PLACED AT ALL INLETS AND PIPES UNTIL SOIL STABILIZATION IS COMPLETE.
- CONTRACTOR SHALL TAKE SPECIAL PRECAUTIONS TO PREVENT SEDIMENTATION OF ADJOINING WETLANDS OR PROPERTIES.
- ANY SUBSTITUTION FOR MATERIALS OR PROCEDURES MUST HAVE PRIOR WRITTEN APPROVAL OF OWNER.
- PIPE LENGTHS SHOWN ARE 20' LENGTH FROM CENTER TO CENTER OF STRUCTURE.
- THE PUBLIC RIGHT-OF-WAY MUST REMAIN ADA COMPLIANT DURING CONSTRUCTION OR AN ALTERNATIVE ROUTE MUST BE PROVIDED.

PROJECT DESCRIPTION:

THE PROPOSED PROJECT INCLUDES AN APPROXIMATELY 1,100 SF TAKE 5 OIL CHANGE FACILITY ON A PARCEL OF LAND LOCATED ON ST. JAMES AVENUE AND IDENTIFIED BY BERKELEY COUNTY TMS NO. 243-00-00-072. THE BUILDING WILL CONSIST OF TWO SERVICE BAYS, MECHANICAL ROOM, AND RESTROOM FACILITY.

TAKE 5 OIL CHANGE FACILITIES OFFER "DRIVE-THRU OIL CHANGES". A CUSTOMER IS NEVER REQUIRED TO EXIT THE VEHICLE AND THE TAKE 5 OIL CHANGE FACILITY CAN OFFER CONTACT FREE CARE. TYPICALLY, A CUSTOMER WILL ENY IN A QUEUE FOR AN AVAILABLE SERVICE BAY. THE CUSTOMER CAN REMAIN IN THE CAR WHILE THE FACILITY SERVICES VEHICLES IN LINE. THE CUSTOMER WILL DRIVE THEIR VEHICLE INTO THE SERVICE BAY. SELECT FROM AN OPTION OF SERVICES, REMAIN IN CARE DURING OIL CHANGE, PAY FOR SERVICE, AND EXIT THE SERVICE BAY. THE TAKE 5 OIL CHANGE CONCEPT REQUIRES THAT THE BUILDING HAVE A VEHICULAR ENTRANCE AND EXIT AT EACH BAY.

CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT THIS PROJECT QUALIFIES FOR AUTOMATIC PERMIT COVERAGE OR EXEMPTION BASED UPON ACREAGE, VICINITY TO A COASTAL RECEIVING WATER BODY AND THE PROJECT NOT BEING A PART OF A LARGER COMMON PLAN (LCP).

CAMERON BAKER, P.E. DATE

EXISTING LEGEND

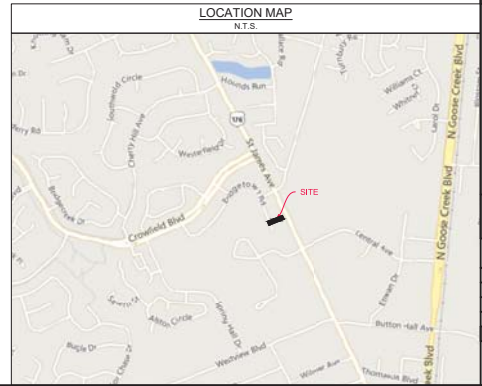
- - - 300' INDEX CONTOUR
- - - 302' INTERMEDIATE CONTOUR
- ==== EDGE OF PAVEMENT
- ==== CURB AND GUTTER
- - - - PROPERTY LINE
- - - - DEPARTING PROPERTY LINE
- - - LOT LINE
- - - X RIGHT-OF-WAY
- - - CENTERLINE
- - - CL TREE/CANOPY LINE
- - - W FENCE LINE
- - - OHE EASEMENT
- - - W WATER LINE
- - - SS SANITARY SEWER
- - - S STORM SEWER
- - - LE OVERHEAD ELECTRIC
- - - LF ELECTRIC SERVICE
- - - T TELEPHONE SERVICE
- - - C CABLE
- - - GAS LINE
- - - SPOT ELEVATION
- - - B BENCHMARK
- - - U UTILITY POLE
- - - S SIGN
- - - E ELECTRIC BOX
- - - CD CURB DRAIN INLET (CD)/DRAIN INLET (DI)
- - - SD STORM DRAIN MANHOLE (SDMH)
- - - S SANITARY SEWER MANHOLE (SSMH)
- - - V WATER VALVE
- - - W WATER METER
- - - F FIRE HYDRANT
- - - SL STREET LIGHT/AMP
- - - J JUNCTION BOX
- - - T TREE TRUNK
- - - C CONCRETE
- - - END SECTIONS

PROPOSED LEGEND

- - - 300' INDEX CONTOUR
- - - 302' INTERMEDIATE CONTOUR
- ==== EDGE OF PAVEMENT
- ==== CURB AND GUTTER
- - - - PROPERTY LINE
- - - - DEPARTING PROPERTY LINE
- - - LOT LINE
- - - X RIGHT-OF-WAY
- - - CENTERLINE
- - - CL TREE PROTECTION
- - - W POWER EASEMENT
- - - OHE POWER LINE
- - - W WATER LINE
- - - SS SANITARY SEWER LINE
- - - S STORM DRAINAGE LINE
- - - LF SILT FENCE
- - - LF LIMITS OF DISTURBANCE
- - - T ACCESSIBLE ROUTE (REPRESENTATION ONLY)
- - - SIGN
- - - B CURB INLET (CI)/JUNCTION BOX (JB)
- - - G (GRADE INLET (GI) "STRUCTURE NUMBER"
- - - STANDARD DUTY ASPHALT PAVEMENT
- - - SCOT ASPHALT PAVEMENT
- - - CONCRETE PAVEMENT
- - - GRAVEL PAVEMENT
- - - GRAND TREE REMOVAL
- - - PROTECTED TREE REMOVAL



LOCATION MAP



REV.	DATE	DESCRIPTION

PROJECT NO.: 243-00-00-072
PROJECT DATE: MAY 1, 2020
DRAWN BY: CBB
CHECKED BY: CBB
SCALE: N.T.S.

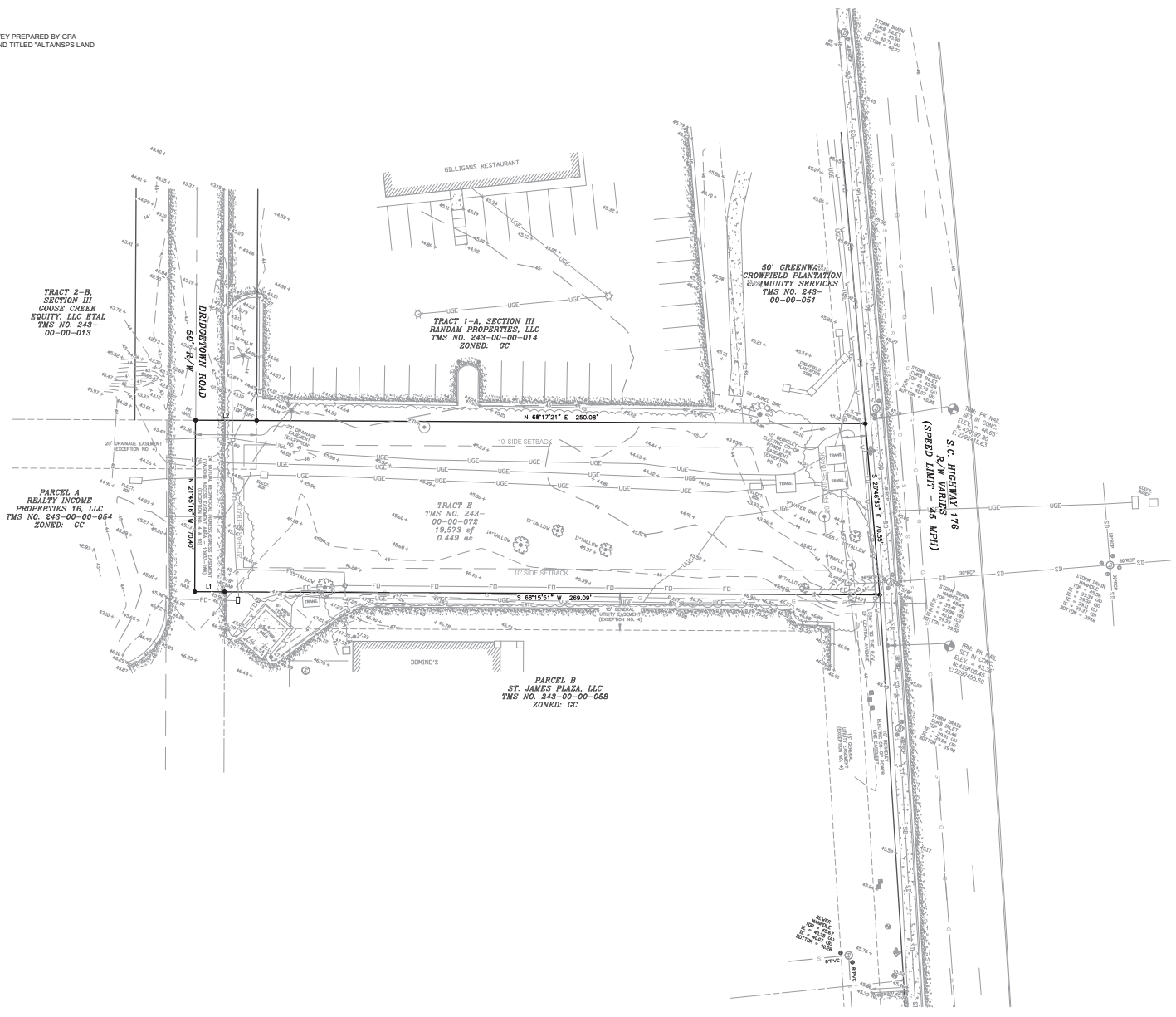
C001

NOTES:

1. PROPERTY INFORMATION:
 - 1.1. BERKELEY COUNTY TMS. NO 243-00-00-072
 - 1.2. JURISDICTION: GOOSE CREEK
 - 1.3. PARCEL ACREAGE: 0.45 ACRES
 - 1.4. ZONED: GENERAL COMMERCIAL (GC)
2. EXISTING CONDITIONS FOR PROPERTY ESTABLISHED BY SURVEY PREPARED BY GPA PROFESSIONAL LAND SURVEYS, INC DATED MAY 17, 2020 AND TITLED "ALTANSPLS LAND TITLE SURVEY". SURVEY NOTES REFERENCED BELOW.

NOTES:

- 1) AREA WAS DETERMINED BY THE COORDINATE METHOD.
- 2) ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
- 3) THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY.
- 4) DISTANCES SHOWN HEREIN ARE HORIZONTAL GROUND DISTANCES.
- 5) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
- 6) THE NE 243-00-072 BERKELEY COUNTY. NO ADDRESS ESTABLISHED AT THIS PROPERTY.
- 7) THERE ARE NO APPLICABLE DEEM CRITICAL LINE BUFFERS OR SETBACKS ON THIS PROPERTY.
- 8) ALL ELEVATIONS ARE BASED ON NAVD 83 DATUM.
- 9) NO LAND OR OTHER AREA IS DEDICATED FOR PUBLIC USE BY THIS PLAT UNLESS A DEDICATION IS EXPRESSLY STATED HEREIN.
- 10) THE PROPERTY IS ZONED GC (GENERAL COMMERCIAL) PER CITY OF GOOSE CREEK.
- SETBACKS:
 - FRONT= 20'
 - SIDE= 10'/20'
 - REAR= 20'
- NOTE: ALL MINIMUM YARD DIMENSIONS SHALL BE INCREASED BY 2 FEET FOR EACH STORY ABOVE THE SECOND.
- % COVERAGE= 40%.
- NOTE: PERCENT OF LOT COVERAGE BY BOTH PRINCIPAL AND ACCESSORY USES/BUILDINGS IF ENCLOSED PARKING IS PROVIDED, COVERAGE MAY BE 50%.
- MAX BUILDING HEIGHT= 50' (4 STORIES)
- 10) WATER PROVIDED BY GOOSE CREEK PUBLIC WORKS AND SEWER PROVIDED BY BERKELEY COUNTY WATER AND SANITATION.
- 12) THERE IS NO OBSERVED EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- 13) THE PROPERTY IS CURRENTLY UN-DEVELOPED AND THERE IS NO RECENT EVIDENCE OF CURRENT EARTH MOVING WORK AND SITE WORK CONSTRUCTION.
- 14) THERE WAS NO OBSERVED EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES OR OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- 15) THE LEGAL DESCRIPTION SHOWN HEREIN DESCRIBES THE SAME PROPERTY AS INSURED IN INVESTORS TITLE INSURANCE COMPANY'S COMMITMENT NUMBER 03802073265, COMMITMENT DATE, JUNE 10, 2020.
- 16) NO THE SURVEY AND THE INFORMATION, COURSES AND DISTANCES SHOWN THEREIN ARE CORRECT.
- 17) THE TITLE LINES AND LINES OF ACTUAL POSSESSION ARE THE SAME.
- 18) THE RECORD DESCRIPTION OF THE SUBJECT PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE.
- 19) THERE ARE NO GAPS BETWEEN THE SUBJECT PROPERTY AND ADJOINING PROPERTIES.
- 20) THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS, ALLEYS OR COMMON AREAS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, AND THERE ARE NO ENCROACHMENTS INTO THE PREMISES BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES UNLESS AS SHOWN.
- 21) NO LAND OR OTHER AREA IS DEDICATED FOR PUBLIC USE BY THIS PLAT UNLESS A DEDICATION IS EXPRESSLY STATED HEREIN.
- 22) THERE IS NO OBSERVED EVIDENCE OF ANY CONVEYANCES OR OTHER BURIAL GROUNDS LOCATED ON THE PROPERTY.
- 23) THERE ARE NO BUILDINGS LOCATED ON THE PROPERTY.
- 24) THERE APPEAR TO BE NO FRESHWATER WETLANDS LOCATED ON THIS PROPERTY.



CBAKER
ENGINEERING, LLC
843.270.3185
CHARLESTON, SC 29416
CBAKERENGINEERING.COM



EXISTING CONDITIONS
GOOSE CREEK TAKE 5
PAVILION DEVELOPMENT COMPANY
CITY OF GOOSE CREEK, SC
TMS NO. 243-00-00-072

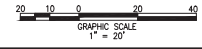
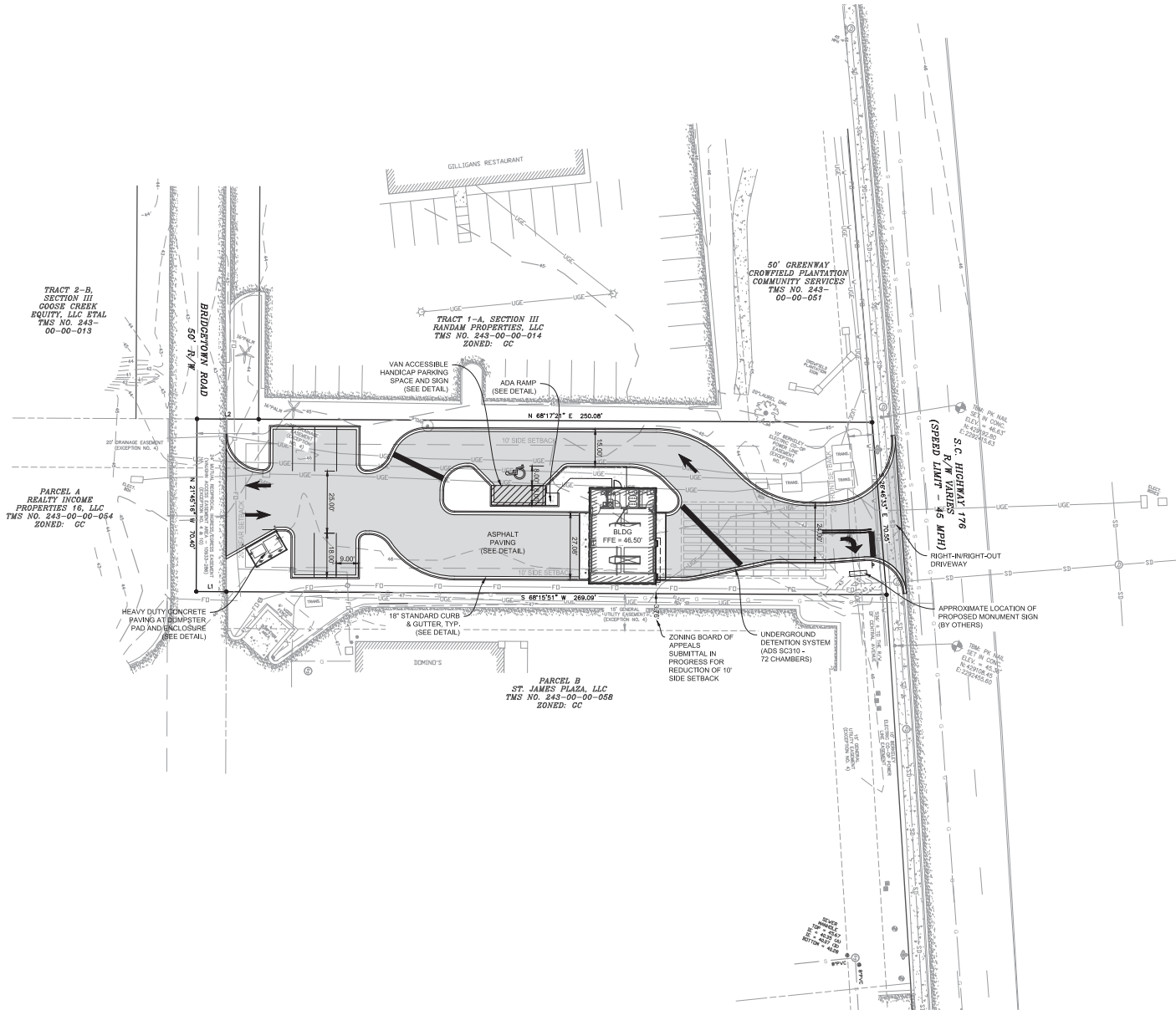
REV.	DATE	DESCRIPTION

PROJECT NO.: 20.016
PROJECT DATE: MAY 1, 2020
DRAWN BY: CBB
CHECKED BY: CBB
SCALE: 1" = 20'

SHEET: **C100**

NOTES:

1. PROPOSED USE: AUTO SERVICE (NO FUEL)
2. ZONING REQUIREMENTS
 - 2.1. SETBACKS:
 - 2.1.1. FRONT: 20'
 - 2.1.2. REAR: 20'
 - 2.1.3. SIDE: 10'/20'
 - 2.2. MAX BUILDING COVERAGE: 40%
 - 2.3. MAX HEIGHT: 50' (6 STORIES)
 - 2.4. BUFFER REQUIREMENTS: N/A
3. PARKING REQUIREMENTS
 - 3.1. REQUIRED: 1 SPACE PER 250 SF OF FLOOR AREA
 - 3.1.1. 5 SPACES @ 1,100 SF
 - 3.2. PROVIDED: 8 SPACES (INCLUDING 1 VAN ACCESSIBLE HANDICAP SPACE)
 - 3.3. OFF-STREET LOADING: N/A



REV.	DATE	DESCRIPTION

PROJECT NO.:	20.016
PROJECT DATE:	MAY 1, 2020
DRAWN BY:	CBB
CHECKED BY:	CBB
SCALE:	1" = 20'

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PLANTING PLAN

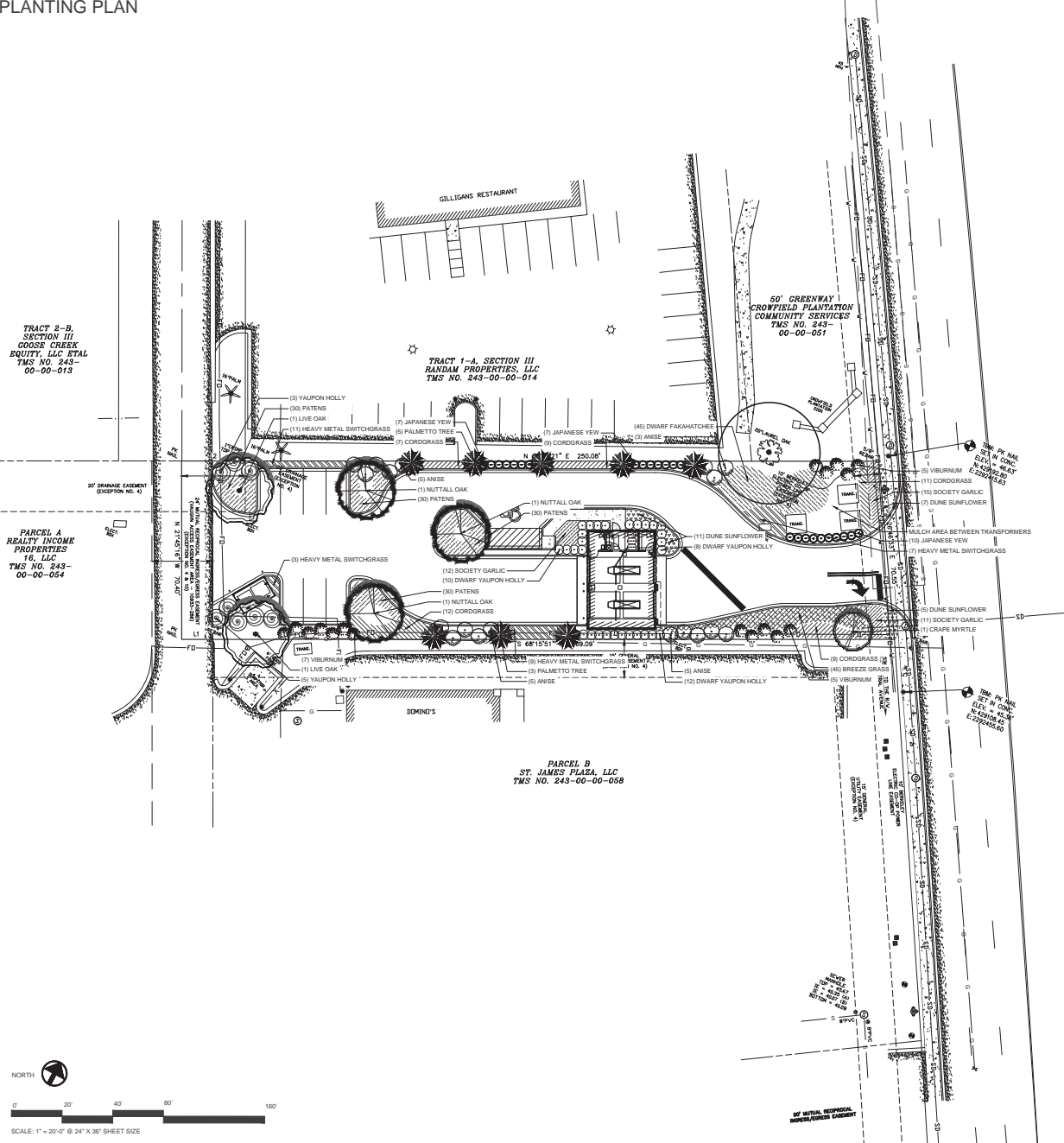
TRACT 2-B,
SECTION III
GOOSE CREEK
EQUITY, LLC ETAL
TMS NO. 243-
00-00-013

PARCEL A
REALTY INCOME
PROPERTIES
16, LLC
TMS NO. 243-
00-00-054

TRACT 1-A, SECTION III
RANDAM PROPERTIES, LLC
TMS NO. 243-00-00-014

PARCEL B
ST. JAMES PLAZA, LLC
TMS NO. 243-00-00-058

60' GREENWAY
CROWFIELD PLANTATION
COMMUNITY SERVICES
TMS NO. 243-
00-00-057



GENERAL NOTES:

- BASE INFORMATION INCLUDING BUT NOT LIMITED TO: STREETS, RIGHT-OF-WAYS, PROPERTY LINES, AND TOPOGRAPHY WAS OBTAINED FROM C BAKER ENGINEERING. OUTDOOR SPATIAL DESIGN, LLC ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION SHOWN HEREIN.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE UTILITY LOCATOR SERVICE, NO CUTS (1.800.922.9893), TO LOCATE ALL EXISTING UNDERGROUND ELECTRICAL AND TELEPHONE UTILITIES. CONTRACTOR TO MAKE THIS CONTACT PRIOR TO BEGINNING CONSTRUCTION.
- TREE PLANTINGS AND BED LINES SHALL BE STAKED BY LANDSCAPE CONTRACTOR FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE ADJUSTMENTS TO PLANTING LOCATIONS AS NEEDED.
- BASE BID ITEMS INCLUDE ALL INDICATED GRADED SWALES, BERMS, PLANTINGS, MULCHING, IRRIGATION SYSTEM, AND BACKFLOW PREVENTER. IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE TO ALL PLANT BEDS ON SITE AND TO INCLUDE A MINIMUM OF TWO HOSE BIBS, AND A RAIN GAUGE.
- THE LANDSCAPE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS WHERE ADDITIONAL SUSPECTED UNDERGROUND UTILITIES MAY EXIST. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES, BOTH KNOWN AND UNKNOWN. ALSO, HE SHALL EXERCISE INDUSTRY STANDARD SAFETY PRACTICES WHILE WORKING NEAR VEHICULAR TRAFFIC.
- LANDSCAPE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR TEMPORARY IRRIGATION SYSTEM SERVICES, PERMITS AND FEES AS NEEDED.

PLANT SCHEDULE:

TREES			
QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE / REMARKS
8	Sabal Palmetto	Palmetto Tree	Random Mix 12" - 16" Ht.
2	Quercus virginiana	Live Oak	3" cal.
3	Quercus nuttallii	Nuttall Oak	3" cal.
1	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle	14" Ht. min.

SHRUBS			
QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE / REMARKS
8	Ilex vomitoria	Yaupon Holly	7 gal.
17	Viburnum Odoratissimuj	Sweet Viburnum	7 gal.
18	Illicium floridanum	Florida Anise	7 gal.
24	Podocarpus macrophyllus	Japanese Yew	4" Ht. min.
30	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	3 gal.

GROUNDCOVERS, PERENNIALS & GRASSES			
QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE / REMARKS
120	Spartina patens	Saltmeadow Cordgrass	1 gal / 24" O.C.
30	Panicum virgatum Heavy Metal	Heavy Metal Switchgrass	1 gal / 24" O.C.
36	Spartina bakeri	Sand Cordgrass	1 gal / 24" O.C.
45	Tigarrum dactyloides	Dwarf Fakahatchee	1 gal / 36" O.C.
38	Yubaghia violacea	Society Garlic	1 gal / 36" O.C.
45	Lomandra longiloba Breeze	Breeze Grass	1 gal / 36" O.C.
23	Helianthus debilis	Dune Sunflower	1 gal / 36" O.C.



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843.718.5554



GOOSE CREEK TAKE 5

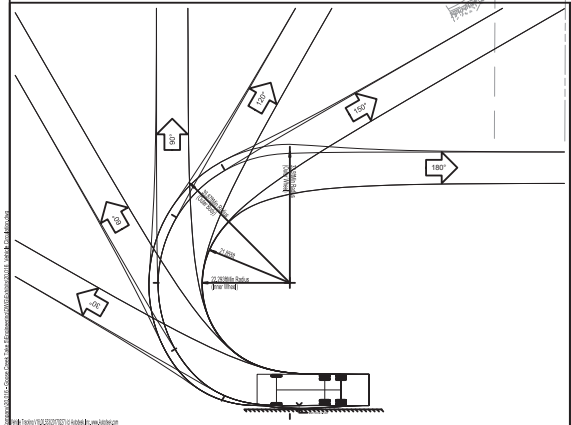
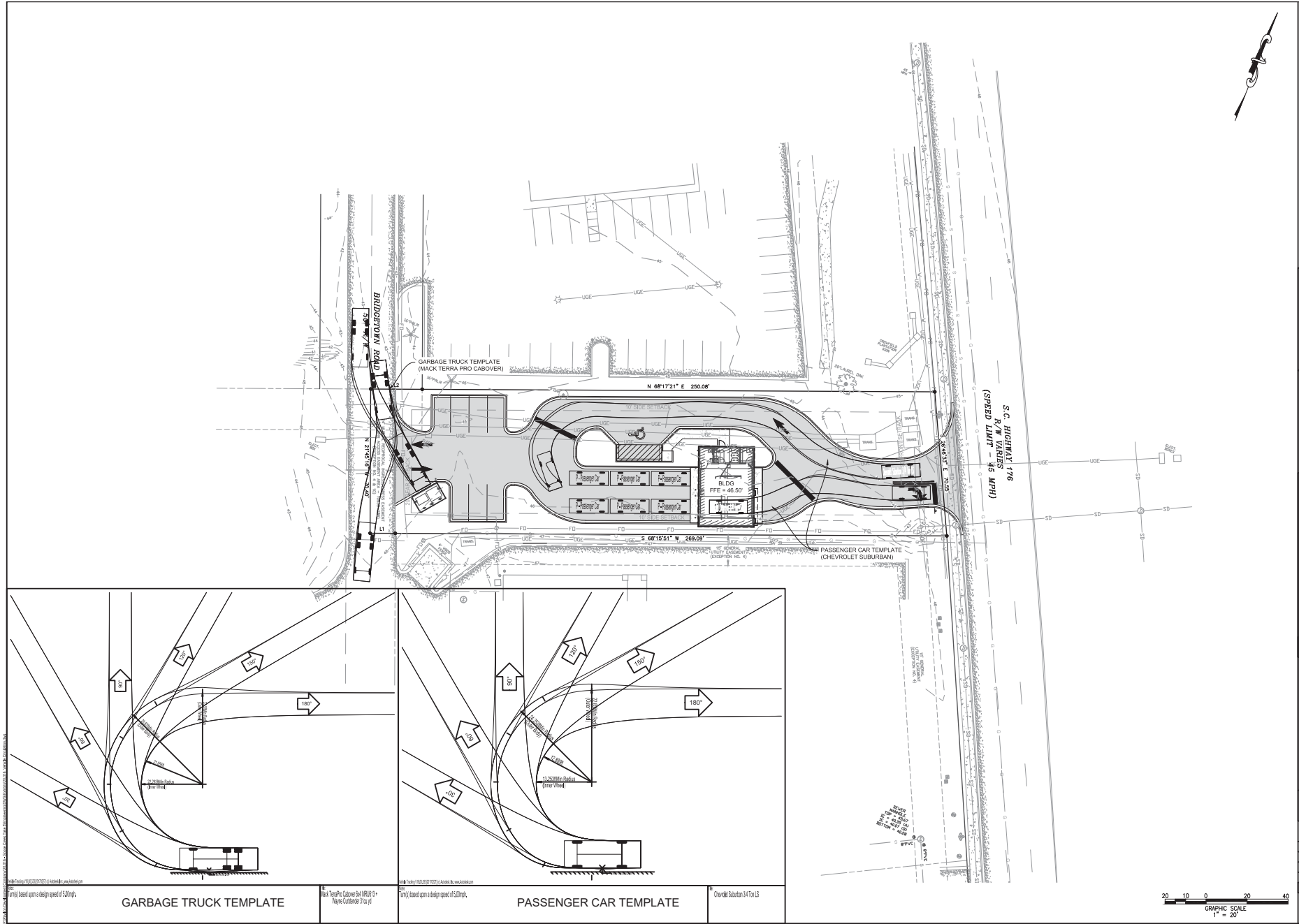
TMS: 243-00-00-072
CITY OF GOOSE CREEK, SC

REVISIONS	DATES
PERMIT SET	07.29.2020

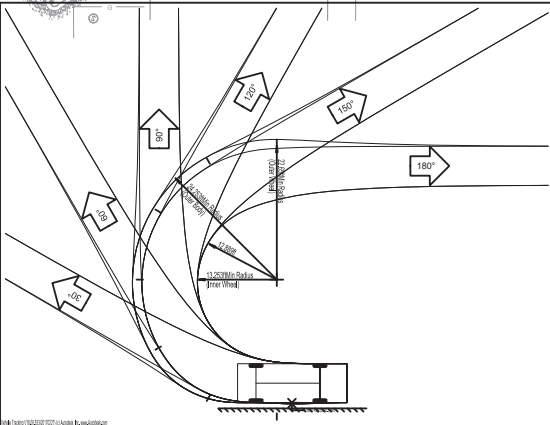
DRAWN BY	GCS
REVISED BY	
CHECKED BY	EWB

PLANTING PLAN
L1

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT OF RECORD AND STAMPED "APPROVED FOR CONSTRUCTION". USE OF THIS DRAWING FOR QUANTITY TAKE-OFFS AND PRICING IS PRELIMINARY UNTIL ALL APPLICABLE PERMITS HAVE BEEN OBTAINED.



GARAGE TRUCK TEMPLATE



PASSENGER CAR TEMPLATE

CherM Solution 34 Ton LS

CBAKER
ENGINEERING, LLC
443.70.3185
CHARLESTON, SC 29416
PO BOX 8102



VEHICLE CIRCULATION EXHIBIT
GOOSE CREEK TAKE 5
PAVILION DEVELOPMENT COMPANY
CITY OF GOOSE CREEK, SC
TMS NO. 245-00-00-072

REV.	DATE	DESCRIPTION

PROJECT NO.: 20.016
PROJECT DATE: MAY 1, 2020
DRAWN BY: CBB
CHECKED BY: CBB
SCALE: 1" = 20'



SHEET: **EXH1**



SGA
NarmourWright
 DESIGN
 804 Meeting Street, Ste. 103
 Charleston, SC 29403
 P 843.853.4506
 www.sganwdesign.com

GOOSE CREEK TAKE 5 OIL CHANGE
 GOOSE CREEK, SC

FRONT ELEVATION
 PROJECT NUMBER: 20-132-03-OP
 DATE: 07/28/2020
 DRAWN BY: JVD
 CHECKED BY: CN