



**CREEK
COMPASS**
City of Goose Creek

ARCHITECTURAL REVIEW BOARD

October 17, 2022

Regular Meeting 6:00PM

City Hall Council Chambers

519 N. Goose Creek Blvd

Goose Creek, SC 29445



TO: MEMBERS OF THE ARCHITECTURAL REVIEW BOARD

FROM: LILI ORTIZ-LUDLUM, ADMINISTRATIVE ASSISTANT

DATE: OCTOBER 13, 2022

SUBJECT: NOTIFICATION OF ARCHITECTURAL REVIEW BOARD

This is to remind everyone that the next meeting of the ARB is scheduled for Monday, October 17, 2022, at 6:00 p.m. This meeting will take place at City Hall in Council Chambers.

Should you have any questions or comments prior to Monday's meeting, please do not hesitate to contact the Planning Department at 843-797-6220 or via e-mail at planning-zoning@cityofgoosecreek.com.



MINUTES

**MINUTES
CITY OF GOOSE CREEK
ARCHITECTURAL REVIEW BOARD MEETING
MONDAY, SEPTEMBER 19, 2022, 6:00 P.M.
MARGUERITE H. BROWN MUNICIPAL CENTER
519 N. GOOSE CREEK BOULEVARD**

I. CALL TO ORDER AND ROLL CALL

Chairperson Wise called the meeting to order at 6:00 p.m., and Ms. Kiser initiated roll call.

Present: Robert Smith; Mary Kay Soto; Terri Victor; Jen Wise

Absent: Doug Dickerson; Jordan Pace; Armando Solarana

Staff Present: Planning and Zoning Director Kendra Wise; Assistant to the City Administrator Alexis Kiser

II. APPROVAL OF MINUTES – AUGUST 15, 2022

Motion: A motion was made to approve the minutes as submitted. **Moved by** Board Member Smith, **Seconded by** Board Member Victor.

Discussion: None.

Vote: All voted in favor (4-0). Motion carried.

III. NEW BUSINESS

A. 2022-062NBLD: CITY OF GOOSE CREEK AMPHITHEATER: 519 N. GOOS CREEK BLVD-NEW BUILD

The applicant presented the application. The applicant stated the project consists of three distinct areas: the amphitheater, a food truck plaza and an outdoor basketball court with gravel parking. They presented renderings to the board. The applicant answered questions from the board pertaining to parking and storage. It was stated the estimated completion date for this project is April 2024.

Motion: A motion was made to approve the application as submitted. **Moved by** Board Member Smith, **Seconded by** Board Member Soto.

Discussion: None.

Vote: All voted in favor (4-0). Motion carried.

IV. CLOSING REMARKS & ADJOURNMENT

Board Member Smith stated Kramerica added the Kramer image to the road sign which was denied by the board at the last ARB meeting. Mrs. Soto stated the Brazilian Bakery located on Red Bank added the signs that were presented in the ARB packet. Ms. Kiser stated she is working with them.

Ms. Kiser stated the sign ordinance did pass second reading which means that signs will no longer be reviewed by the ARB. She stated townhomes and multifamily dwellings are now under ARB purview. She stated a townhome and multifamily training will take place for the ARB.

Mrs. Wise stated mandatory training, not related to what Mrs. Kiser stated, is also being offered.

Motion: A motion was made to adjourn (6:29 p.m.) **Moved by** Board Member Soto, **Seconded by** Board Member Smith.

Discussion: There was none.

Vote: All voted in favor (4-0). Motion carried.

_____ Date _____
Jen Wise, Chairperson



2022-064PT

BOJANGLES

MEMORANDUM

TO: City of Goose Creek Architectural Review Board
FROM: Alexis Kiser, Assistant to City Administrator
RE: Exterior Modification (Former Bojangles) 431 St. James Avenue A
DATE: October 4, 2022

Staff has reviewed the submittal to the Architectural Review Board (ARB) and offers the following commentary:

General Conformance Analysis

On September 28, 2022 city staff issued a stop work order at this location for unauthorized modifications according to Code Sections §151.190(E)(1)C,D. This section gives the Architectural Review Board purview over all color changes and all changes in signs. The work done on this property included changing the paint color of awnings and removing signage from the menu board to “debrand” the property.





Architectural Review Design Guidelines Analysis

As the result of the unapproved work, when painting the awnings, the building received paint overspray. This damages the view of the building from the right-of-way. Furthermore, it is the intent of the ARB to assure respect for the character, integrity and quality of the built environment.

Staff Recommendation

Staff asks that the ARB approve the application, with the condition of correcting the oversprayed areas on the building as a result of painting the awnings.



ARB SCOPE OF WORK FORM/

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address: <u>431 SAINT JAMES AVENUE</u>		TMS No.: <u>234 00 000 82</u>
Review request:	For:	Preliminary meeting date requested: <u>10/17/2022</u>
<input type="checkbox"/> Preliminary	<input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	

Property Owner: <u>BOJANGLES / SPRANCE ASHLEY RANDALL ETAL</u>	Daytime phone:
Applicant: <u>CHARLESTON SIGN LLC</u>	Daytime phone: <u>843-529-1414</u>
ARB Meeting Representative: <u>DAVID PINEIRO</u>	Contact Information: <u>843-529-1414</u>
Applicant's mailing address: <u>4200 DORCHESTER ROAD</u>	
City: <u>NORTH CHARLESTON</u>	State: <u>SC</u> Zip: <u>29405</u>
Applicant's e-mail address: <u>service@charleston-sign.com</u>	
Applicant's relationship: <input type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input checked="" type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

Materials/Colors Used: (specific color(s)/manufacture #'s listed: samples must be presented to Board attached)
 (Example: Building Materials, Exterior Colors, Landscaping, Lighting)

PAINT COLOR SHERWIN WILLIAMS 2066-30 BIG COUNTRY BLUE

Scope of Work: (please give a detailed description)

DEBRANDING OF A CLOSED BOJANGLES LOCATION. PAINTING AWNINGS AND CANOPIES BLUE TO DEBRAND FROM BOJANGLES ORANGE.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature:

Date:

9/28/2022

Print name legibly: _____



SUBMITTAL REQUIREMENTS ~ ARCHITECTURAL REVIEW BOARD

ALEXIS KISER
(843) 797-6220 x1123

DEAR APPLICANT, In order for Staff and the Architectural Review Board to be able to properly evaluate your project, the following information relevant to the project needs to be included on the Project Plans submitted for review.

Staff will review your submittal against the checklist as a means to ascertain if your submittal is deemed complete. Checklist items left unaddressed may result in a postponed review. The Director may waive or add additional requirements if further clarification is needed.

The Planning & Zoning Staff want to assure you that getting your project approved through ARB is their primary goal. Therefore, we ask that you complete the checklist and scope of work in its entirety for your project. They may make suggested modifications to your project if they feel that doing so will improve the likelihood of an approval.

PART I. PREPARE A COVERSHEET WITH THE FOLLOWING INFORMATION:

- Sheet Index,
- TMS# and Address,
- Existing Zoning District, setbacks, building height, site lot coverage,
- Scale used (1"=20' or 40'),
- Vicinity Map (Any Scale),
- North Arrow,
- Aerial Photo of Site in color.

PART II. PREPARE A FULLY COLORED SITE PLAN, CLEARLY AND LEGIBLY DRAWN TO SCALE WITH THE FOLLOWING INFORMATION:

- Dimensioned Property Lines,
- Any existing buildings w/ proposed use,
- All proposed improvements including, but not limited to buildings, sidewalks, parking spaces (numbered),
- Any other site details (i.e. screen walls, trash enclosures, dumpsters, trellises, loading, storage areas,
- Proposed Landscape Plan including location, size, and common name,
- Tree Survey (separate sheet please) including number of all hardwood trees at least 8 inches in diameter, and which trees will be removed, and which trees will remain,
- Buildings on adjacent site that are within 40 feet of any property line. Simple outline will suffice,
- Dimensioned setbacks of proposed building(s).

PART III. PREPARE EXTERIOR BUILDING ELEVATIONS FOR ALL FOUR SIDES OF THE BUILDING THAT ARE DRAWN CLEARLY AND LEGIBLY TO SCALE WITH THE FOLLOWING INSTRUCTIONS:

- Building Elevations with height and width dimensions,
- Doors and window locations,
- Roof Elements,
- 3-D dimensional analysis of building elevation with appropriate landscape materials shown,
- Proposed design details, including any pedestrian seating areas, awnings and other overhead weather protection measures, fences, walls, balconies, bay windows, building materials, colors, and proposed exterior lighting,
- North Arrow,
- Aerial Photo of Site in color.

PART IV: DRAWING FORMAT

- All drawings must be to scale and have a graphic scale,
- All sheets in the submittal must be the same size,
- Drawing Sheets must have a Title Block with project names, labeled for Architectural Review Board Review and submittal and revision dates.

Please note this page must accommodate the ARB Scope of Work Form to be considered a valid application.



Imagery ©2022 Maxar Technologies, Map data ©2022 20 ft



Image capture: Dec 2018 © 2022 Google

Google

Street View - Dec 2018





Image capture: Dec 2018 © 2022 Google

Google

Street View - Dec 2018





COLOR SAMPLE FROM ANOTHER LOCATION
THAT WAS DEBRANDED





2022-066NBLD
STEINBERG LAW FIRM



MEMORANDUM

TO: City of Goose Creek Architectural Review Board
FROM: Alexis Kiser, Assistant to City Administrator
RE: Steinberg Law Firm Architectural Review, S. Goose Creek Boulevard
(TMS# 243-16-01-025, 243-16-01-027)
DATE: September 22, 2022

Staff has reviewed the submittal to the Architectural Review Board (ARB) and offers the following commentary:

General Conformance Analysis

This proposal is for an adjustment of a previously approved application (November 2021). The applicant has recently acquired 0.12 acres of a SCDOT right-of-way that was situated in between the property location and S. Goose Creek Boulevard (Highway 52). The applicant will be abandoning the property line and in doing so would like to move the building closer to the right-of-way by eight (8) feet. This parcel is zoned General Commercial (GC), which has a front building setback of twenty (20) feet. The new building location does not encroach into the front building setback. The orientation of the building is not changing from the previously approved version.

Architectural Review Design Guidelines Analysis

The architectural elements and building design previously presented the Architectural Review Board are not changing. The only item different from the previous application is the location of the building. The ARB approved design still stands.

Staff Recommendation

Staff asks the Architectural Review Board approve the application as submitted as it meets the standards by zone for the General Commercial (GC) zoning district.



SUBMITTAL REQUIREMENTS ~ ARCHITECTURAL REVIEW BOARD

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(843) 797-6220 x1123

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Staff will review your submittal against the checklist as a means to ascertain if your submittal is deemed complete. Checklist items left unaddressed may result in a postponed review. The Director may waive or add additional requirements if further clarification is needed.

The Planning & Zoning Staff want to assure you that getting your project approved through ARB is their primary goal. Therefore, we ask that you complete the checklist and scope of work in its entirety for your project. They may make suggested modifications to your project if they feel that doing so will improve the likelihood of an approval.

PART I. PREPARE A COVERSHEET WITH THE FOLLOWING INFORMATION:

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PART II. PREPARE A FULLY COLORED SITE PLAN, CLEARLY AND LEGIBLY DRAWN TO SCALE WITH THE FOLLOWING INFORMATION:

- Dimensioned Property Lines,
- Any existing buildings w/ proposed use,
- All proposed improvements including, but not limited to buildings, sidewalks, parking spaces (numbered),
- Any other site details (i.e. screen walls, trash enclosures, dumpsters, trellises, loading, storage areas,
- Proposed Landscape Plan including location, size, and common name,
- Tree Survey (separate sheet please) including number of all hardwood trees at least 8 inches in diameter, and which trees will be removed, and which trees will remain,
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- Building Elevations with height and width dimensions,
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ARB SCOPE OF WORK FORM/

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address: 211 South Goose Creek Blvd.		TMS No.: 243-16-01-025, 026 & 027
Review request:	For:	Preliminary meeting date requested:
<input type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other	Resubmittal for previously approved plan set _____

Property Owner: Steinberg Highway 52 Property LLC	Daytime phone: 843-991-3931
Applicant: Earthsource Engineering-Kevin M Berry, PE	Daytime phone: 843-881-0525
ARB Meeting Representative: Applicant	Contact Information: same
Applicant's mailing address: 962 Houston Northcutt Blvd, Suite 200	
City: Mount Pleasant	State: SC Zip: 29464
Applicant's e-mail address: berryk@earthsourceeng.com	
Applicant's relationship: <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

Materials/Colors Used: <i>(specific color(s)/manufacture #'s listed: samples must be presented to Board attached)</i> <i>(Example: Building Materials, Exterior Colors, Landscaping, Lighting)</i> <input type="checkbox"/>
Scope of Work: <i>(please give a detailed description)</i>
- Re-submittal for site and landscape approval for 12,000 square foot law office (Steinberg Office Building) based on SCDOT right of way aquisition along our frontage, along the building to shift forward by 8 feet

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature:  _____ **Date:** 9/20/2022

Print name legibly: Kevin M Berry, PE _____

STEINBERG GOOSE CREEK

211 SOUTH GOOSE CREEK BLVD
GOOSE CREEK, SC 29445

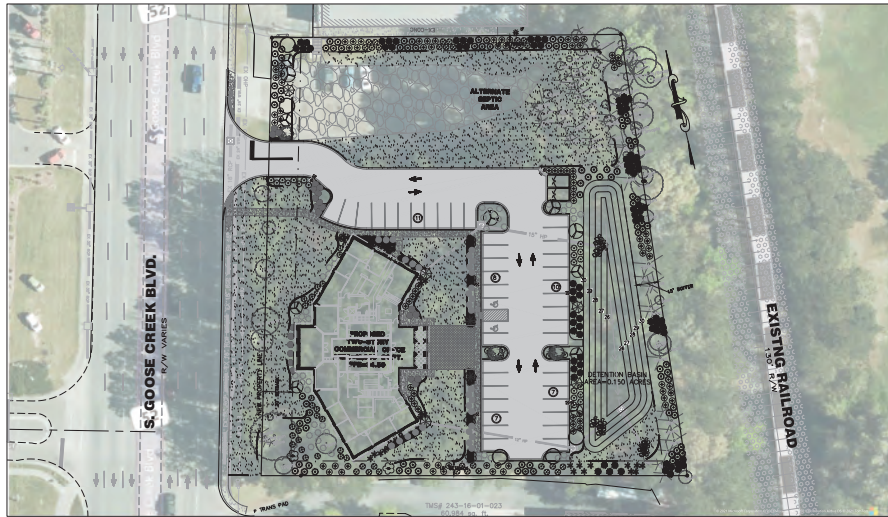


LOCATION MAP (NTS)

PROJECT NARRATIVE:
THE OWNER OF THE SUBJECT LOT PROPOSES TO CONSTRUCT A TWO STORY LAW OFFICE CONSISTING OF 12030 SF. THE SITE WILL HAVE SUPPORTING PARKING SPACES, SIDEWALKS, DRIVE AISLES, UTILITY, AND DRAINAGE SYSTEMS. THE PARCEL IS LOCATED AT 211 SOUTH GOOSE CREEK BLVD.

ADA NOTES:

- THE PUBLIC R/W MUST REMAIN ADA COMPLIANT DURING CONSTRUCTION OR AN ALTERNATIVE ROUTE MUST BE PROVIDED.
- IT IS THE OWNER'S RESPONSIBILITY TO REPAIR ALL DAMAGED SIDEWALKS TO REINSTATE AN ADA ACCESSIBLE ROUTE.
- MINIMUM 98-INCH VERTICAL CLEARANCE MUST BE PROVIDED AT ADA VAN PARKING SPACE, ACCESS AISLE, AND ON VEHICULAR ROUTE TO AND FROM VAN SPACE.
- ALL ADA ROUTES MUST MEET MINIMUM REQUIREMENTS OF THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN INCLUDING MAX 2% CROSS-SLOPE AND MAX 5% UP-SLOPE.



SHEET INDEX SITE AND CIVIL DRAWINGS

DESCRIPTION	SHEET NUMBER
COVER SHEET	C-100
EXISTING CONDITIONS	C-200
SITE LAYOUT PLAN	C-201
SITE DISTANCE EXHIBIT	C-300
GRADING, PAVING & INTERMEDIATE SWPPP	C-301
DRAINAGE & FINAL STABILIZATION	C-400
UTILITY LAYOUT PLAN	C-500
CONSTRUCTION DETAILS (SITE)	C-501
CONSTRUCTION DETAILS (STORM)	
LANDSCAPE DRAWINGS	
LANDSCAPE PLAN & PLANT SCHEDULE	L-100

OWNER:
STEINBERG HIGHWAY 52 PROPERTY LLC
BENJAMIN AKERY
118 S GOOSE CREEK BLVD
GOOSE CREEK, SC 29445
PHONE: 843.991.3931

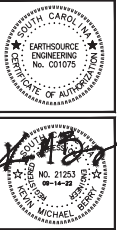
ARCHITECT:
LFK ARCHITECTS
802 COLEMAN BLVD.
MT PLEASANT, SC 29464
CONTACT: LOSSE KNIGHT
PHONE: 843.330.8940

CONTRACTOR:
THE CORNERSTONE COMPANY
543 LONGPOINT ROAD
MOUNT PLEASANT, SC 29464
CONTACT: TERRY WEEKS
PHONE: 843.849.7760

CONTACTS:
CITY OF GOOSE CREEK PLANNING, DIRECTOR
MS. KENDRA WISE
CITY OF GOOSE CREEK PLANNING, SPECIALIST
MS. BRENDA MONEER
BERKELEY COUNTY ENGINEERING
MR. CLINT BUSBY, PE
CITY OF GOOSE CREEK PUBLIC WORKS
MR. CHUCK DENSON, PE
BERKELEY COUNTY WATER & SANITATION
MR. TOMMY HARRIS

TELEPHONE:
(843) 797-6220
(843) 797-6220
(843) 719-4098
(843) 824-2200
(843) 719-2331

SITE DATA:
TMS#: 243-16-01-025, 026, 027
LOT SIZE: 1.71 ACRES
LIMITS OF DISTURBANCE: 1.82 ACRES
FLOOD ZONE: 'X'
FIRM PANEL#: 45015C0685E
DATE: 12/07/2018
ZONED: GC
BUFFERS:
FRONT(WEST): 15'(REDUCED BY STAFF)
SIDE: N/A
REAR(EAST): 15'(BUFFER 1)
SETBACKS:
FRONT(WEST): 20'(ELIMINATED BY STAFF)
SIDE: 10'
REAR(SOUTH): 20'
BUILDING AREA:
OFFICE: 12,030 SQ.FT.
MAX BUILDING HEIGHT: 50' (4-STORY)
PROPOSED BUILDING HEIGHT: 34'-6"
PARKING REQUIRED:
USE: 1 SPACE PER 300 SF: 40 SPACES
TOTAL REQUIRED: 40 SPACES
PARKING PROVIDED:
REGULAR: 41 SPACES
HANDICAP: 02 SPACES
TOTAL: 43 SPACES
BENCH MARK DATA:
1BM PK NAIL FOUND IN CONCRETE
ELEVATION=28.23' DATUM: NAVD 88



**STIENBERG
GOOSE CREEK**
211 SOUTH GOOSE CREEK BLVD
GOOSE CREEK, SC 29445
COVER

NO.	DATE	REVISIONS
1	03.15.22	PER ENGINEERING/PROJECT COMMENTS
2	03.15.22	PER CITY ENGINEERING COMMENTS
3	03.15.22	PER CITY ENGINEERING COMMENTS
4	03.15.22	PER CITY ENGINEERING COMMENTS

DRAWN: JSU	CHECKED: ERL
DATE: 03.15.22	JOB NO: 21-139
PERMIT REVIEW SET	
SHEET NUMBER	
Cover	

SITE DATA

SITE DATA:
TMS# 243-16-01-025, 026, 027
LOT SIZE: 1.71 ACRES
LIMITS OF DISTURBANCE: 1.82 ACRES
FLOOD ZONE: 'X'
FRONT(WEST): 15'(REDUCED BY STAFF)
SIDE: N/A
REAR(EAST): 15'(BUFFER 1)

GENERAL CLEARING NOTES

- 1. THE CONTRACTOR SHALL VERIFY ALL TREES TO BE PROTECTED AND IS TO PROTECT THESE TREES AS SPECIFIED IN THE TREE PROTECTION DETAIL.
2. THE CONTRACTOR SHALL MEET WITH THE PROJECT'S LANDSCAPE DESIGNER PRIOR TO CONSTRUCTION TO COORDINATE EXISTING VEGETATION TO REMAIN.
3. ANYTHING REMOVED FROM THE SITE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR ACCORDING TO THE MUNICIPALITY'S REQUIREMENTS.

GENERAL SITE NOTES

- 1. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DETERMINE IF THERE ARE ANY DISCREPANCIES FROM THE PLANS.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS WHICH ARE TYPICALLY TO EDGE OF ASPHALT, FACE OF CURB.
3. CONTRACTOR TO USE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS OF BUILDINGS.

GENERAL PAVING & GRADING NOTES

- 1. CONTRACTOR TO VERIFY ALL ELEVATIONS, GRADES, AND DRAINAGE STRUCTURES PRIOR TO CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE ENGINEER.
2. CONTRACTOR SHALL FOLLOW THE CONSTRUCTION SEQUENCE ON THE DETAIL SHEET C-001 TO PREVENT STORMWATER AND SEDIMENT FROM LEAVING THE SITE.
3. WATER ENCOUNTERED WHILE TRENCHING FOR UTILITIES MUST BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE DISCHARGING OFF SITE. PUMP INTAKES SHOULD HAVE A FLOAT OR SIT ON A BED OF ROCK TO PREVENT DREDGING AND THE DISCHARGE SHOULD BE THROUGH AN ENERGY DISSIPATOR AND/OR SEDIMENT TRAP.

SWPPP CONTROL NOTES

EROSION CONTROL NOTES:

- 1. IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.

SEQUENCE OF CONSTRUCTION

- 1. RECEIVE NPDES COVERAGE FROM DHEC.
2. NOTIFY DHEC EOC REGIONAL OFFICE OR OCRM OFFICE 48 HOURS PRIOR TO BEGINNING UNTIL THE SLOPE IS BROUGHT TO GRADE.
3. NOTIFY DHEC EOC REGIONAL OFFICE OR OCRM OFFICE 48 HOURS PRIOR TO BEGINNING UNTIL THE SLOPE IS BROUGHT TO GRADE.
4. INSTALL CONSTRUCTION ENTRANCE.
5. CLEARING & GRUBBING ONLY AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS.

LOCAL COUNTY SWPPP NOTES

EROSION CONTROL NOTES:

- 1. IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.

UTILITY NOTES

- GENERAL UTILITY NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING ALL UNDERGROUND UTILITIES LOCATED WITHIN THE PROJECTED AREA OF WORK ON SITE AND OFF. WHERE SUCH UTILITIES ARE FOUND, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF FOUND UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
2. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON A COMBINATION OF THE SURVEYOR'S FIELD LOCATION AND RESEARCH OF RECORDS FROM VARIOUS UTILITY COMPANIES. THESE LOCATIONS ARE BY NO MEANS EXACT OR COMPLETE.



STIENBERG GOOSE CREEK
211 SOUTH GOOSE CREEK BLVD
GOOSE CREEK, SC 29945
GENERAL NOTES

Table with columns: NO., DATE, REVISIONS. Includes a grid for tracking changes to the drawing.

Administrative information including: DRAWN: JSU, CHECKED: ERL, DATE: 03-15-22, JOB NO.: 21-139, PERMIT REVIEW SET, SHEET NUMBER: C-001.



- NOTES**
- 1) PROPERTY CORNERS SET ARE ALL 5/8" REBAR UNLESS NOTED OTHERWISE
 - 2) AREA CALCULATED BY THE COORDINATE METHOD.
 - 3) BEARINGS SHOWN HEREON ARE STATEPLANE GRID
 - 4) THIS PLAT IS INTENDED ONLY TO SHOW THE SURVEY STATION TRAVEL TABLE AND IS BASED ON FOUND SURVEY DATA LISTED REFERRED TO FOUND LINES OF OCCUPATION. NO TITLE RESEARCH WAS DONE.
 - 5) SETBACKS ARE SUBJECT TO CHANGE AND MUST BE APPROVED BY TOWN/CITY OFFICIAL.
 - 6) THE SURVEY SHOWS EASEMENTS WHICH ARE OBVIOUS OR APPARENT TO THE SURVEYOR.
 - 7) NO SUBSURFACE INVESTIGATION DONE
 - 8) ANY REPRESENTATION OUTSIDE BOUNDARY IS FOR REFERENCE
 - 9) THERE HAS BEEN NO ENVIRONMENTAL INVESTIGATION DONE FOR POTENTIAL PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS SUBSTANTIAL WETLANDS OR OTHER CRITICAL AREAS ARE UNDETERMINED AS OF THIS DATE.
 - 10) THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. SEE 15" X 24" FIRM PANEL #40703 CASE, DATED DECEMBER 7, 2018.
 - 11) THIS SURVEY IS FOR CLIENT AND CURRENT LENDING INSTITUTION AND IS NOT TRANSFERABLE TO SUBSEQUENT OWNERS OR LENDING INSTITUTIONS

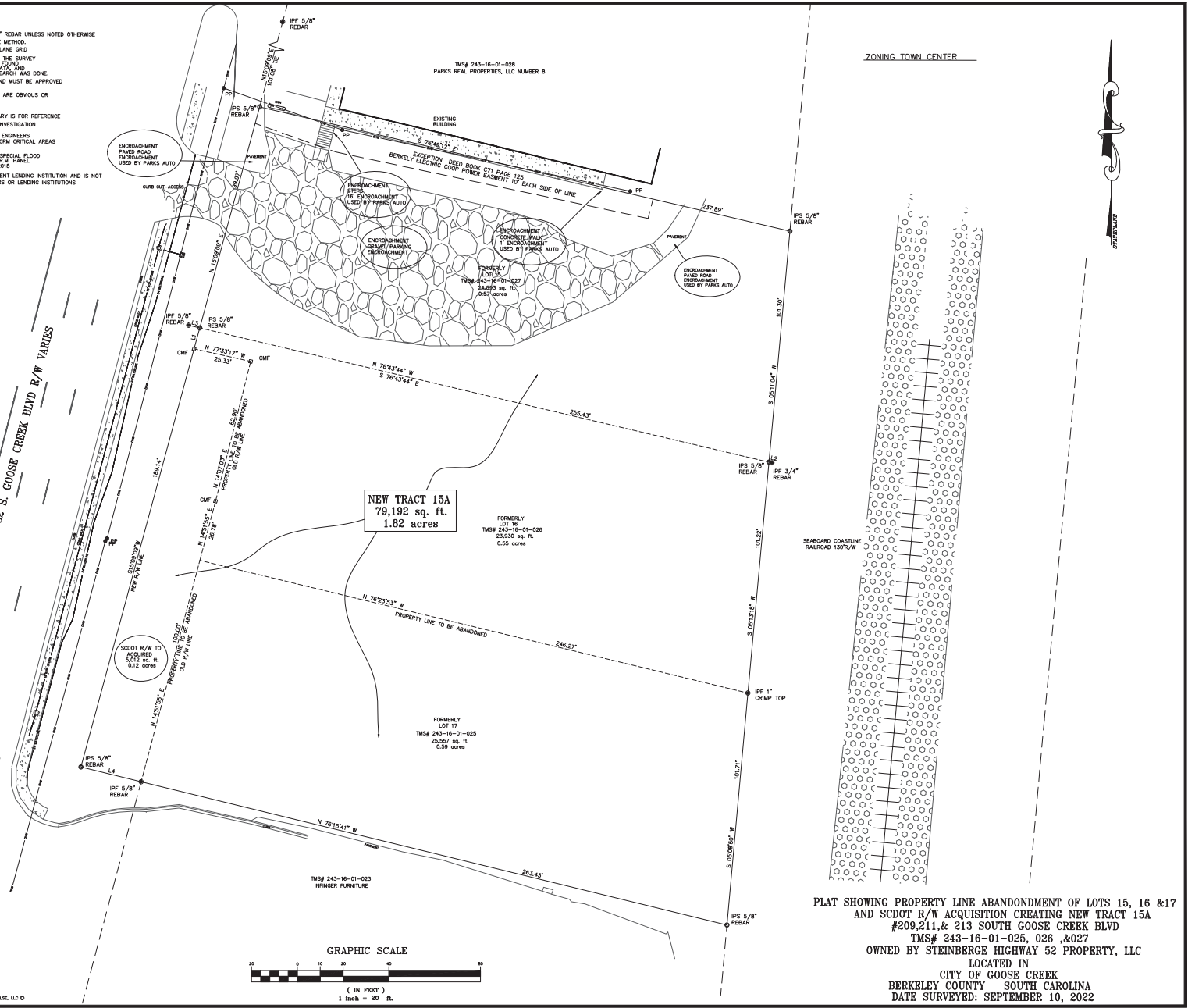
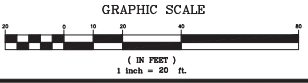
- REFERENCES**
- 1) PLAT BY DARLAND DATED MAY 1982 PLAT C58 O PAGE 089
 - 2) PLAT BY PAUL LAWSON DATED JULY 26, 1986 PLAT C58 M PAGE 980
 - 3) DEED C58 PAGE 015
 - 4) DEED C71 PAGE 125

LINE	LENGTH	BEARING
L1	9.53	N152°02'07"E
L2	1.34	N76°43'44"E
L3	4.99	S76°43'44"E
L4	27.08	N26°15'41"W

- LEGEND**
- IRON PIPE FOUND ○
 - IRON PIPE SET ●
 - CALCULATED POINT △
 - STORM MANHOLE ⊙
 - LIGHT POLE ⊕
 - POWER LINES ⊕

I hereby state that to the best of my knowledge, information and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class "A" survey as specified therein; also there are no visible encroachments, projections, or setbacks affecting the property other than those shown.

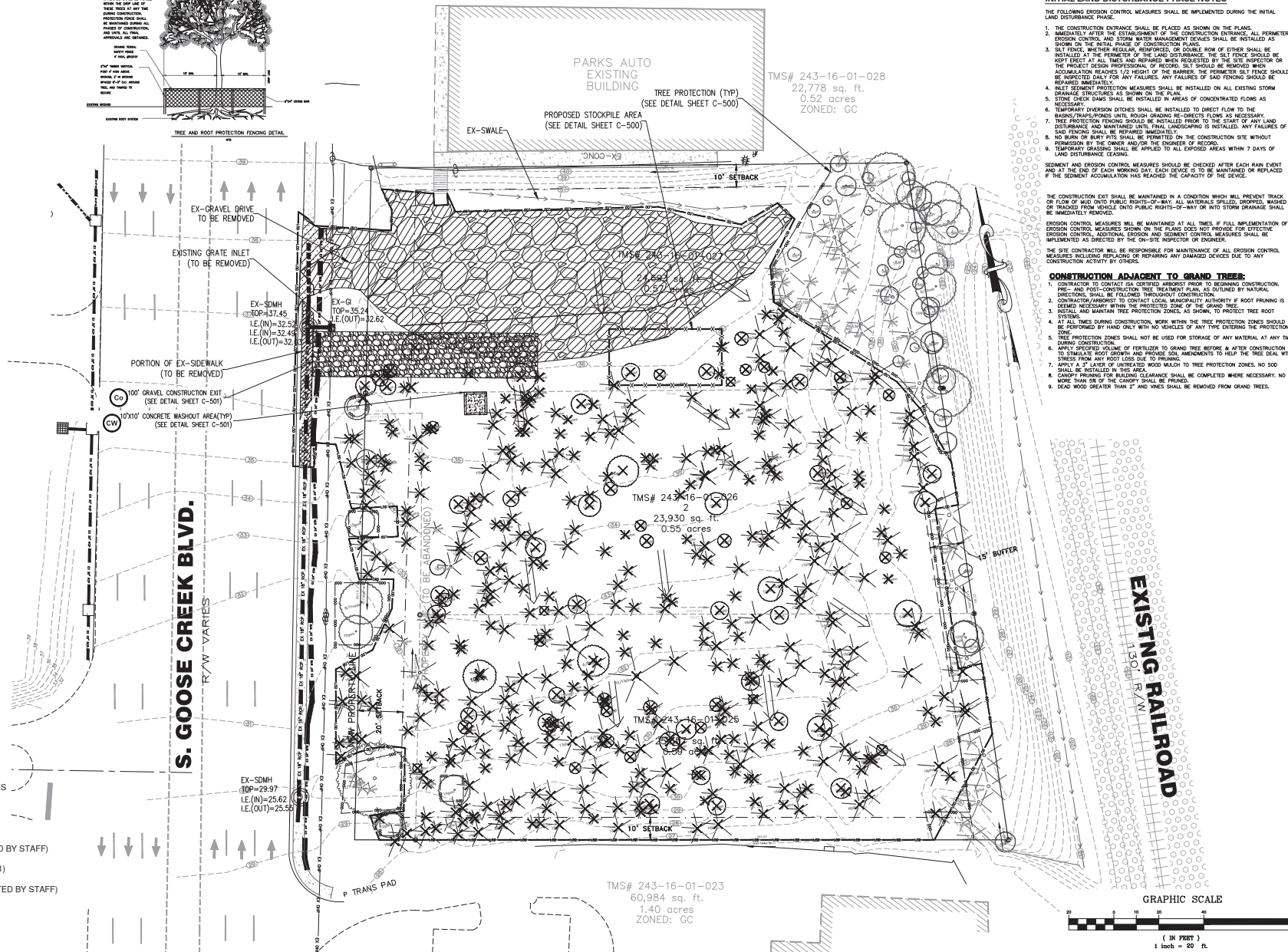
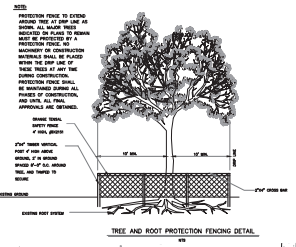
DRAFT
 MICHAEL S. SHULSE, S.C. P.L.S. No.18268
 186 SEVENS FARMS DR SUITE F BOX 194
 DANIEL ISLAND, S.C. 29492
 PHONE:(843) 296-1007
 THIS DOCUMENT IS NOT A TRUE VALID COPY UNLESS BEARING THE ORIGINAL SIGNATURE AND RAISED/EMBOSSED SEAL OF THE SURVEYOR. MICHAEL SHULSE, LLC



PLAT SHOWING PROPERTY LINE ABANDONMENT OF LOTS 15, 16 & 17 AND SCOT R/W ACQUISITION CREATING NEW TRACT 15A #209,211, & 213 SOUTH GOOSE CREEK BLVD TMS# 243-16-01-025, 026, & 027 OWNED BY STEINBERGE HIGHWAY 52 PROPERTY, LLC LOCATED IN CITY OF GOOSE CREEK BERKELEY COUNTY SOUTH CAROLINA DATE SURVEYED: SEPTEMBER 10, 2022

- LEGEND:**
- PROPERTY LINE
 - ADJACENT PROPERTY
 - EDGE OF PAVEMENT
 - BUFFER LINE
 - LOD
 - NON PIPE FOUND
 - NON PIPE SET
 - EXISTING WATER MAIN
 - EXISTING SEWER MAIN
 - EXISTING 12" HD DRAINAGE
 - EXISTING SEWER MANHOLE
 - EXISTING WATER VALVE
 - EXISTING WATER METER
 - EXISTING COMMUNICATIONS VALVE
 - EXISTING LIGHTING VALVE
 - EXISTING TRAFFIC SIGNAL VALVE
 - EXISTING ELECTRIC PANEL
 - EXISTING GAS VALVE
 - EXISTING TEL. CABINET
 - EXISTING STORM INLET
 - EXISTING STORM INLET
 - EXISTING LIGHT POLE
 - EXISTING CONTROL
 - EXISTING STOP SIGN
 - EXISTING DRAINAGE FLOW PATTERN
 - EXISTING TREE TO BE REMOVED
 - TREES TO BE PROTECTED
 - EXISTING ASPHALT
 - EXISTING CONCRETE
 - EXISTING BRICK SIDEWALK TO BE REMOVED
 - EXISTING CONCRETE TO BE REMOVED
 - EXISTING GRAVEL TO BE REMOVED
- SWPPP LEGEND:**
- CONCRETE WASHOUT
 - TYPE "A" INLET PROTECTION
 - CONSTRUCTION ENTRANCE/EXIT
 - SILT FENCE/SEDIMENT TUBES
 - TYPE "T" INLET PROTECTION
 - TREE PROTECTION

LIMITS OF DISTURBANCE = 1.60 ACRES

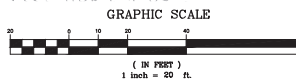


INITIAL LAND DISTURBANCE PHASE NOTES

- THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE INITIAL LAND DISTURBANCE PHASE.
 - THE CONSTRUCTION ENTRANCE SHALL BE PLACED AS SHOWN ON THE PLANS.
 - IMMEDIATELY AFTER THE ESTABLISHMENT OF THE CONSTRUCTION ENTRANCE ALL PERIMETER EROSION CONTROL AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE INITIAL PHASE OF CONSTRUCTION PLANS.
 - SILT FENCE, WHETHER REGULAR, REINFORCED, OR DOUBLE ROW OF EITHER SHALL BE INSTALLED AT THE PERIMETER OF THE LAND DISTURBANCE. THE SILT FENCE SHOULD BE KEPT TIGHT AT ALL TIMES AND REPAIRED WHEN REQUESTED BY THE SITE INSPECTOR OR THE PROJECT DESIGN PROFESSIONAL OF RECORD. SILT FENCE SHOULD BE REMOVED WHEN ACCUMULATION REACHES 12" HEIGHT OF THE BARRIER. THE PERIMETER SILT FENCE SHOULD BE INSPECTED DAILY FOR ANY FAILURES. ANY FAILURES OF SAID FENCING SHOULD BE REPAIRED IMMEDIATELY.
 - INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL EXISTING STORM DRAINAGE STRUCTURES AS SHOWN ON THE PLANS.
 - STONE CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS NECESSARY.
 - TEMPORARY DIVERSION DITCHES SHALL BE INSTALLED TO DIRECT FLOW TO THE EXISTING DRAINAGE SYSTEM. DITCHES SHALL BE INSTALLED AS NECESSARY.
 - TREE PROTECTION FENCING SHOULD BE INSTALLED FROM THE START OF ANY LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. ANY FAILURES OF SAID FENCING SHALL BE REPAIRED IMMEDIATELY.
 - NO BURN OR BURY PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE WITHOUT PERMISSION BY THE OWNER AND/OR THE ENGINEER OF RECORD.
 - TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 7 DAYS OF LAND DISTURBANCE CEASING.
- SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT AND AT THE END OF EACH WORKING DAY. EACH DEVICE TO BE MAINTAINED OR REPLACED IF THE SEDIMENT ACCUMULATION HAS REACHED THE CAPACITY OF THE DEVICE.
- THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOW OF SOIL INTO PUBLIC RIGHTS-OF-WAY. ALL MATERIALS SPILLED, DROPPED, MASHED OR TRACED FROM VEHICLE ONTO PUBLIC RIGHTS-OF-WAY OR INTO STORM DRAINAGE SHALL BE IMMEDIATELY REMOVED.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF EROSION CONTROL MEASURES SHOWN ON THE PLANS DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS DIRECTED BY THE ON-SITE INSPECTOR OR ENGINEER.
- THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPAIRING OR REPAIRING ANY DAMAGED DEVICES DUE TO ANY CONSTRUCTION ACTIVITY BY THE CONTRACTOR.
- CONSTRUCTION ADJACENT TO DAMAGED TREES:**
- CONTRACTOR TO CONTACT ISA CERTIFIED ARBORIST PRIOR TO BEGINNING CONSTRUCTION AND POST-CONSTRUCTION TREE TREATMENT PLAN, AS OUTLINED BY NATIONAL DIRECTIONS, SHALL BE FOLLOWED THROUGHOUT CONSTRUCTION.
 - CONTRACTOR AGREEMENT TO CONTACT LOCAL MUNICIPALITY AUTHORITY IF ROOT PRUNING IS NECESSARY AND MAINTAIN TREE PROTECTION PANELS, AS SHOWN, TO PROTECT TREE ROOT.
 - AT ALL TIMES DURING CONSTRUCTION, WORK WITHIN THE TREE PROTECTION ZONES SHOULD BE PERFORMED BY HAND ONLY WITH NO VEHICLES OF ANY TYPE ENTERING THE PROTECTION ZONE.
 - TREE PROTECTION ZONES SHALL NOT BE USED FOR STORAGE OF ANY MATERIAL AT ANY TIME EXCEPT FOR VOLUME OF FERTILIZER TO GRAND TREE BEFORE & AFTER CONSTRUCTION AND 1/2" DIAMETER GREEN AND REDWOOD BRANCHMENTS TO HELP THE TREE SEAL WITH STRESS FROM ANY ROOT LOSS DUE TO PRUNING.
 - APPLY A 1/4" LAYER OF REDWOOD WOOD SHALON TO TREE PROTECTION ZONES, NO SOIL SHALL BE INSTALLED IN THIS AREA.
 - CANOPY PRUNING FOR REDWOOD CLEARANCE SHALL BE COMPLETED WHERE NECESSARY, NO MORE THAN 20% OF THE CANOPY SHALL BE PRUNED.
 - DEAD WOOD GREATER THAN 4" DIA. SHOULD BE REMOVED FROM GRAND TREES.

SITE DATA:
 TMS#: 243-16-01-025, 026, 027
 LOT SIZE: 1.71 ACRES
 LIMITS OF DISTURBANCE: 1.82 ACRES
 FLOOD ZONE: X
 FIRM PANEL#: 45015C06885E
 DATE: 12/07/2018
 ZONED: GC
 BUFFERS:
 FRONT(WEST): 15'(REDUCED BY STAFF)
 SIDE: N/A
 REAR(EAST): 15'(BUFFER 1)
 SETBACKS:
 FRONT(WEST): 20'(ELIMINATED BY STAFF)
 SIDE: 10'
 REAR(SOUTH): 20'

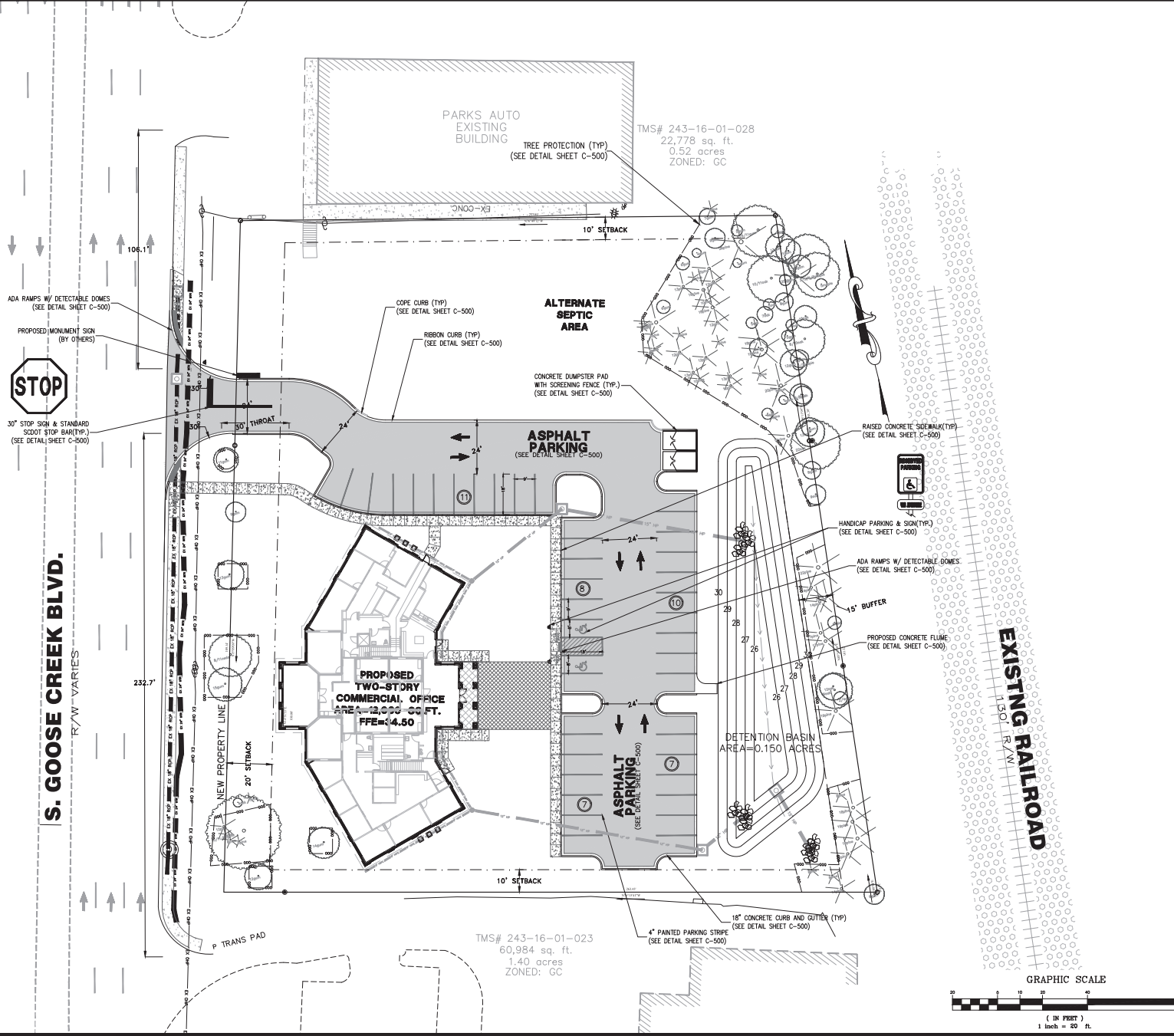
BENCH MARK DATA:
 TBM PK NAIL FOUND IN CONCRETE
 ELEVATION=28.23' DATUM: NAVD 88



- LEGEND:**
- PROPERTY LINE
 - ADJACENT PROPERTY
 - EDGE OF PAVEMENT
 - BUFFER LINE
 - SETBACK
 - LIMITS OF CONSTRUCTION/SILT FENCE
 - IRON PIPE FOUND
 - IRON PIPE SET
 - EXISTING WATER MAIN
 - EXISTING SEWER MAIN
 - EXISTING 18" RCP DRAINLINE
 - EXISTING SEWER MANHOLE
 - EXISTING WATER VAULT
 - EXISTING WATER METER
 - EXISTING COMMUNICATIONS VAULT
 - EXISTING ELECTRIC VAULT
 - EXISTING TRAFFIC SIGNAL VAULT
 - EXISTING ELECTRIC PANEL
 - EXISTING GAS VALVE
 - EXISTING TEL CABINET
 - EXISTING STORM VAULT
 - EXISTING STORM INLET
 - EXISTING LIGHT POLE
 - EXISTING ASPHALT
 - EXISTING CONCRETE
 - PROPOSED ASPHALT PARKING (LIGHT DUTY)
 - PROPOSED ASPHALT IN ROW
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED PERMEABLE PAVERS
 - PROPOSED BRICK OR SPECIALTY PAVERS
 - PROPOSED ASPHALT PARKING (HEAVY DUTY)

SCOOT NOTES:
 1. THE CONTRACTOR SHALL REFER TO THE MOST CURRENT EDITION OF THE SCOOT STANDARD DRAWINGS. THE DRAWINGS WERE UPDATED IN JANUARY 2013.
 2. WHERE ANY PORTION OF THE ADJACENT SCOOT TRAVEL LANE SURFACE IS DAMAGED ALONG US-17A, THE FULL WIDTH OF THE LANE MUST BE MILLED 2" AND RESURFACED FOR THE LENGTH OF THE DAMAGE PLUS 10 FEET AT EACH END. SCOOT SURFACING DETAIL IS ON C-500.

SITE DATA:
 TMS#: 243-16-01-025, 026, 027
 LOT SIZE: 1.71 ACRES
 LIMITS OF DISTURBANCE: 1.82 ACRES
 FLOOD ZONE: 'X'
 FIRM PANEL#: 45015C0685E
 DATE: 12/07/2018
 ZONED: GC
 BUFFERS:
 FRONT(WEST): 15'(REDUCED BY STAFF)
 SIDE: N/A
 REAR(EAST): 15'(BUFFER 1)
 SETBACKS:
 FRONT(WEST): 20'(ELIMINATED BY STAFF)
 SIDE: 10'
 REAR(SOUTH): 20'
 BUILDING AREA:
 OFFICE: 12,030 SQ.FT.
 MAX BUILDING HEIGHT: 50' (4-STORY)
 PROPOSED BUILDING HEIGHT: 34'-6"
 PARKING REQUIRED:
 USE: 1 SPACE PER 300 SF: 40 SPACES
 TOTAL REQUIRED: 40 SPACES
 PARKING PROVIDED:
 REGULAR: 41 SPACES
 HANDICAP: 02 SPACES
 TOTAL: 43 SPACES
 BENCH MARK DATA:
 1" TM PK NAIL FOUND IN CONCRETE
 ELEVATION=28.23' DATUM: NAVD 88



EARTHSOURCE
 ENGINEERS ARCHITECTS

STATE OF SOUTH CAROLINA
 EARTHSOURCE ENGINEERING
 No. C10175
 STATE OF SOUTH CAROLINA
 MICHAEL
 No. 21253
 09-14-22

STIENBERG
GOOSE CREEK
 211 SOUTH GOOSE CREEK BLVD
 GOOSE CREEK, SC 29445

SITE LAYOUT PLAN

NO.	DATE	REVISIONS
1	03.15.22	PER ENGINEERING/SCOOT COMMENTS
2	03.15.22	PER SITE SURVEY CHANGES
3		
4		

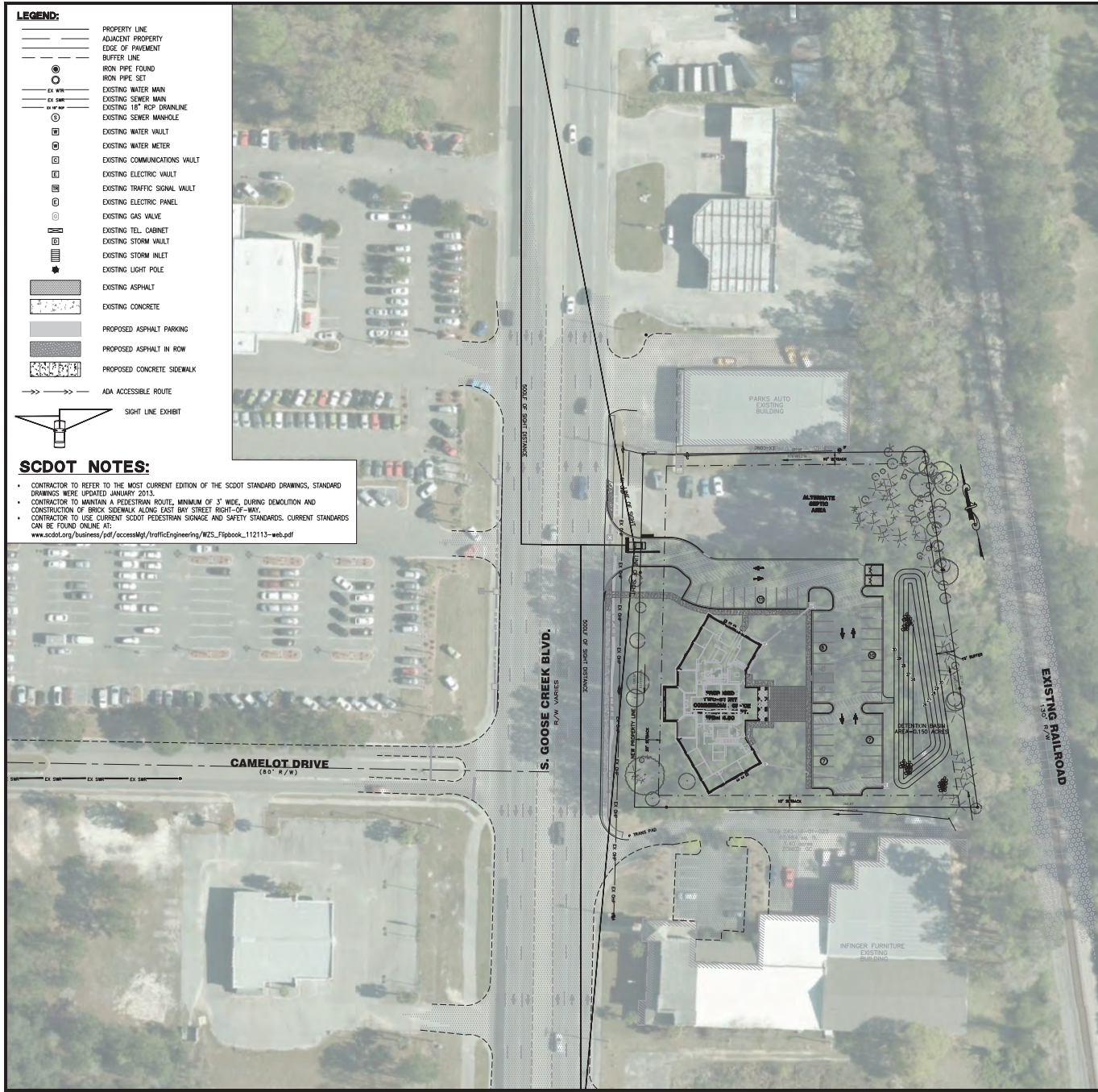
DRAWN: JRU
 CHECKED: ERL
 DATE: 03.15.22
 JOB NO:
21-139
 PERMIT REVIEW SET
 SHEET NUMBER
C-200

LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY
- EDGE OF PAVEMENT
- BUFFER LINE
- IRON PIPE FOUND
- IRON PIPE SET
- EXISTING WATER MAIN
- EXISTING SEWER MAIN
- EXISTING 18" RCP DRAINAGE
- EXISTING SEWER MANHOLE
- EXISTING WATER VAULT
- EXISTING WATER METER
- EXISTING COMMUNICATIONS VAULT
- EXISTING ELECTRIC VAULT
- EXISTING TRAFFIC SIGNAL VAULT
- EXISTING ELECTRIC PANEL
- EXISTING GAS VALVE
- EXISTING TEL. CABINET
- EXISTING STORM VAULT
- EXISTING STORM INLET
- EXISTING LIGHT POLE
- EXISTING ASPHALT
- EXISTING CONCRETE
- PROPOSED ASPHALT PARKING
- PROPOSED ASPHALT IN ROW
- PROPOSED CONCRETE SIDEWALK
- ADA ACCESSIBLE ROUTE
- SIGHT LINE EXHIBIT

SCDOT NOTES:

- CONTRACTOR TO REFER TO THE MOST CURRENT EDITION OF THE SCDOT STANDARD DRAWINGS, STANDARD DRAWINGS WERE UPDATED JANUARY 2015.
- CONTRACTOR TO MAINTAIN A PEDESTRIAN ROUTE, MINIMUM OF 3' WIDE, DURING DEMOLITION AND CONSTRUCTION OF BRICK SIDEWALK ALONG EAST BAY STREET RIGHT-OF-WAY.
- CONTRACTOR TO USE CURRENT SCDOT PEDESTRIAN SIGNAGE AND SAFETY STANDARDS, CURRENT STANDARDS CAN BE FOUND ONLINE AT:
www.scdot.org/business/pdf/accessibility/trafficEngineering/WIS_Tipbook_112113-web.pdf



2) **Major Road.** The length of the sight triangle leg or ISD along the major road is determined using the following equation:

$$ISD = 1.47 \times V_{major} \times t_g \quad \text{Equation 7.1}$$

Where:

- ISD = length of sight triangle leg along major road (ft)
- V_{major} = design speed of major road (mph)
- t_g = gap acceptance time for entering the major road (sec)

Table 7-11: Gap Acceptance Times, Left Turns from Minor Road

Design Vehicle	Gap Acceptance Time (tg) (sec)
Passenger Car	7.5
Single Unit Truck (SU)	9.5
Tractor/Semitrailer	11.5

Table 7-12: Intersection Sight Distance, Vehicles Approaching from the Left and For Vehicles Approaching from the Right on a Two-Lane Highway or Street Only

Design Speed (V_{major}) (mph)	Intersection Sight Distance (Feet)		
	Passenger Car	Single-Unit Truck	Tractor/Semitrailers
30	335	420	510
35	390	490	595
40	445	560	680
45	500	630	765
50	555	700	850
55	610	770	930
60	665	840	1015

Note: These ISD values assume a minor road approach grade less than or equal to 3 percent. For grades greater than 3 percent, increase the ISD value by 10 percent.

Table 7-13: Intersection Sight Distance For Vehicles Approaching from the Right on a Four-Lane Highway with a 15 Foot TWLTL Only

Design Speed (V_{major}) (mph)	Intersection Sight Distance (Feet)		
	Passenger Car	Single-Unit Truck	Tractor/Semitrailers
30	385	490	580
35	445	570	675
40	510	655	770
45	575	735	865
50	635	815	965
55	700	900	1060
60	765	980	1155

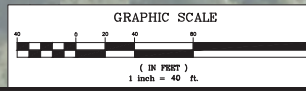
1. Calculated ISD is not shown. Values in the figure have been rounded up to the next highest 5-foot increment.

Table 7-17: Intersection Sight Distances, Left Turns from Major Road

Design Speed (V_{major}) (mph)	Intersection Sight Distance (Feet)					
	Passenger Car		Single-Unit Truck		Tractor/Semitrailers	
	Crossing 1 Lane	Crossing 2 Lanes	Crossing 1 Lane	Crossing 2 Lanes	Crossing 1 Lane	Crossing 2 Lanes
30	245	265	290	320	335	365
35	285	310	335	370	390	425
40	325	355	385	425	445	485
45	365	400	430	480	500	545
50	405	445	480	530	555	605
55	445	490	530	585	610	665
60	485	530	575	640	665	725

SET-UP CHECKLIST (SITEPLAN)

- STEP LIKE C-200 WITHOUT TABLE C-200 NOTES
- SITE DISTANCE (BASED ON SCDOT ARISS (SPEED LIMIT BASED) NOTES FOR ROAD & ACCESS ONLY



REVISIONS

NO.	DATE	BY	USER	REVISION COMMENTS
1	03.15.22	ERL	ERL	PER ENGINEERING/SCDOT COMMENTS
2	03.15.22	ERL	ERL	PER SITE SURVEY CHANGE

DRAWN: JRU
CHECKED: ERL
DATE: 03.15.22
JOB NO: 21-139
PERMIT REVIEW SET
SHEET NUMBER C-201

- LEGEND:**
- PROPERTY LINE
 - ADJACENT PROPERTY
 - EDGE OF PAVEMENT
 - BUFFER LINE
 - IRON PIPE FOUND
 - IRON PIPE SET
 - EXISTING WATER MAIN
 - EXISTING SEWER MAIN
 - EXISTING 18" RCP DRAINAGE
 - EXISTING SEWER MANHOLE
 - EXISTING WATER VAULT
 - EXISTING WATER METER
 - EXISTING COMMUNICATIONS VAULT
 - EXISTING ELECTRIC VAULT
 - EXISTING TRAFFIC SIGNAL VAULT
 - EXISTING ELECTRIC PANEL
 - EXISTING GAS VALVE
 - EXISTING TEL. CABINET
 - EXISTING STORM VAULT
 - EXISTING STORM INLET
 - EXISTING LIGHT POLE
 - EXISTING CONTOUR
 - EXISTING SPOT ELEVATION
 - PROPOSED CONTOUR

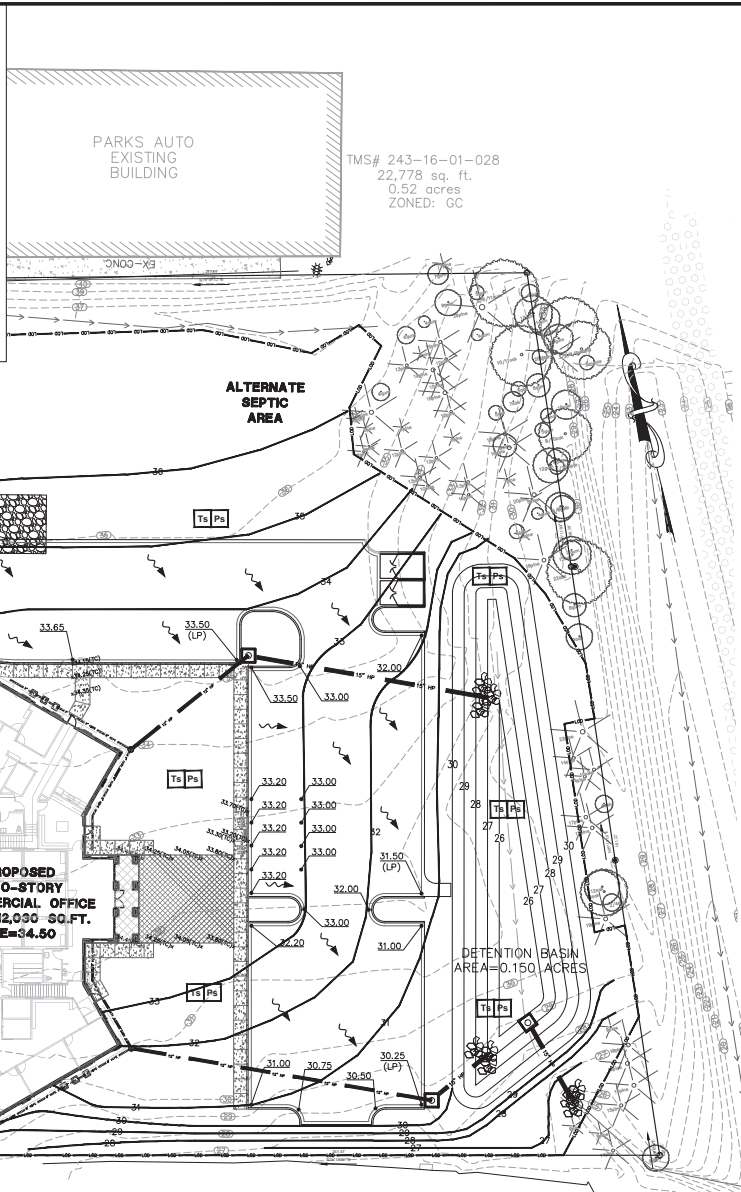
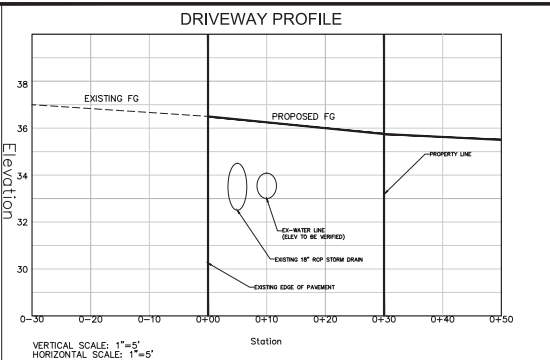
- 5.00 PROPOSED SPOT ELEVATION TOP OF PAVEMENT (TYP)
- 4.50 PROPOSED SPOT ELEVATION TO MATCH EXISTING PAVEMENT
- Match
- 5.45 (TS) PROPOSED SPOT ELEVATION TOP OF SIDEWALK (TYP)
- (LP)/(HP) LOW POINT/HIGH POINT IN PAVEMENT SCTN. (TYP)
- PROPOSED DRAINAGE FLOW

- SWPPP LEGEND:**
- LOD LIMITS OF CONSTRUCTION/SILT FENCE
 - CONCRETE WASHOUT
 - TYPE 'A' INLET PROTECTION
 - CONSTRUCTION ENTRANCE/EXIT
 - SILT FENCE
 - TYPE 'F' INLET PROTECTION
 - TS PS TEMPORARY & PERMANENT SEEDING

LIMITS OF DISTURBANCE= 1.60 ACRES

- GRADING NOTES**
- CONTRACTOR TO VERIFY ALL ADA ACCESS POINTS TO BUILDING WITH ARCHITECT PRIOR TO FINE GRADING & INSTALLATION OF CONCRETE FORMS TO ENSURE ALL ACCESSIBLE ROUTES MEET CODE REQUIREMENTS FOR BOTH HORIZONTAL & VERTICAL. ALL CROSS SLOPES IN THE ADA ROUTE MAY NOT EXCEED 2% SLOPE. IF ANY ROUTE EXCEEDS 2% SLOPE PLEASE CONTACT CIVIL ENGINEER TO DISCUSS PRIOR TO INSTALLATION OF LANDSCAPE.
 - CONTRACTOR TO VERIFY REQUIRED DROP AROUND BUILDING EXTERIOR FACADES AT FOUNDATION WHICH MAY VARY BETWEEN 4"-8" WHERE PEDESTRIAN WALK DOES NOT ABUT BUILDING ENTRY. IN ADDITION TO REQUIRED DROP AT THE FOUNDATION CONTRACTOR TO SLOPE FINISH GRADE AWAY FROM BUILDING 4" IN THE FIRST 6' (PER BUILDING CODE BC 2019) CONTRACTOR TO COORDINATE WITH CIVIL ENGINEER IF PLANS DON'T CLEARLY DEFINE OR PROVIDE THIS SLOPE.

BENCH MARK DATA:
 TBM#; PK NAL FOUND IN CONCRETE
 ELEV.: 28.23 DATUM; NAVD 88'



TEMPORARY MAINTENANCE PLAN AND SCHEDULE:

- DRY SEDIMENT BASIN**
- THE KEY TO A FUNCTIONAL SEDIMENT BASIN IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
 - ATTENTION TO SEDIMENT ACCUMULATIONS WITHIN THE BASIN IS EXTREMELY IMPORTANT. ACCUMULATED SEDIMENT DEPOSITION SHOULD BE CONTINUALLY CHECKED AND REMOVED WHEN NECESSARY.
 - REMOVED ACCUMULATED SEDIMENT WHEN IT REACHES 50% OF THE DESIGN SEDIMENT STORAGE VOLUME OR 1/3 THE HEIGHT OF THE RIBBER STRUCTURE, WHICHEVER IS REACHED FIRST.
 - REMOVED SEDIMENT FROM THE BASIN SHALL BE PLACED IN STOCKPILE STORAGE AREAS OR SPREAD THINLY ACROSS THE DISTURBED AREA. STABILIZE THE REMOVED SEDIMENT AFTER IT IS RELOCATED.
 - INSPECTIONS OF SEDIMENT BASINS SHOULD BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24 HOURS OF EACH RAINFALL EVENT THAT PRODUCES 1/4 INCH OR MORE OF PRECIPITATION.
 - ALL TEMPORARY SEDIMENT BASINS, WHICH ARE NOT TO BE CONVERTED TO A DETENTION BASIN POST CONSTRUCTION, SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED.
 - DISTURBED AREA RESULTING FROM THE REMOVAL OF THE SEDIMENT BASIN SHOULD BE PERMANENTLY STABILIZED AND ADDITIONAL BMPs, SUCH AS SILT FENCE, SHOULD BE UTILIZED TO ACCEPT STORM WATER RUNOFF FROM THE DISTURBED AREA UNTIL FINAL STABILIZATION IS REACHED.

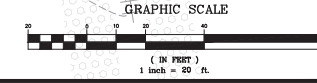
- SILT FENCE**
- THE KEY TO FUNCTIONAL SILT FENCE IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
 - REGULAR INSPECTIONS OF SILT FENCE SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24 HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/4 INCH OR MORE OF PRECIPITATION.
 - ATTENTION TO SEDIMENT ACCUMULATIONS WITHIN THE SILT FENCE IS EXTREMELY IMPORTANT. ACCUMULATED SEDIMENT SHOULD BE CONTINUALLY MONITORED AND REMOVED WHEN NECESSARY.
 - REMOVED ACCUMULATED SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE SILT FENCE.
 - REMOVED SEDIMENT SHALL BE PLACED IN STOCKPILE STORAGE AREAS OR SPREAD THINLY ACROSS THE DISTURBED AREA. STABILIZE THE REMOVED SEDIMENT AFTER IT IS RELOCATED.
 - FOR AREAS WHERE STORMWATER RUNOFF HAS BROOD A CHANNEL BENEATH THE SILT FENCE, OR WHERE THE FENCE HAS SAGGED OR COLLAPSED DUE TO RUNOFF DEVELOPING THE SILT FENCE, INITIAL CHECKS SHOULD BE MADE AND OR RENTAL SILT FENCE, AS NECESSARY.
 - CHECK FOR TEARS WITHIN THE SILT FENCE. AREAS WHERE SILT FENCE HAS BEGUN TO DECOMPOSE, AND FOR ANY OTHER CIRCUMSTANCE THAT MAY RENDER THE SILT FENCE INEFFECTIVE, REMOVE AND RENT SILT FENCE AND RENTAL NEW SILT FENCE IMMEDIATELY.
 - SILT FENCE SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED AND ONCE IT IS REMOVED, THE RESULTING DISTURBED AREA SHALL BE PERMANENTLY STABILIZED.

- CONSTRUCTION ENTRANCE**
- THE KEY TO FUNCTIONAL CONSTRUCTION ENTRANCES IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
 - REGULAR INSPECTIONS OF CONSTRUCTION ENTRANCES SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24 HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/4 INCH OR MORE OF PRECIPITATION.
 - DURING REGULAR INSPECTIONS, CHECK FOR MUD AND SEDIMENT BUILDUP AND PAD INTEGRITY. INSPECTION FREQUENCIES MAY NEED TO BE MORE FREQUENT DURING LONG PERIODS OF WET WEATHER.
 - REPAIR THE STONE PADS AS NECESSARY FOR DRAINAGE AND RUNOFF CONTROL.
 - WASH OR REPLACE STONES AS NEEDED AND AS DIRECTED BY SITE INSPECTOR. THE STONE ON THE ENTRANCE SHOULD BE WASHED OR REPLACED IMMEDIATELY WHEN THE ENTRANCE FAILS TO REDUCE THE AMOUNT OF MUD BEING CARRIED OFF-SITE BY VEHICLES.
 - FREQUENT WASHING WILL EXTEND THE USEFUL LIFE OF STONE PAD.
 - IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO ADJACENT IMPERVIOUS SURFACES BY BRUSHING OR SWEEPING. FLOUSHING SHOULD ONLY BE USED WHEN THE WATER CAN BE DISCHARGED TO A SEDIMENT TRAP OR BASIN.
 - DURING MAINTENANCE ACTIVITIES, ANY BROKEN PAVEMENT SHOULD BE REPAIRED IMMEDIATELY.
 - CONSTRUCTION ENTRANCES SHOULD BE REMOVED AFTER THE SITE HAS REACHED FINAL STABILIZATION. PERMANENT VEGETATION SHOULD REPLACE AREAS FROM WHICH CONSTRUCTION ENTRANCES HAVE BEEN REMOVED, UNLESS AREA WILL BE CONVERTED TO AN IMPERVIOUS SURFACE TO SERVE POST CONSTRUCTION.

- INLET FILTERS**
- INSTALLATION INSTRUCTIONS:**
- REMOVE GRATE FROM THE DRAINAGE STRUCTURE.
 - CLEAN STONE AND DRIFT FROM LEDEGE (LIP) OF DRAINAGE STRUCTURE.
 - DROP THE FLEXSTORM INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE.
 - REPLACE THE GRATE AND COMPRESS IT BY NOT ELEVATED MORE THAN 1/8" THE THICKNESS OF THE STEEL HANGERS.
- FREQUENCY OF INSPECTIONS:**
- INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT > 1/2".
 - POST CONSTRUCTION INSPECTIONS SHOULD OCCUR 4 TIMES PER YEAR. IN SNOWFALL AFFECTED REGIONS ADDITIONAL INSPECTIONS SHOULD TAKE PLACE BEFORE AND AFTER SNOWFALL SEASON.
 - INDUSTRIAL APPLICATION SITE INSPECTIONS LOADING RAMP, WASH RACKS, MAINTENANCE FACILITIES SHOULD OCCUR ON A REGULARLY SCHEDULED BASIS NO LESS THAN 3 TIMES PER YEAR.
- MAINTENANCE GUIDELINES:**
- EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS, OR AS DIRECTED.
 - REMOVE THE GRATE, ENGAGE THE LIFTING BARS WITH THE FLEXSTORM REMOVAL TOOL, AND LIFT FROM DRAINAGE STRUCTURE.
 - DISPOSE OF SEDIMENT OR DEBRIS AS DIRECTED BY THE ENGINEER OR MAINTENANCE CONTRACTOR.
 - AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT.
 - REMOVE CAULK ON SILT FROM SEDIMENT BAG AND FLOUSH WITH MEDIUM SPRAY WITH OPTIMAL FOLIATION.
 - REPLACE BAG IF TORN OR PUNCTURED TO > 1/2" DIAMETER ON LOWER HALF OF BAG.

NO.	DATE	BY	REVISIONS
1	03.15.22	ERL	PER ENGINEERING/PROJECT COMMENTS
2	03.15.22	ERL	PER THE DESIGN CHANGE
3			
4			

DRAWN: JRU
 CHECKED: ERL
 DATE: 03.15.22
 JOB NO.: 21-139
 PERMIT REVIEW SET



211 SOUTH GOOSE CREEK BLVD
 GOOSE CREEK, SC 29445

STIENBERG
GOOSE CREEK
 GRADING, PAVING & INTERMEDIATE SWPPP

NO.	DATE	BY	REVISIONS

DRAWN: JRU
 CHECKED: ERL
 DATE: 03.15.22
 JOB NO.: 21-139
 PERMIT REVIEW SET
 SHEET NUMBER
C-300

LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY
- EDGE OF PAVEMENT
- BUFFER LINE
- LIMITS OF CONSTRUCTION/SILT FENCE
- IRON PIPE FOUND
- IRON PIPE SET
- EXISTING WATER MAIN
- EXISTING SEWER MAIN
- EXISTING 18" RCP DRAINLINE
- EXISTING SEWER MANHOLE
- EXISTING WATER VAULT
- EXISTING WATER METER
- EXISTING COMMUNICATIONS VAULT
- EXISTING ELECTRIC VAULT
- EXISTING TRAFFIC SIGNAL VAULT
- EXISTING ELECTRIC PANEL
- EXISTING GAS VALVE
- EXISTING TEL. CABINET
- EXISTING STORM VAULT
- EXISTING STORM INLET
- EXISTING LIGHT POLE
- EXISTING STORM VAULT
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED DRAINAGE FLOW
- PROPOSED STORM STRUCTURE
- PROPOSED GRATE INLET
- PROPOSED 12" RCP DRAINLINE
- PROPOSED 8" PVC DRAINLINE
- PROPOSED 12" HP DRAINLINE
- PERMANENT SEEDING/STABILIZATION

I, GILES N. BRANCH, P.E., AM A LICENSED PROFESSIONAL ENGINEER, #26148, IN THE STATE OF SOUTH CAROLINA DO CERTIFY THAT THE DESIGN OF THE DRAINAGE FACILITIES FOR 211 S. GOOSE CREEK BLVD. DATED 03.15.22 HAVE BEEN UNDERTAKEN UNDER MY DIRECTION.

I HEREBY AVER THAT THE CONSTRUCTION PROJECT, ACCORDING TO THE PLANS PRESENTED 211 S. GOOSE CREEK BLVD., WILL NOT INCREASE STORMWATER RUNOFF FROM THE SITE FOR THE 50%, 10%, 4%, 2%, AND 1% AEP STORM FREQUENCIES.

NAME:
DATE:
PROFESSIONAL



I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SHOWING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-500 ET. SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR 100000.

NAME:
DATE:
PROFESSIONAL



I, GILES N. BRANCH, P.E., AM A LICENSED PROFESSIONAL ENGINEER, #26148, IN THE STATE OF SOUTH CAROLINA DO CERTIFY THAT ALL ITEMS IN SECTION 100 OF THE CURRENT ARMS MANUAL FOR BOTH CONSTRUCTION AND POST CONSTRUCTION DESIGN HAVE BEEN STUDIED AND ADDRESSED. ALL NECESSARY BMPs HAVE BEEN IMPLEMENTED FOR BOTH PHASES (CONSTRUCTION AND POST-CONSTRUCTION) TO AVOID NEGATIVELY IMPACTING IMPAIRED WATERS OF THE SCDDT SYSTEM AND/OR ITS DISCHARGES. ALL REQUIREMENTS IN SECTION 100 OF THE CURRENT ARMS MANUAL FOR POST DEVELOPMENT RELEASE RATES HAVE BEEN MET. THERE WILL BE ZERO INCREASE IN RUNOFF TO SCDDT RIGHT OF WAY.

NAME:
DATE:
PROFESSIONAL SEAL:



-16-01-028
3 sq. ft.
acres
ID: GC

PERMANENT MAINTENANCE PLAN AND SCHEDULE:

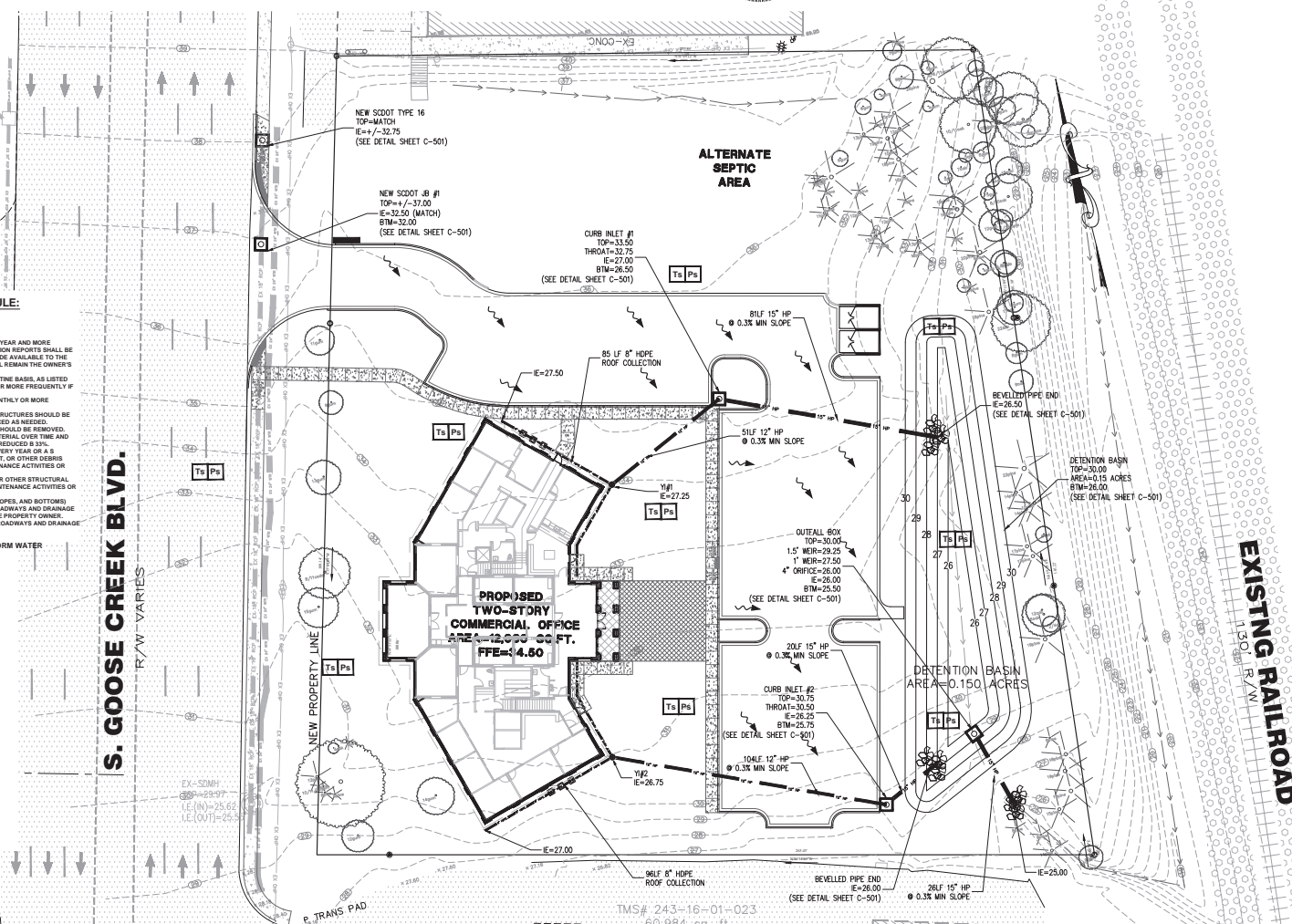
POND MAINTENANCE

- REGULAR INSPECTIONS: INSPECTIONS SHALL BE PERFORMED AT LEAST TWICE A YEAR AND MORE REGULARLY AS LISTED BELOW OR AS SPECIFIED BY A MANUFACTURER. INSPECTION REPORTS SHALL BE GENERATED AND KEPT ON FILE FOR AT LEAST 5 YEARS. REPORTS ARE TO BE MADE AVAILABLE TO THE CITY OF CHARLESTON UPON REQUEST. IF GENERATED BY A THIRD PARTY, IT SHALL REMAIN THE OWNER'S OR OWNER'S RESPONSIBILITY TO MAINTAIN THE REPORTS.
- ROUTINE MAINTENANCE: SOME MAINTENANCE ACTIVITIES ARE NEEDED ON A ROUTINE BASIS, AS LISTED BELOW. THE ACTIVITIES LISTED SHOULD BE PERFORMED ON A MONTHLY BASIS OR MORE FREQUENTLY IF NEEDED OR UNLESS SPECIFIED BELOW OR BY A MANUFACTURER.
 - A. VEGETATION MANAGEMENT: IF APPLICABLE, GRASS SHOULD BE MOVED BIMONTHLY OR MORE FREQUENTLY IF NEEDED.
 - B. INLET AND OUTLET STRUCTURES: ANY BLOCKAGE OF INLETS AND OUTLET STRUCTURES SHOULD BE REMOVED. INLET AND OUTLET PROTECTION SHOULD BE REPAIRED OR REPLACED AS NEEDED.
 - C. DEBRIS AND LITTER: TRASH AND OTHER DEBRIS THAT COLLECTS IN THE BMP SHOULD BE REMOVED.
 - D. SEDIMENT REMOVAL: BMPs WILL TRAP SEDIMENTS AND OTHER SETTLEABLE MATERIAL OVER TIME AND THIS MATERIAL SHOULD BE REMOVED ONCE THE STORAGE CAPACITY HAS BEEN REDUCED BY 30%. REMOVAL OF THE SEDIMENT SHALL OCCUR NO LESS FREQUENTLY THAN ONCE EVERY YEAR OR AS SPECIFIED BY THE MANUFACTURER. IF A FOREBAY EXISTS, ANY TRASH, SEDIMENT OR OTHER DEBRIS SHOULD BE COMPLETELY REMOVED AS DISCOVERED THROUGH ROUTINE MAINTENANCE ACTIVITIES OR INSPECTIONS.
 - E. SLOPE STABILIZATION/STRUCTURAL INTEGRITY: SLOPE EROSION, SINK HOLES, OR OTHER STRUCTURAL ISSUES SHOULD BE REPAIRED AS SOON AS DISCOVERED THROUGH ROUTINE MAINTENANCE ACTIVITIES OR INSPECTIONS.
- A PERMANENT STAND OF GRASS MUST BE MAINTAINED ON ALL PONDS, (TOPS, SLOPES, AND BOTTOMS) BASED ON THE SUBMITTED PLAN AND BERKELEY COUNTY REQUIREMENTS, THE ROADWAYS AND DRAINAGE SYSTEM FOR THE PROPOSED PROJECT WILL BE PRIVATE AND MAINTAINED BY THE PROPERTY OWNER. BERKELEY COUNTY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF THE ROADWAYS AND DRAINAGE SYSTEM.

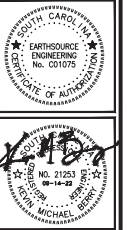
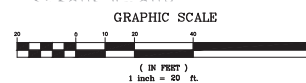
(SEE RECORDED COVENANTS FOR PERMANENT MAINTENANCE OF STORM WATER FACILITIES)

PRE-/POST DEVELOPMENT RATES TO DRAINAGE DITCH (CFS)	PRE:	POST:
2-YR(50%)	2.65	2.51
10-YR(10%)	5.20	5.13
25-YR(4%)	6.77	6.46
50-YR(2%)	8.11	7.43
100-YR(1%)	9.58	8.39

BENCH MARK DATA:
TBM# 1: PK NAL FOUND IN CONCRETE
ELEV.=28.23' DATUM: NAVD 88



TMS# 243-16-01-023
60,984 sq. ft.
1.40 acres
ZONED: GC



STIENBERG
GOOSE CREEK
211 SOUTH GOOSE CREEK BLVD
GOOSE CREEK, SC 29445

REVISIONS

NO.	DATE	BY	REASON/REVISION COMMENTS
1	03.15.22	ERL	PER ENGINEERING/POST COMMENTS
2	03.15.22	ERL	PER FIELD SURVEY CHANGES
3	03.15.22	ERL	PER FIELD SURVEY CHANGES

DRAWN: JRU
CHECKED: ERL
DATE: 03.15.22
JOB NO.: 21-139
PERMIT REVIEW SET
SHEET NUMBER: C-301

LEGEND:

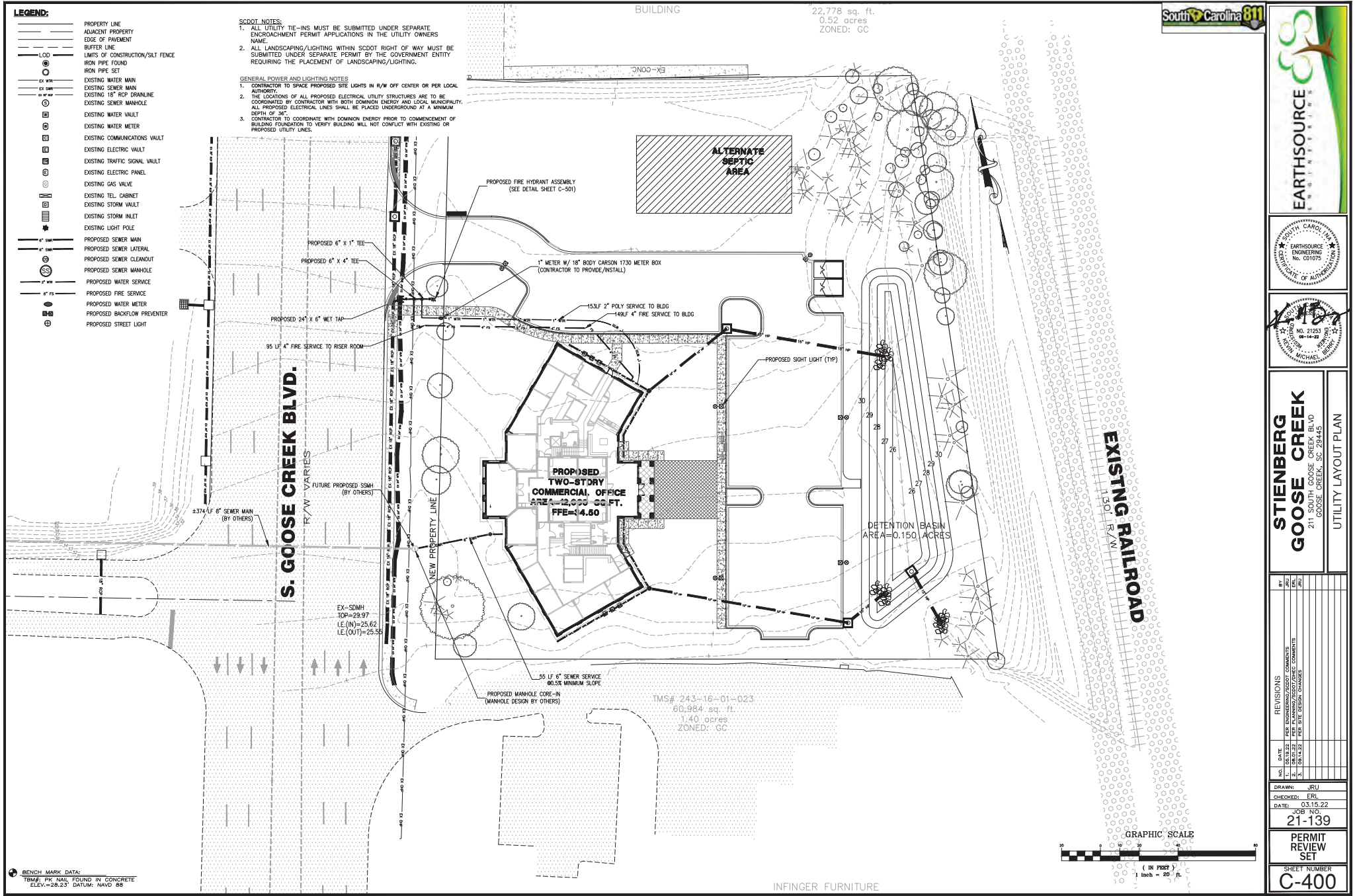
- PROPERTY LINE
- ADJACENT PROPERTY
- EDGE OF PAVEMENT
- BUFFER LINE
- LIMITS OF CONSTRUCTION/SILT FENCE
- IRON PIPE FOUND
- IRON PIPE SET
- EX-300
- EX-300
- EX-300
- EXISTING WATER MAIN
- EXISTING 18" RCP DRAINLINE
- EXISTING SEWER MANHOLE
- EXISTING WATER VAULT
- EXISTING WATER METER
- EXISTING COMMUNICATIONS VAULT
- EXISTING ELECTRIC VAULT
- EXISTING TRAFFIC SIGNAL VAULT
- EXISTING ELECTRIC PANEL
- EXISTING GAS VALVE
- EXISTING TEL. CABINET
- EXISTING STORM VAULT
- EXISTING STORM INLET
- EXISTING LIGHT POLE
- PROPOSED SEWER MAIN
- PROPOSED SEWER LATERAL
- PROPOSED SEWER CLEANOUT
- PROPOSED SEWER MANHOLE
- PROPOSED WATER SERVICE
- PROPOSED FIRE SERVICE
- PROPOSED WATER METER
- PROPOSED BACKFLOW PREVENTER
- PROPOSED STREET LIGHT

SCDOT NOTES:

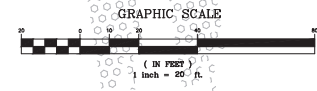
1. ALL UTILITY TIE-INS MUST BE SUBMITTED UNDER SEPARATE ENCROACHMENT PERMIT APPLICATIONS IN THE UTILITY OWNERS NAME.
2. ALL LANDSCAPING/LIGHTING WITHIN SCDOT RIGHT OF WAY MUST BE SUBMITTED UNDER SEPARATE PERMIT BY THE GOVERNMENT ENTITY REQUIRING THE PLACEMENT OF LANDSCAPING/LIGHTING.

GENERAL POWER AND LIGHTING NOTES:

1. CONTRACTOR TO SPACE PROPOSED SITE LIGHTS IN R/W OFF CENTER OR PER LOCAL AUTHORITY.
2. THE LOCATIONS OF ALL PROPOSED ELECTRICAL UTILITY STRUCTURES ARE TO BE COORDINATED BY CONTRACTOR WITH BOTH DOMINION ENERGY AND LOCAL MUNICIPALITY. ALL PROPOSED ELECTRICAL LINES SHALL BE PLACED UNDERGROUND AT A MINIMUM DEPTH OF 36".
3. CONTRACTOR TO COORDINATE WITH DOMINION ENERGY PRIOR TO COMMENCEMENT OF BUILDING FOUNDATION TO VERIFY BUILDING WILL NOT CONFLICT WITH EXISTING OR PROPOSED UTILITY LINES.



BENCH MARK DATA:
 TBM# PK NAL FOUND IN CONCRETE
 ELEV.=28.23' DATUM: NAVD 88



STIENBERG

GOOSE CREEK

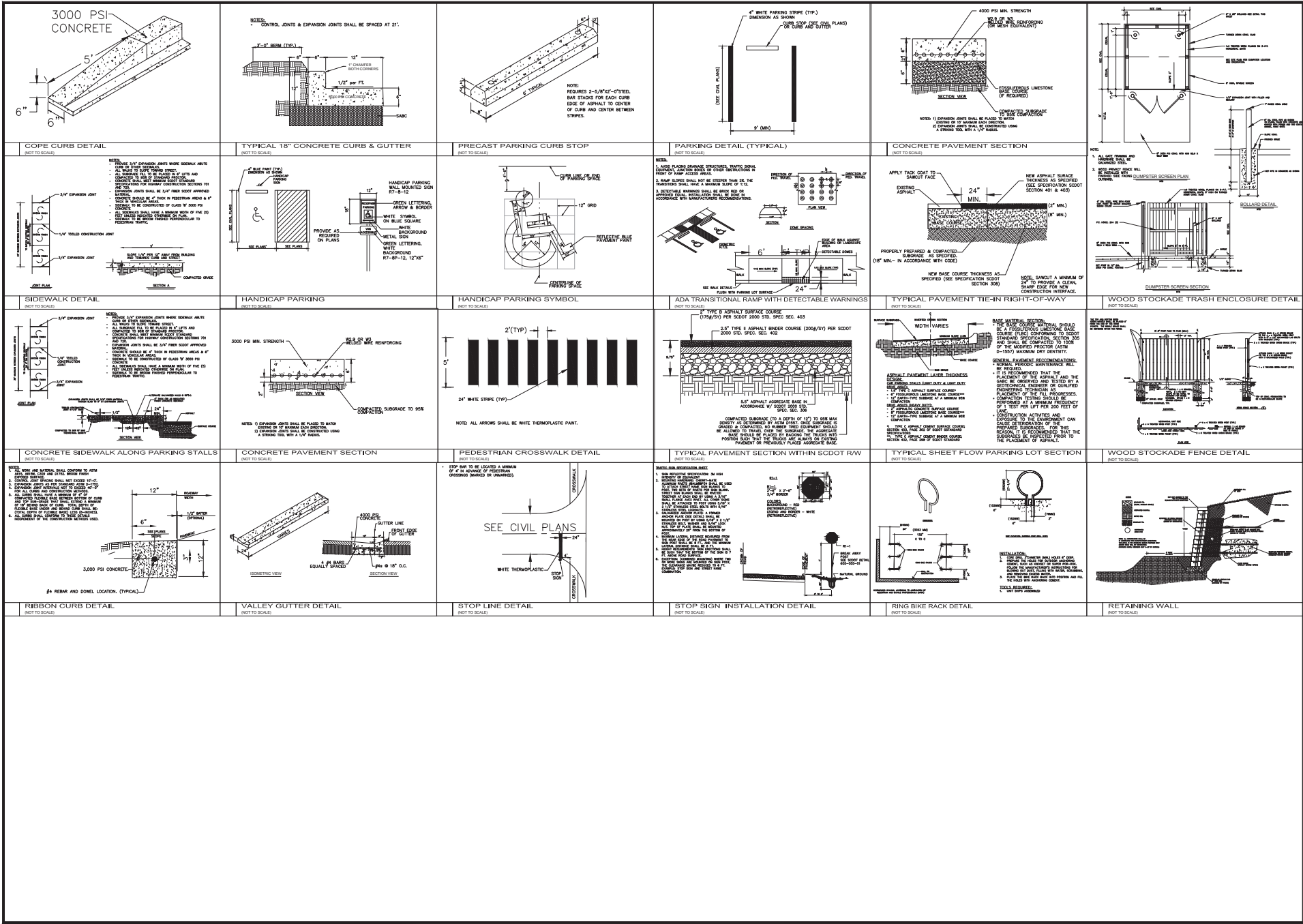
211 SOUTH GOOSE CREEK BLVD


GOOSE CREEK, SC 29445

UTILITY LAYOUT PLAN


NO.	DATE	REVISIONS

DRAWN: JSU	CHECKED: ERL
DATE: 03.15.22	JOB NO: 21-139
PERMIT REVIEW SET	
SHEET NUMBER C-400	





EARTHSOURCE
INCORPORATED



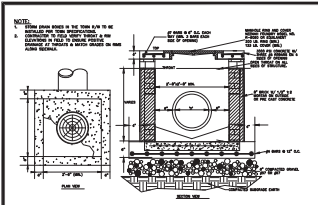
STATE OF SOUTH CAROLINA
MICHAEL STIENBERG
No. 21253
09-14-22
CIVIL ENGINEER

STIENBERG GOOSE CREEK
211 SOUTH GOOSE CREEK BLVD
GOOSE CREEK, SC 29445

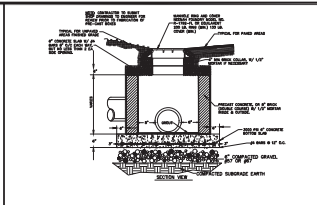
CONSTRUCTION DETAILS (SITE)

NO.	DATE	REVISIONS
1	03.15.22	PER ENGINEERING/SCDOT COMMENTS
2	03.15.22	PER SITE SURVEY CHANGE
3	03.15.22	PER SITE SURVEY CHANGE
4	03.15.22	PER SITE SURVEY CHANGE

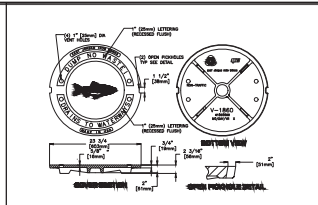
DRAWN: JRU
CHECKED: ERL
DATE: 03.15.22
JOB NO: 21-139
PERMIT REVIEW SET
SHEET NUMBER
C-500



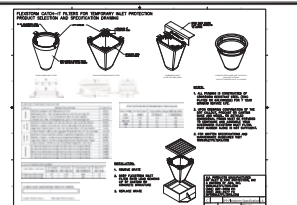
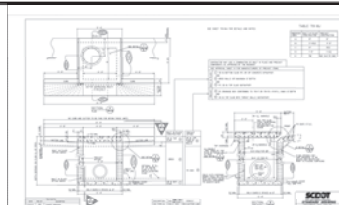
STANDARD TYPE 9 DRAIN INLET
(NOT TO SCALE)



JUNCTION BOX
(NOT TO SCALE)



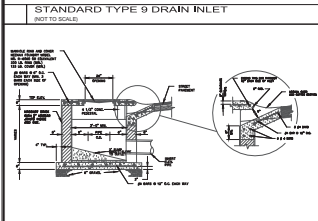
STANDARD RING AND COVER
(NOT TO SCALE)



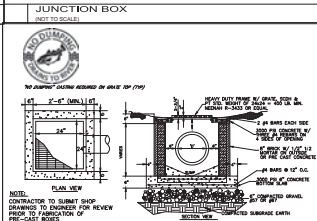
FLEX STORM TEMP. INLET PROTECTION
(NOT TO SCALE)

Ts TEMPORARY SEEDING SPECIFICATION

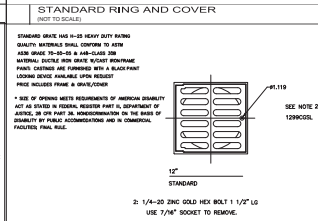
NO.	DATE	REVISIONS	BY	DESCRIPTION
1	03/15/22	FOR PLANNING/SCHEMATIC COMMENTS	JRU	
2	03/15/22	FOR SITE DESIGN CHANGES	JRU	



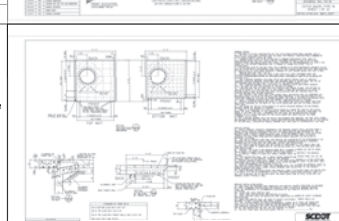
CURB INLET WITH SUMP DETAIL
(NOT TO SCALE)



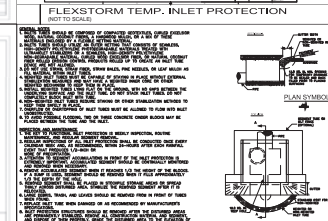
STANDARD GRATE INLET DETAIL
(NOT TO SCALE)



STANDARD GRATE DETAIL 8'-15' LOCKING OPTIONS
(NOT TO SCALE)



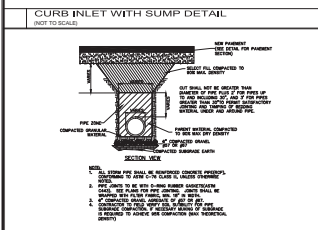
DRAINAGE FLUME DETAIL
(NOT TO SCALE)



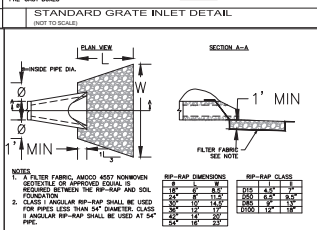
TYPE 1 INLET TUBE PROTECTION
(NOT TO SCALE)

Ps PERMANENT SEEDING SPECIFICATION

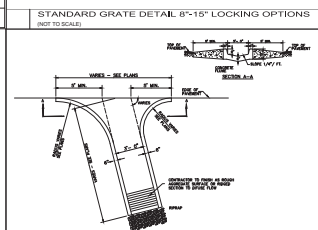
NO.	DATE	REVISIONS	BY	DESCRIPTION
1	03/15/22	FOR PLANNING/SCHEMATIC COMMENTS	JRU	
2	03/15/22	FOR SITE DESIGN CHANGES	JRU	



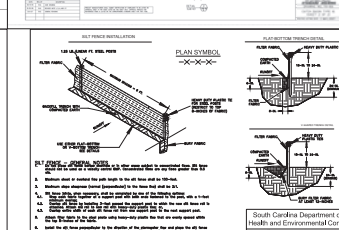
RCP STORM LINE BEDDING
(NOT TO SCALE)



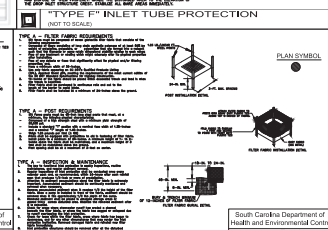
TYPICAL PIPE OUTLET W/ STONE RIP-RAP
(NOT TO SCALE)



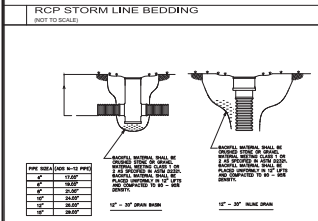
DRAINAGE FLUME DETAIL
(NOT TO SCALE)



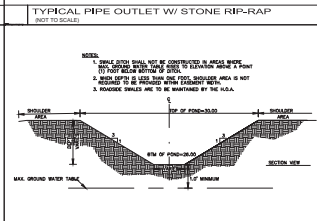
TYPICAL PIPE OUTLET W/ STONE RIP-RAP
(NOT TO SCALE)



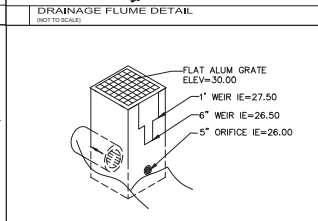
TYPICAL PIPE OUTLET W/ STONE RIP-RAP
(NOT TO SCALE)



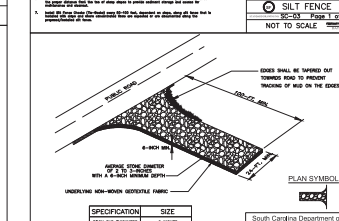
12'-30' IN-LINE DRAIN NON-TRAFFIC INSTALLATION
(NOT TO SCALE)



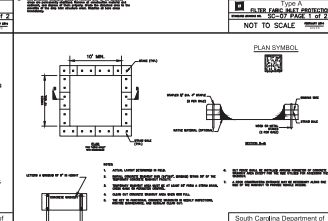
DRY DETENTION BASIN DETAIL
(NOT TO SCALE)



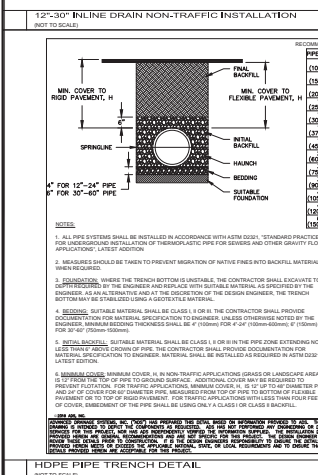
OUTFALL BOX DETAIL
(NOT TO SCALE)



OUTFALL BOX DETAIL
(NOT TO SCALE)



OUTFALL BOX DETAIL
(NOT TO SCALE)



HDPE PIPE TRENCH DETAIL
(NOT TO SCALE)

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAMETER (TRENCH WIDTH)	CLASS I	CLASS II	CLASS III	CLASS IV
12" (150mm)	18"	24"	30"	36"
18" (225mm)	24"	30"	36"	42"
24" (300mm)	30"	36"	42"	48"
30" (375mm)	36"	42"	48"	54"
36" (450mm)	42"	48"	54"	60"
42" (525mm)	48"	54"	60"	66"
48" (600mm)	54"	60"	66"	72"
54" (675mm)	60"	66"	72"	78"
60" (750mm)	66"	72"	78"	84"
66" (825mm)	72"	78"	84"	90"
72" (900mm)	78"	84"	90"	96"
78" (975mm)	84"	90"	96"	102"
84" (1050mm)	90"	96"	102"	108"
90" (1125mm)	96"	102"	108"	114"
96" (1200mm)	102"	108"	114"	120"
102" (1275mm)	108"	114"	120"	126"
108" (1350mm)	114"	120"	126"	132"
114" (1425mm)	120"	126"	132"	138"
120" (1500mm)	126"	132"	138"	144"

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	CLASS I	CLASS II	CLASS III	CLASS IV
12"	18"	24"	30"	36"
18"	24"	30"	36"	42"
24"	30"	36"	42"	48"
30"	36"	42"	48"	54"
36"	42"	48"	54"	60"
42"	48"	54"	60"	66"
48"	54"	60"	66"	72"
54"	60"	66"	72"	78"
60"	66"	72"	78"	84"
66"	72"	78"	84"	90"
72"	78"	84"	90"	96"
78"	84"	90"	96"	102"
84"	90"	96"	102"	108"
90"	96"	102"	108"	114"
96"	102"	108"	114"	120"
102"	108"	114"	120"	126"
108"	114"	120"	126"	132"
114"	120"	126"	132"	138"
120"	126"	132"	138"	144"

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	CLASS I	CLASS II	CLASS III	CLASS IV
12"	18"	24"	30"	36"
18"	24"	30"	36"	42"
24"	30"	36"	42"	48"
30"	36"	42"	48"	54"
36"	42"	48"	54"	60"
42"	48"	54"	60"	66"
48"	54"	60"	66"	72"
54"	60"	66"	72"	78"
60"	66"	72"	78"	84"
66"	72"	78"	84"	90"
72"	78"	84"	90"	96"
78"	84"	90"	96"	102"
84"	90"	96"	102"	108"
90"	96"	102"	108"	114"
96"	102"	108"	114"	120"
102"	108"	114"	120"	126"
108"	114"	120"	126"	132"
114"	120"	126"	132"	138"
120"	126"	132"	138"	144"

EARTHSOURCE
CONSTRUCTION SERVICES

STENBERG
GOOSE CREEK
211 SOUTH GOOSE CREEK BLVD
GOOSE CREEK, SC 29445

CONSTRUCTION DETAILS (DRAINAGE & SWPPP)

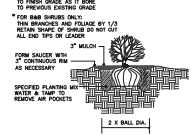
NO.	DATE	REVISIONS	BY	DESCRIPTION
1	03/15/22	FOR PLANNING/SCHEMATIC COMMENTS	JRU	
2	03/15/22	FOR SITE DESIGN CHANGES	JRU	

DRAWN: JRU
CHECKED: ERL
DATE: 03.15.22
JOB NO.: 21-139
PERMIT REVIEW SET
SHEET NUMBER: C-501

PLANT SCHEDULE

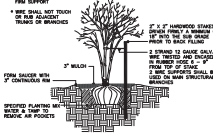
BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	CALLIPER	SPACING
CANOPY TREES					
LIVELY OAK	LIVE OAK	6	8" DB	2 1/2"	AS SPECIFIED
RED MAPLE	RED MAPLE	3	8" DB	2 1/2"	AS SPECIFIED
LAVENDER	LAVENDER	4	8" DB	2 1/2"	AS SPECIFIED
UNDERSTORY TREES					
LITTLE GEM MANDELAR	LITTLE GEM MANDELAR	7	6" DB	2 1/2"	AS SPECIFIED
GRAPE MYRTLE	GRAPE MYRTLE	7	6" DB	2 1/2"	AS SPECIFIED
SHRUBS					
NANDINA	NANDINA	84	3" CAL	AS SPECIFIED	AS SPECIFIED
PODACARPUS	PODACARPUS	22	3" CAL	AS SPECIFIED	AS SPECIFIED
SMETGRASS	SMETGRASS	84	3" CAL	AS SPECIFIED	AS SPECIFIED
ORNAMENTAL GRASS					
LIRIOPE	LIRIOPE	98	AS SPECIFIED	AS SPECIFIED	AS SPECIFIED
GROUND COVER					
SOD	SOD	AS SPECIFIED	AS SPECIFIED	AS SPECIFIED	AS SPECIFIED

NOTE:



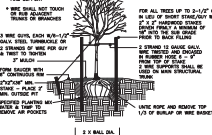
1 SHRUB PLANTING
SCALE: NOT TO SCALE

NOTE:



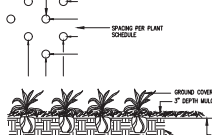
2 MULT-TRUNK TREE
SCALE: NOT TO SCALE

NOTE:



3 TREE STAKING DETAIL
SCALE: NOT TO SCALE

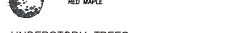
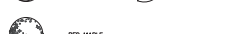
NOTE:



4 GROUND COVER PLANT
SCALE: NOT TO SCALE

5 GROUND COVER DETAIL
SCALE: NOT TO SCALE

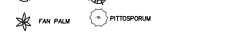
CANOPY TREES:



UNDERSTORY TREES:



SHRUBS:



ORNAMENTAL GRASS:



GROUND COVER:



PLANT SCHEDULE NOTES:

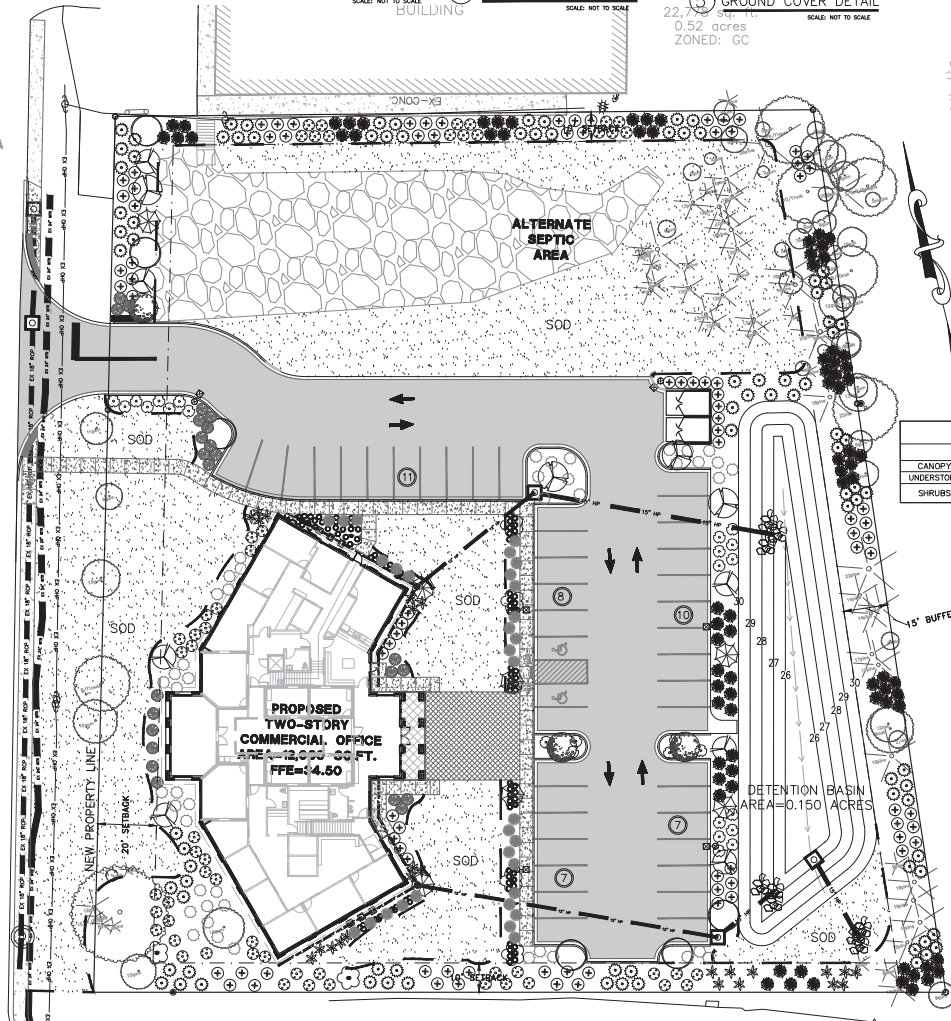
- 1. CONTRACTOR TO CONTACT EARTHSOURCE ENGINEERING FOR QUESTIONS REGARDING TO THE LANDSCAPE PLAN.
- 2. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED ON THESE PLANS.
- 3. THE SIZE OF THE PLANT MATERIALS SHALL CONFORM WITH THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" FOR NUMBER ONE (GRADE NUMBER STOCK) AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND THE AMERICAN NATIONAL STANDARDS INSTITUTE.
- 4. THERE WILL BE NO SUBSTITUTIONS, OMISSIONS, OR ADDITIONS WITHOUT WRITTEN APPROVAL OF BOTH EARTHSOURCE ENGINEERING, THE OWNER, AND THE MUNICIPALITY.
- 5. ALL TREES TO BE SUBSTITUTED, OMISSIONS, OR ADDITIONS WITHOUT WRITTEN APPROVAL OF BOTH EARTHSOURCE ENGINEERING, THE OWNER, AND THE MUNICIPALITY.
- 6. A MINIMUM 3" LAYER OF FINE STRAW MULCH SHALL BE PLACED AROUND ALL PLANTED MATERIAL.
- 7. THE PROPERTY OWNER AGREES TO MAINTAIN ALL NEW PLANTINGS IN A HEALTHY CONDITION.

SITE LIGHTING NOTES:

- 1. SUBMITTAL OF A LIGHTING PLAN IS REQUIRED FOR NEW LIGHTING. LIGHTING MUST BE ARRANGED SO THAT LIGHT DOES NOT INTERFERE WITH NEIGHBORHOODS OR IRRADIATE ADJACENT AREAS. LIGHTING SHALL BE DIMMABLE AND INSTALLED IN A MANNER THAT ADDS TO THE AESTHETIC APPEAL OF THE PROPERTY.
- 2. THE MAXIMUM POLE HEIGHT FOR COMMERCIAL ZONED PROPERTIES IS 24 FT USING FULL CUT OFF LIGHTING SOURCE. THIS PROVISION ALSO APPLIES TO WALL-MOUNTED LIGHTING. ANY SMALL, NOT EXCEEDING ONE-HOUR FOOT CANDLE MEASURED AT THE PROPERTY LINE OF THE SITE OF THE LIGHT SOURCE NEAREST THE RESIDENTIAL AREA.

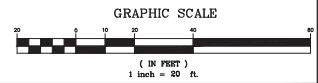
SPECIAL SITE NOTES:

- 1. NO INFRASTRUCTURE WILL IMPACT THE ROOT SYSTEM OF ANY SIGNIFICANT TREE OR GRASSY AREA ON THE SUBJECT OR ADJACENT PARCELS, ESPECIALLY THE GRAND TREES ON THE PROPERTY LINE. SITE MEETS FOR INTERIOR LANDSCAPE SPACE (SOD) IS 20 FT REQUIRED WITH SEVEN (7) TREE SPACES TOTALING 140 FT.
- 2. AT INSTALLATION OF PLANTING ALL EVERGREEN TREES AND/OR SHRUBS USED TO FULFILL BUFFER AREA REQUIREMENTS BE NO LESS THAN 6 FEET IN HEIGHT AND ALL DECIDUOUS TREES SHALL BE AT LEAST 12 FEET IN HEIGHT. ALL DECIDUOUS TREES SHOULD BE PLANTED IN AN ALTERNATING FASHION TO A CONTINUOUS GRAZING SOURCE OF PLANT MATERIAL.
- 3. MAINTENANCE OF REQUIRED LANDSCAPED AREAS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL SUCH AREAS SHALL BE PROPERLY MAINTAINED SO AS TO ASSURE THEIR SURVIVAL AND AESTHETIC VALUE, AND SHALL BE PROVIDED WITH A SCHEDULED MAINTENANCE PROGRAM. FAILURE TO MAINTAIN SUCH AREAS IS A VIOLATION OF THIS ORDINANCE AND MAY BE ENFORCED IN THE MANNER PRESCRIBED FOR OTHER VIOLATIONS.
- 4. VEGETATION IDENTIFIED AS REMAINING SHALL NOT BE REMOVED OR DAMAGED.



	REQUIRED:	EXISTING:	PROVIDED:
CANOPY	11	11	0
UNDERSTORY	22	22	0
SHRUBS	84	0	84

TMS# 243-16-01-023
60,984 sq. ft.
1.40 acres
ZONED: GC



STIENBERG ENGINEERING
GOOSE CREEK
211 SOUTH GOOSE CREEK BLVD
GOOSE CREEK, SC 29445

REVISIONS	
NO.	DATE
1	08/19/22
2	08/19/22
3	08/19/22

DRAWN: JRU
CHECKED: ERL
DATE: 03.15.22
JOB NO: 21-139

PERMIT REVIEW SET
SHEET NUMBER L-100