



THE CITY OF  
**GOOSE CREEK**

BERKELEY CO. EST. 1961 SO. CAROLINA

**SUPPORTING MATERIALS FOR  
ARCHITECTURAL REVIEW BOARD  
MONDAY, DECEMBER 21, 2020  
6:30 PM**

**MARGUERITE BROWN MUNICIPAL CENTER  
CITY HALL COUNCIL CHAMBERS  
519 N. GOOSE CREEK BLVD.  
GOOSE CREEK, SOUTH CAROLINA**

# MEMORANDUM

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**TO:** MEMBERS OF THE ARCHITECTURAL REVIEW BOARD

**FROM:** LILI ORTIZ-LUDLUM, ADMINISTRATIVE ASSISTANT

**DATE:** DECEMBER 17, 2020

**SUBJECT:** MEETING NOTIFICATION

**WHERE:** MARGUERITE H. BROWN MUNICIPAL CENTER

This is to remind everyone that the next meeting of the Architectural Review Board is scheduled for Monday, December 21, 2020 at 6:30 p.m.

Please review the enclosed packet. Should you have any questions or comments prior to Monday's meeting, please do not hesitate to contact Brenda Moneer, Planning and Zoning Technician (x1116) or Mark Brodeur, Planning and Zoning Director(x.1118) at 843-797-6220.



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MINUTES

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**MINUTES  
CITY OF GOOSE CREEK  
ARCHITECTURAL REVIEW BOARD MEETING  
MONDAY, NOVEMBER 17, 2020, 6:30 P.M.  
MARGUERITE H. BROWN MUNICIPAL CENTER  
519 N. GOOSE CREEK BOULEVARD**

**I. CALL TO ORDER**

Chairperson Clopton called the meeting to order at 6:30 p.m. and initiated the Pledge of Allegiance.

**II. ROLL CALL**

**Present:** Gary Becker; Sharon Clopton, Ricky Dresel; Jen Wise; Lisa Burdick  
**Absent:** David Cantrill  
**Staff Present:** Director of Planning and Zoning Mark Brodeur; Administrative Assistant Lili Ortiz-Ludlum

**III. REVIEW OF MINUTES – OCTOBER 19, 2020**

**Motion:** A motion was made to accept the minutes as presented. **Moved by** Board Member Dresel, **Seconded by** Board Member Becker.  
**Discussion:** None  
**Vote:** All voted in favor (5-0). Motion carried.

**IV. MINOR APPLICATIONS – NEW BUSINESS**

**A. CROWFIELD VILLAGE SHOPPING CENTER: 431 ST JAMES AVE – EXTERIOR PAINT**

A representative presented the application. He stated the owner hired him to paint the outside of the building. He stated the plan was to modernize the building by using a white and gray pallet and whitewash the existing brick. The representative presented the proposed colors, Sherwin- Williams Summit Gray and Extra White. He stated the rear will also be painted extra white. He presented a photo sample of the paint. He stated Crowfield HOA already approved the project. The board inquired if the out parcels such as Papa John’s will be painted. The representative stated it will not be addressed in this phase. Board Member Dresel stated his concern is water run off on white stucco. He stated it would require constant maintenance. The representative stated it requires an upkeep now which is why the owner is trying to renovate. Board Member Dresel stated the owner is requesting to paint the building a color that will require more upkeep. The representative stated the owner’s goal is freshening the look of the building. Chairperson Clopton stated she would like to see more warmth. Board Member Wise stated she thinks it will be all one tone. Board Member Becker inquired if there were any other options. The representative stated the owner did go through a few options but preferred the brighter white.

- Motion:** A motion was made to deny the application as submitted. **Moved by** Board Member Becker, **Seconded by** Board Member Wise.
- Discussion:** Board Member Burdick ask the applicant to come back next month with paint samples. The representative inquired should he come back with a warmer pallet. Board Member Burdick stated she would prefer that. She stated she is not opposed to a white, but this is too white. Board Member Dresel agreed with Board Member Burdick.
- Roll Call Vote:** Board Member Dresel, Board Member Becker, Chairperson Clopton, Board Member Burdick, and Board Member Wise all voted in favor. Motion passed (5-0).

Board Member Becker suggested the color Adobe Grey to the representative.

#### **B. PET REST: 132 RED BANK ROAD – SIGNAGE**

The representative presented the application and provided samples to the board. He stated the sign is an aluminum post with an aluminum background. The board inquired if the address will be included on the sign. The representative stated he can include it on any side they would like.

- Motion:** A motion was made to accept the application as submitted to include the address on both sides of the sign. **Moved by** Board Member Becker, **Seconded by** Board Member Wise.
- Discussion:** None.
- Vote:** All voted in favor. Motion passed (5-0).

#### **C. T-MOBILE: 607 ST. JAMES AVE – SIGNAGE**

The representative presented the application. He stated they are converting Sprint to T-Mobile. They are proposing a sign on the front and side elevation. Chairperson Clopton inquired if the background is going to be pink with white letters. The applicant stated yes.

- Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Dresel, **Seconded by** Board Member Burdick.
- Discussion:** None
- Roll Call Vote:** Board Member Dresel, Board Member Becker, Board Member Burdick, and Board Member Wise all voted in favor. Chairperson Clopton opposed. Motion passed (4-1).

#### **D. CHAO GOIANO: 408 RED BANK ROAD – SIGNAGE**

The representative presented the application and samples. He stated the sign is lit from the inside. He stated the board in the back is black and made of wood. The frame and letters are made of the same material and will be lit. Concerns regarding the size of the sign were stated. Mr. Brodeur stated the sign meets the ordinance. The board inquired as to the hours the sign will be lit. It was stated only from dusk to closing.

**Motion:** A motion was made to accept the application as submitted.  
**Moved by** Board Member Burdick, **Seconded by** Board Member Wise.

**Discussion:** Board Member Becker inquired about the height. Mr. Brodeur assured that this sign meets ordinance. Chairperson Clopton inquired about the intensity of the light. The representative stated a dimmer can be added.

**Vote:** All voted in favor. Motion carried (5-0).

#### **E. KANJI SUSHI HIBACHI: 119 PLANTATION BLVD, SUITE 2A – SIGNAGE**

A representative was not present. The board revisited this agenda item later in the meeting.

#### **F. SHOPPING CENTER: 428 RED BANK ROAD – PAINT**

A representative was not present. The board revisited this agenda item later in the meeting.

#### **G. 7-ELEVEN: 915 ST. JAMES AVE – SIGNAGE, MATERIALS AND COLOR SAMPLES**

Mr. Pat Budronis presented the application. He presented a material board to the ARB. He stated on building elevations there are four main materials being used: Nichiha Vintage Wood; Nichiha Vintage Brick painted white; Corrugated Metal and Aluminum Black Finish Metal. As far as signage they are proposing three building signs, one monument sign and two directional signs. The front elevations will have two signs: one 7-Eleven sign and one Roost sign. He stated the side elevation will have a single 7-Eleven sign. He stated on the canopy there will be two Exxon signs.

**Motion:** A motion was made to accept the application as submitted.  
**Moved by** Board Member Dresel; **Seconded by** Board Member Burdick.

**Discussion:** Mr. Brodeur stated he would like to ask the board to consider adding the address to the sign.

**Amended Motion:** A motion was amended to include the address to the monument sign in both directions. **Moved by** Board Member Dresel, **Seconded by** Board Member Burdick.

**Vote:** All voted in favor. Motion carried (5-0).

## H. STATE FARM: 429 RED BANK ROAD – ROOF

Mr. Bill Cahill presented the application. He stated currently the roof is a red shingle and the owner would like to replace it with a matte black nail strip panel roof. He presented a photo sample of what the roof would look like.

- Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Becker, **Seconded by** Board Member Dresel.
- Discussion:** None.
- Vote:** All voted in favor. Motion carried (5-0).

## V. MAJOR APPLICATIONS – NEW BUSINESS

### I. CHASE BANK: 214 ST. JAMES BLVD – SITE, LANDSCAPING, ELEVATIONS, MATERIALS, COLORS & SIGNAGE

Mr. Brodeur stated the applicant, Mr. Chris Quinn, will present via phone call. A second representative attended the meeting and presented photos. Mr. Quinn stated he is proposing a drive thru ATM located in the Shannon Park Shopping Center. He stated it will entail a new concrete island that will encompass the ATM, a canopy, a light pole, the VHD and also a Milbank meter main pedestal. He stated the light pole is a standard finish to match the other poles within the parking lot; the canopy will be aluminum clad paneling; the columns will be the Chase dark nickel color and the roof will be a chase blue color. He stated the Chase logo will be on the side of the columns. He stated the Chase lettering will be white and the logo will be blue. He stated within the area of work, there will be lane striping as well as a stop sign and a stop bar to control the flow of traffic.

The representative answered questions from the board regarding the location of the ATM, parking, and traffic.

- Motion:** A motion was made to accept the application as submitted pending approval of staff's approval on materials when they arrive. **Moved by** Board Member Becker, **Seconded by** Board Member Dresel.
- Discussion:** None.
- Vote:** All voted in favor. Motion carried (5-0).

### THE BOARD REVISITED 428 RED BANK ROAD SHOPPING CENTER.

- Motion:** A motion was made to table the application for 428 Red Bank Road Shopping Center-Paint until the next meeting. **Moved by** Board Member Dresel, **Seconded by** Board Member Wise.
- Discussion:** None.
- Vote:** All voted in favor. Motion carried (5-0).

## THE BOARD REVISITED KANJI SUSHI HIBACHI

**Motion:** A motion was made to table the application for Kanji Sushi Hibachi-Signage until the next meeting. **Moved by** Board Member Dresel, **Seconded by** Board Member Burdick.

**Discussion:** None.

**Vote:** All voted in favor. Motion carried (5-0).

### VI. ELECTION OF VICE CHAIR – INTERIM FOR REMAINDER OF 2020

**Motion:** A motion was made to nominate Board Member Dresel to the interim Vice Chair for the remainder of 2020. **Moved by** Board Member Becker, **Seconded by** Board Member Burdick.

**Discussion:** Board Member Wise inquired if Board Member Dresel accepted the nomination. Board Member Dresel stated yes.

**Vote:** All voted in favor (5-0). Motion carried.

### VI. COMMENTS FROM THE BOARD

Board Member Becker inquired if Mr. Brodeur stated if he received everyone's training. Mr. Brodeur stated no, not everyone has completed training.

Board Member Wise inquired as to what are the changes to the agenda. Mr. Brodeur stated to make it uniformed across all boards.

Board Member Becker stated the wall at Walmart has not been maintained.

### VII. COMMENTS FROM STAFF

No comments from staff.

### VIII. ADJOURNMENT

**Motion:** A motion was made to adjourn (7:38p.m.) **Moved By:** Board Member Becker, **Seconded By:** Board Member Dresel.

**Discussion:** There was none.

**Vote:** All voted in favor (5-0). Motion carried.

\_\_\_\_\_  
Sharon Clopton, Chairperson

Date \_\_\_\_\_





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MINOR APPLICATION: NEW BUSINESS

**Kanji Sushi Hibachi**  
119 Plantation Blvd, Suite 2A  
**Signage**

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OFFICE USE ONLY	
PERMIT #:	042694
AMOUNT DUE: \$	75.00
DATE PAID:	

**CITY OF GOOSE CREEK SIGN PERMIT APPLICATION**

Today's Date: 10/22/2020

Permit Fee: \$75.00

1. Business Owner Shi Yang Liu Business Phone (843) 530-2428  
 Name of Business Kanji Sushi & Hibachi Alternate Phone \_\_\_\_\_  
 Street Address of Business 119 Plantation Blvd. Ste. 2A Goosecreek SC  
 Landlord/Lessor \_\_\_\_\_ Landlord's Phone \_\_\_\_\_  
 Sign Company Publicity sign and Printing Sign Co. Phone (843) 408-0541  
 Sign Co. Contact Richard Loiza Sign Co. Address 320 Red Bank Rd. Goose Creek SC

2. Cost of Sign(s) \$ 1,800.00 = Sign Installation Cost \$ 250 Total Cost \$ 2,025

3. How many signs are you applying for? 2 How many signs does this business already have? 0

4. What kind of signs does this business already have? \_\_\_\_\_  None

5. What type of business is applying for this sign permit:

- A. A stand alone business?  Yes  No  
 B. A part of a shopping center?  Yes  No If yes, shopping center name: \_\_\_\_\_

6. What is the TMS number for this property? \_\_\_\_\_

7. What is the front setback of the business in feet? \_\_\_\_\_ (The distance from the front property line to the front of business)  
 A. For corner lots only, what is the front setback for second street frontage in feet? \_\_\_\_\_

8. What is the width of the business in feet? 325 35ft (The distance from wall to wall)  
 A. For corner lots only, what is the width of the business for second street frontage in feet? \_\_\_\_\_

9. What is the property's road frontage in feet? \_\_\_\_\_ (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:

- A. The storefront in relation to adjacent businesses;  
 B. The specific location of proposed sign(s) on the property or building; and  
 C. The actual sign if it already exists.

11. Please attach drawings of each proposed sign showing (drawn to scale):

- A. The completed sign as it will actually appear on the building  
 B. All dimensions;  
 C. Where the colors will appear;  
 D. The location on the property (on a plat) of proposed & existing freestanding signs  
 E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.

- Please submit this application by the 1<sup>st</sup> Monday of the month for consideration that month by the ARB.
- The ARB meets on the 3<sup>rd</sup> Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

**NOTE:** Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

*Note: This application contains multiple pages*

OFFICE USE ONLY
MAX. NO. OF ALLOWED SIGNS: _____
MAX ALLOWED SIGN AREA: _____

**SIGN INFORMATION TABLE**

<b>Required Information</b>	<b>Sign 1</b>	<b>Sign 2</b>	<b>Sign 3</b>
Materials: (metal, plastic, wood, etc.)	Metal, Plastic	Metal, Plastic	Metal, Plastic
Illumination: Exterior, interior or not lighted	Exterior	Exterior	Exterior
Type of Sign:	Channel Letters	Channel Letters	Channel Letters
Height (FEET)	2'-6"	2'-6"	3'-11"
Width (feet)	15'-6"	15'-6"	5'-2"
Area (square feet)	39 sf	39 sf	20 sf
All colors used on sign	White, Black, Red	White, Black, Red	White, Black, Red
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	Yes, 30"x42"	Yes, 30"x42"	Yes, 46"x60"
Projection from building or cabinet width (thickness)	11"	11"	11"
Number of styles of lettering	1	1	1
Height of letters (if channel letters)	2'-0"	2'-0"	
If mounting individual letters, space between letters			
If mounting individual letters, space between words			
If window sign, size of window			
If changeable copy sign (reader board), number of lines			
If freestanding sign, distance between sign and street curb (ft)			
If freestanding sign, total height above grade (ft)			
If freestanding sign, landscaping materials to be planted at base of sign			

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.

*Shi Yong Liu*

Signature of Applicant

9/4/2020

Date

OFFICE USE ONLY

Remarks: \_\_\_\_\_

Approval: Zoning Administrator \_\_\_\_\_ Issued by: \_\_\_\_\_ Date: \_\_\_\_\_



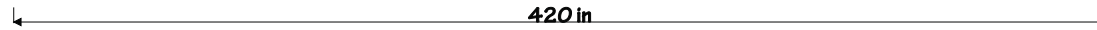
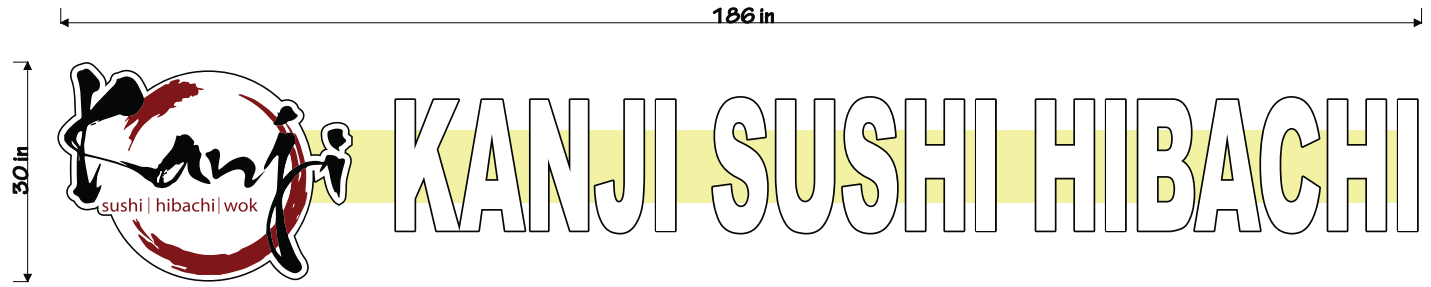
**SIDE AND ELEVATION**

**KANJI SUSHI HIBACHI**

SIDE A ELEVATION

# KANJI SUSHI HIBACHI

119 Plantation BLVD STE.2A  
Goose Creek SC



PROPOSED FRONT ELEVATION (N T S)

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Our company is not responsible for difference in colors between this print and final product. We will try to match colors as closely as possible, but we cannot guarantee exact color matches due to different surface, material and paints being applies

Owner/Landlord Approval \_\_\_\_\_

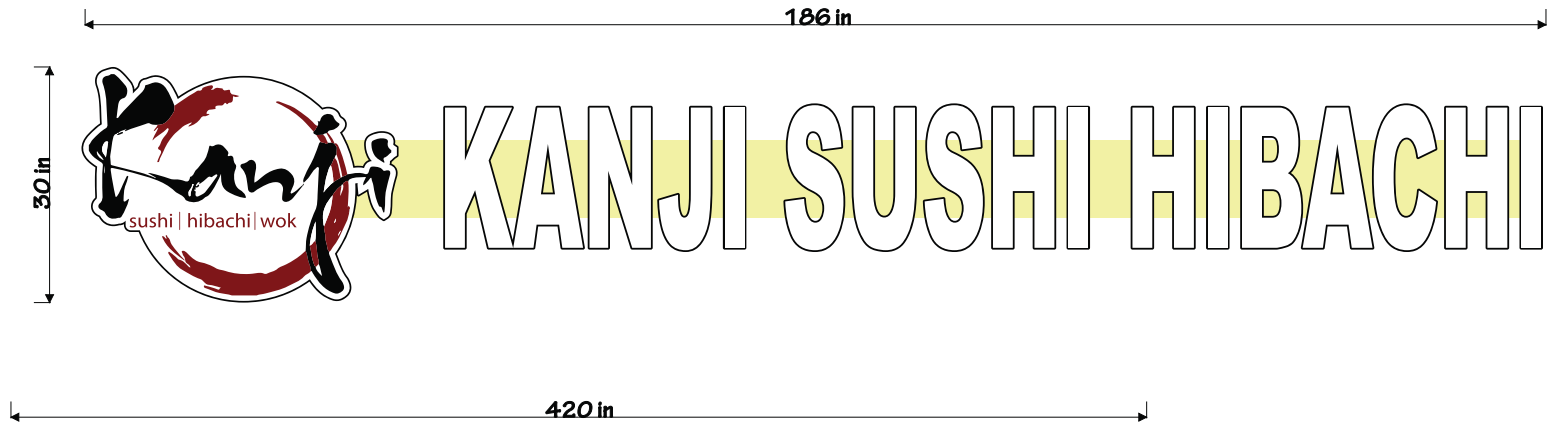
**PUBLICITY SIGN**

220 Red Bank Rd #11, Goose Creek, SC 29445 • (843) 408 0541

SIDE A ELEVATION

# KANJI SUSHI HIBACHI

119 Plantation BLVD STE.2A  
Goose Creek SC



PROPOSED BACK ELEVATION (N.T.S.)

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Owner/Landlord Approval \_\_\_\_\_

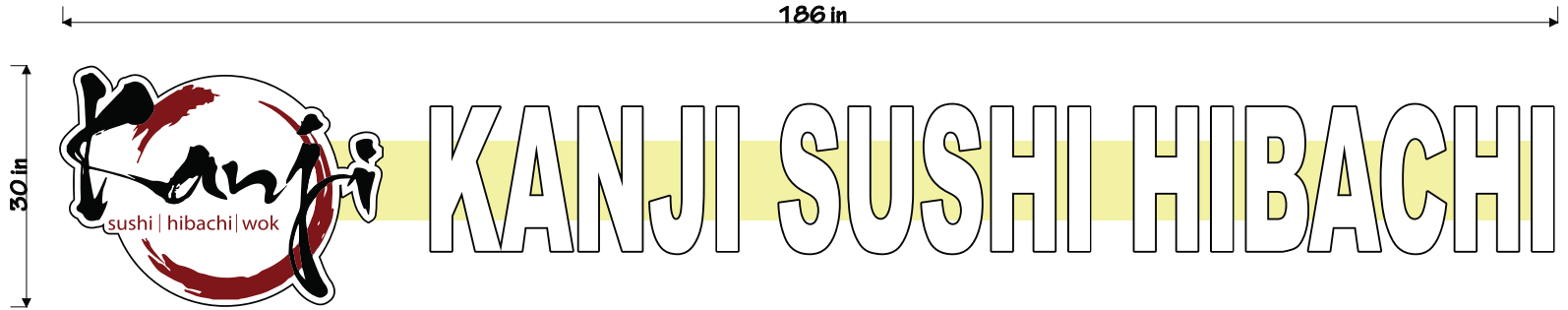
**PUBLICITY SIGN**

220 Red Bank Rd #11, Goose Creek, SC 29445 • (843) 408 0541

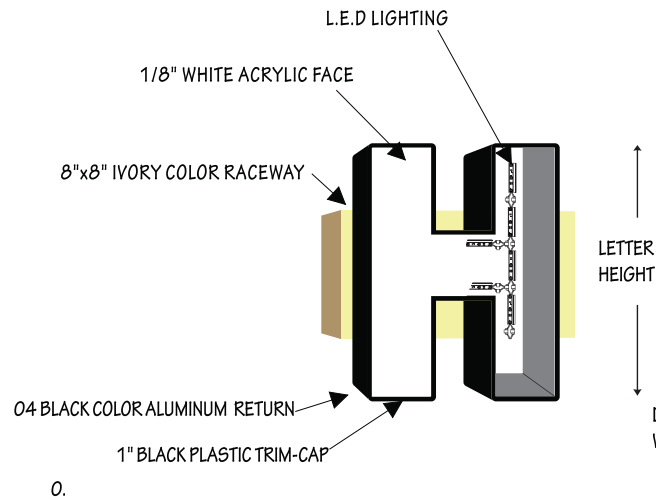
SIDE A ELEVATION

# KANJI SUSHI HIBACHI

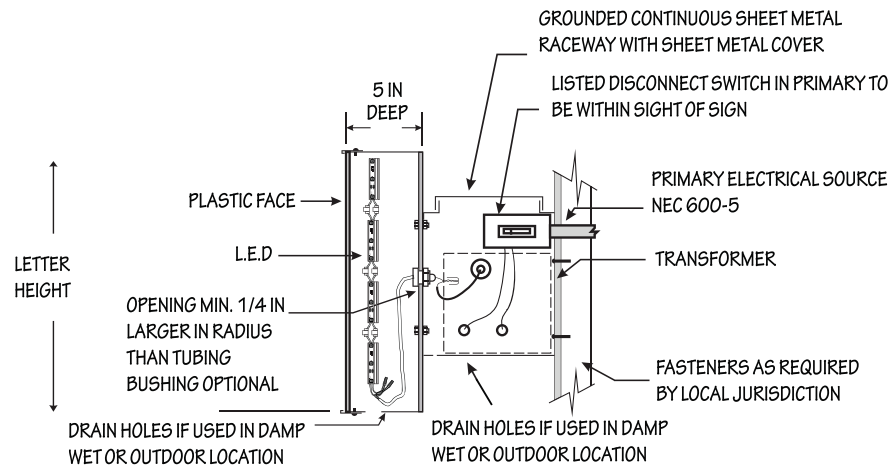
119 Plantation BLVD STE.2A  
Goose Creek SC



ILLUMINATED CHANNEL LETTER



LETTER / RACEWAY INSTALLATION DETAIL



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND / OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

Owner/Landlord Approval \_\_\_\_\_

220 Red Bank Rd #11, Goose Creek, SC 29445 • (843) 408 0541

**PUBLICITY SIGN**

SIDE A ELEVATION

# KANJI SUSHI HIBACHI

119 Plantation BLVD STE.2A  
Goose Creek SC

## Sign Material Color Board

Aluminum Sheet 0.040  
Color: Matt Black



Acrylic Sheet 0.125  
Color: White



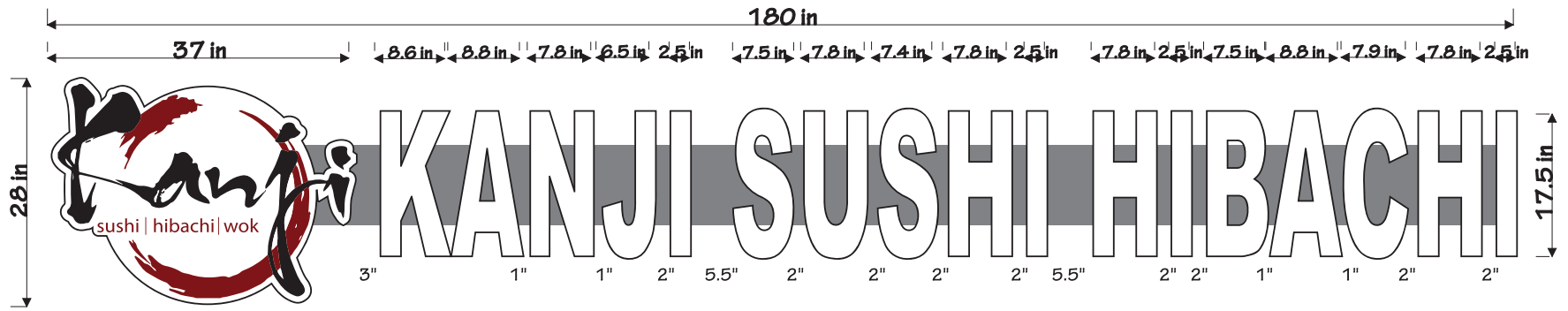
Trim: 1"  
Color: #2025 Black



Owner/Landlord Approval \_\_\_\_\_  
220 Red Bank Rd #11, Goose Creek, SC 29445 • (843) 408 0541

**PUBLICITY SIGN**





Sign Calculation:

Kanji Logo	37"x28" / 144	= 7.2 SF
K	8.6"x17.5" / 144	= 1.0 SF
A	8.8"x17.5" / 144	= 1.0 SF
N	7.8"x17.5" / 144	= 0.95 SF
J	8.5"x17.5" / 144	= 1.0 SF
I	2.5"x17.5" / 144	= 0.6 SF
S	7.5"x17.5" / 144	= 0.9 SF
U	7.8"x17.5" / 144	= 0.9 SF
S	7.5"x17.5" / 144	= 0.9 SF
H	7.8"x17.5" / 144	= 0.9 SF
I	2.5"x17.5" / 144	= 0.6 SF
H	7.8"x17.5" / 144	= 0.9 SF
I	7.8"x17.5" / 144	= 0.6 SF
B	7.5"x17.5" / 144	= 0.9 SF
A	8.8"x17.5" / 144	= 1.0 SF
C	7.9"x17.5" / 144	= 0.9 SF
H	7.8"x17.5" / 144	= 0.6 SF
I	2.5"x17.5" / 144	= 0.6 SF

Total: 21.45 SF

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PUBLICITY  
SIGN AND PRINTING  
843-408-0541  
220 RED BANK RD  
SUITE 11  
GOOSE CREEK  
SC 29445  
843-408-0541

Project Number:

Project Name  
KANJI SUSHI HIBACHI  
119 PLANTATION BLVD  
GOOSE CREEK  
SC

Client info  
JUSTEN LIU  
843-934-1056

Issued:  
11/5/2020

Drawn By:  
Jay

Sheet Description  
Proposed Signage

**SIGN**



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MINOR APPLICATION: NEW BUSINESS

**BB&T/SUNTRUST NOW TRUIST**

1114 ST. JAMES AVE

**Signage**

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RECEIVED  
NOV 19 2020

PAID

OFFICE USE ONLY  
PERMIT #: 042818  
AMOUNT DUE: \$ 75.00  
DATE PAID: 11/19/2020

BY: RP

CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

Today's Date: 11/17/20

Permit Fee: \$75.00

PAID

1. Business Owner Mendy McNeel Business Phone 336-408-1272

Name of Business BB&T/SunTrust now Truist Alternate Phone \_\_\_\_\_

Street Address of Business 144 St. James Avenue / Goose Creek, SC 29445

Landlord/Lessor Mendy McNeel Landlord's Phone 336-408-1272

Sign Company Hilton Displays Sign Co. Phone 864-520-7724

Sign Co. Contact Christie Wheeler Sign Co. Address 125 Hillside Drive / Greenville, SC 29607

2. Cost of Sign(s) \$ 2,100.00 Sign Installation Cost \$ 950.00 Total Cost \$ 3,050.00

3. How many signs are you applying for? 2 How many signs does this business already have? 2

4. What kind of signs does this business already have? Wall Sign & Pylon  None

5. What type of business is applying for this sign permit:  
A. A stand alone business?  Yes  No  
B. A part of a shopping center?  Yes  No If yes, shopping center name: N/A

6. What is the TMS number for this property? 243 - 08 - 06 - 026

7. What is the front setback of the business in feet? 50' (The distance from the front property line to the front of business)  
A. For corner lots only, what is the front setback for second street frontage in feet? 50'

8. What is the width of the business in feet? 60'-2" (The distance from wall to wall)  
A. For corner lots only, what is the width of the business for second street frontage in feet? 44'-0"

9. What is the property's road frontage in feet? N/A (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:  
A. The storefront in relation to adjacent businesses;  
B. The specific location of proposed sign(s) on the property or building; and  
C. The actual sign if it already exists.

OFFICE USE ONLY  
MAX. NO. OF ALLOWED SIGNS: \_\_\_\_\_  
MAX ALLOWED SIGN AREA: \_\_\_\_\_

11. Please attach drawings of each proposed sign showing (drawn to scale):  
A. The completed sign as it will actually appear on the building  
B. All dimensions;  
C. Where the colors will appear;  
D. The location on the property (on a plat) of proposed & existing freestanding signs  
E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.  
• Please submit this application by the 1<sup>st</sup> Monday of the month for consideration that month by the ARB.  
• The ARB meets on the 3<sup>rd</sup> Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

Note: This application contains multiple pages

### SIGN INFORMATION TABLE

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	Plastic	Metal - aluminum	N/A
Illumination: Exterior, interior or not lighted	Interior	Not Lighted	N/A
Type of Sign:	Face change only on existing pylon sign.	Wall Sign - Non-illuminated	N/A
Height (FEET)	4'-0"	2'-0"	N/A
Width (feet)	8'-0"	5'-10"	N/A
Area (square feet)	32 SF	11.67 SF	N/A
All colors used on sign	Marigold, Orange, European Blue, Black, Burgundy, & White	Marigold, Orange, European Blue, Black, Burgundy, & White	N/A
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	Yes: 14.3" x 19.66"	Yes: 9.25" x 12.68"	N/A
Projection from building or cabinet width (thickness)	17"	2"	N/A
Number of styles of lettering	2	2	N/A
Height of letters (if channel letters)	N/A	N/A	N/A
If mounting individual letters, space between letters	N/A	N/A	N/A
If mounting individual letters, space between words	N/A	N/A	N/A
If window sign, size of window	N/A	N/A	N/A
If changeable copy sign (reader board), number of lines	N/A	N/A	N/A
If freestanding sign, distance between sign and street curb (ft)	12' from side walk	N/A	N/A
If freestanding sign, total height above grade (ft)	14'-2"	N/A	N/A
If freestanding sign, landscaping materials to be planted at base of sign	Landscaping would stay the same.	N/A	N/A

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations. (Section 151.999);

By signing below, you certify the above information that you provided to be true and correct.

Christa Wheeler  
Signature of Applicant

11/17/2020  
Date

OFFICE USE ONLY		
Remarks: _____		
Approval: Zoning Administrator _____	Issued by: _____	Date: _____

---

2020



**Site Recommendation Book**

152404 / 1786

144 St James Avenue  
Goose Creek SC 29445

**QID#** 20-52380

**Designer:**  
Brian Sowder

**Date:**  
11-9-20

**SITE PLAN**

- E01 PYLON
- E02 WALL SIGN



**HILTONDISPLAYS**  
 125 HILLSIDE DRIVE • GREENVILLE SC 29607  
 P. 800.353.9132 • F. 854.242.2208  
 www.hiltondisplays.com

**QID 20-52380**

JOB NAME

**BB&T / Sun Trust**

LOCATION

**144 St James Ave  
 Goose Creek SC 29445**

CUSTOMER CONTACT

SALESMAN / PM

**Christie Wheeler**

DESIGNER

**Brian Sowder**

DWG. DATE

**11-9-20**

REV. DATE / REVISION

SCALE

FILE

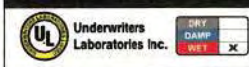
**2020/BB&T/  
 BBT-Sun Trust Conversion/  
 Goose Creek SC/20-52380/  
 BBT Goose Creek SC 20-52380**

DESIGN SPECIFICATIONS ACCEPTED BY:

EST: CLIENT:

SLS/PM: LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.



**ELEVATION(S)**

- E01** PYLON
- E02** WALL SIGN



**FRONT ELEVATION**

**HILTONDISPLAYS**

125 HILLSIDE DRIVE • GREENVILLE SC 29607  
 P 800 353 9132 • F 864 242 2204  
 www.hiltondisplays.com

**QID 20-52380**

JOB NAME

**BB&T / Sun Trust**

LOCATION

**144 St James Ave  
 Goose Creek SC 29445**

CUSTOMER CONTACT

SALESMAN / PM

**Christie Wheeler**

DESIGNER

**Brian Sowder**

DWG. DATE

**11-9-20**

REV. DATE / REVISION

SCALE

FILE

**2020/BB&T/  
 BBT-Sun Trust Conversion/  
 Goose Creek SC/20-52380/  
 BBT Goose Creek SC 20-52380**

DESIGN SPECIFICATIONS ACCEPTED BY:

EST: CLIENT:

SLS/PM: LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.

**Underwriters Laboratories Inc.**

DRY DAMP WET X

**PYLON FACE REPLACEMENT - PAIR**

HE-GS01-P-48

Qty. 1

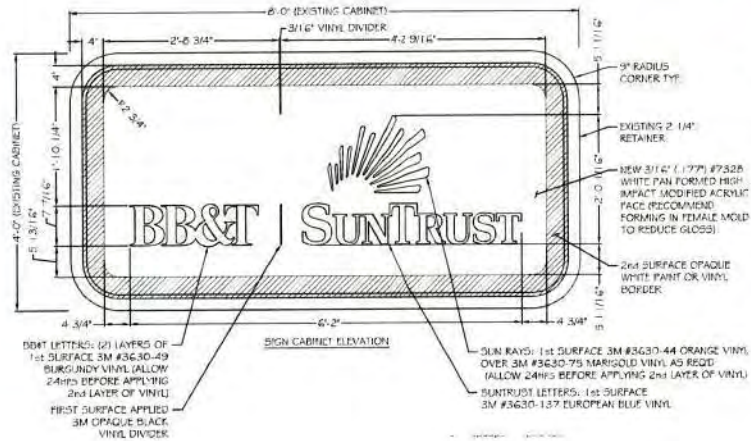
**E01**

Face Change Only



Front View

Scale: 3/4" = 1' (11x17 Paper)



Action:	Remove existing faces and install new faces.
Sign Type:	HEGS01-P-36
Description:	White Pan Formed Plastic with Vinyl Graphics
Repair Action:	Inspect and clean faces and cladding after installation is complete.
Signage Text:	BB&T SunTrust
Comments:	Modification of existing or additional illumination components may be required to illuminate the sign properly. Cabinet: 48" x 96" Cut Size: 47.25" x 95" Retainer: 2.25"

COLOR LEGEND		
PMS/PAINT	VINYL	
NA	3M 3630-75 MARGOLD	
PMS 158	3M 3630-44 ORANGE	*APPLIED OVER MARGOLD VINYL. ALLOW 24hrs IN-BETWEEN APPLICATION
PMS 541 MAP #6626T	3M 3630-137 EUROPEAN BLUE	
BLACK	3M 7725-12 BLACK	
AKZO NYBEL SIGN #769-11	3M 3630-48 BURGUNDY	*DOUBLE VINYL LAYER. ALLOW 24hrs IN-BETWEEN APPLICATION
WHITE	3M 7725-10 WHITE	

before



after



**HILTON DISPLAYS**

123 HILLSIDE DRIVE • GREENVILLE, SC 29607  
P 803 337 9132 • F 854 242 2204  
www.hiltondisplays.com

**QID 20-52380**

JOB NAME

**BB&T / Sun Trust**

LOCATION

**144 St James Ave  
Goose Creek SC 29445**

CUSTOMER CONTACT

SALESMAN / PM

**Christie Wheeler**

DESIGNER

**Brian Sowder**

DWG. DATE

**11-9-20**

REV. DATE / REVISION

SCALE

FILE

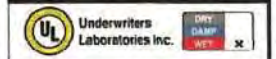
**2020/BB&T/  
BBT-Sun Trust Conversion/  
Goose Creek SC/20-52380/  
BBT Goose Creek SC 20-52380**

DESIGN SPECIFICATIONS ACCEPTED BY:

EST. CLIENT

SUPPLIER LANDLORD

THE POINT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN MATERIALS, FINISHES AND SURFACES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM THIS DRAWING.





**NON-ILLUMINATED WALL SIGN**

HE-WS02

Qty. 1

E02

**TOP VIEW**



Front View

Scale: 1" = 1' (11x17 Paper)

Action:	Remove & Replace
Sign Type:	HEWS02
Description:	White 2" deep fabricated aluminum panel with vinyl graphics
Repair Action:	Wall to be brought back to like new conditions. This could include cleaning the wall, filling the holes with color matched material, and/or painting architectural break to break as needed.
Signage Text:	BB&T SunTrust
Comments:	If existing sign is illuminated - primary electrical feed should be capped per local and NEC codes.

COLOR LEGEND	
PMS:PAINT	VINYL
NA	3M 3630-75 MARBOLD
PMS 158	3M 3630-44 ORANGE
PMS 541 RAL 5028	3M 3630-137 EUROPEAN BLUE
BLACK	3M 7725-42 BLACK
AKZO NOBEL SIGN 8194-11	3M 3630-49 SUBDUED
WHITE	3M 7725-10 WHITE

\*APPLIED OVER MARBOLD VINYL  
ALLOW 30ths IN BETWEEN APPLICATION

\*DOUBLE VINYL LAYER  
ALLOW 30ths IN BETWEEN APPLICATION

before



after



**HILTON DISPLAYS**

125 HILLTOP DRIVE • GREENVILLE, SC 29607  
P. 803.553.9137 • F. 864.242.2204  
www.hiltondisplays.com

**QID 20-52380**

JOB NAME

BB&T / Sun Trust

LOCATION

144 St James Ave  
Goose Creek SC 29445

CUSTOMER CONTACT

SALESMAN / PM

Christie Wheeler

DESIGNER

Brian Sowder

DWG. DATE

11-9-20

REV. DATE / REVISION

SCALE

FILE

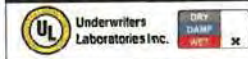
2020/BB&T/  
BBT-Sun Trust Conversion/  
Goose Creek SC/20-52380/  
BBT Goose Creek SC 20-52380

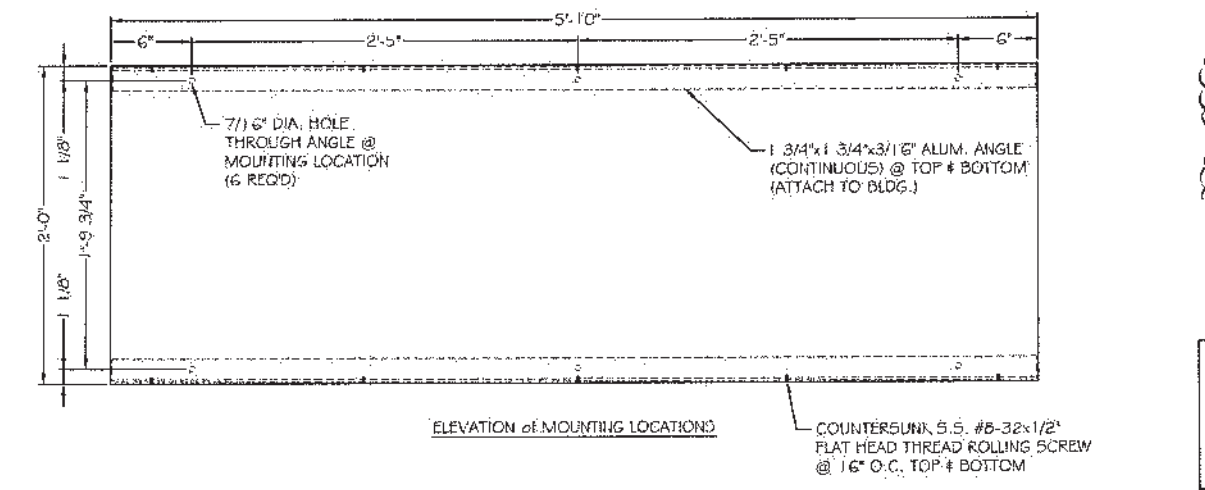
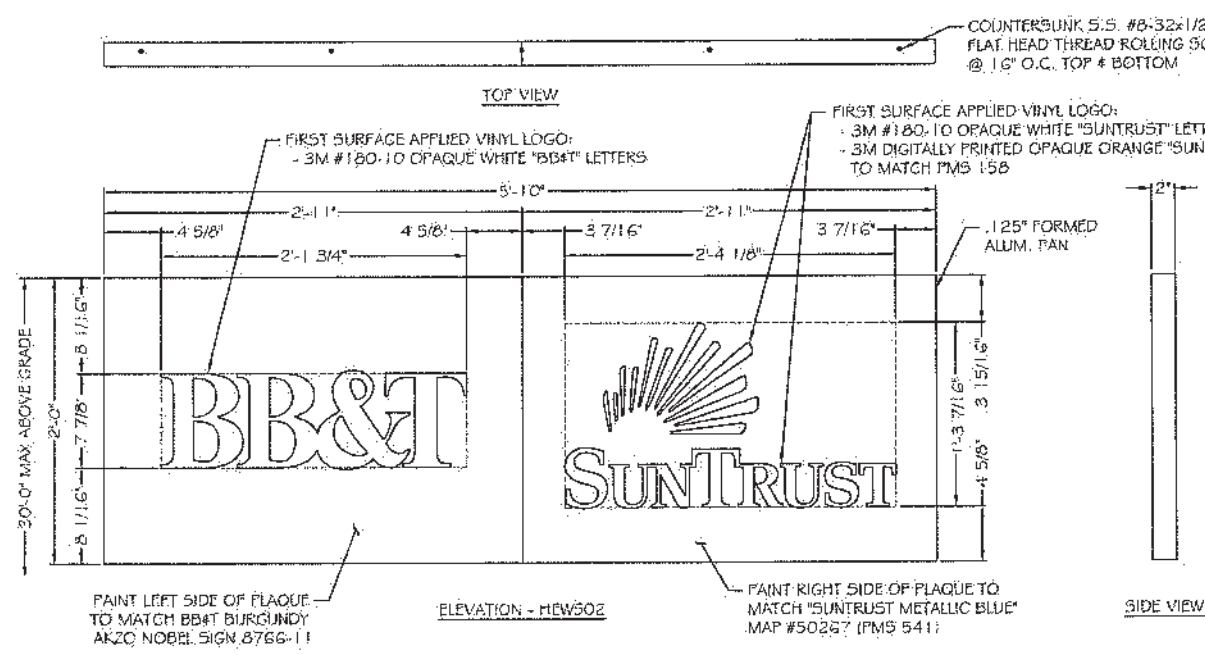
DESIGN SPECIFICATIONS ACCEPTED BY:

EST. CLIENT

SLS P&E LANDLORD

BE AWARE OF THIS DRAWING IS TO BE USED AS A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.





- General Notes:
1. Design is based on a 115 mph, 3 second gust wind design per IBC 2015, Category II, Exposure C, Components and Cladding, Zone 5, 30 psf Ground Snow Load.
  2. No additional wind catching surfaces are added to the building structure. The customer's building engineer is to determine the adequacy of the supporting structure.
  3. All support members shall be free from defects. Extruded aluminum shapes shall be 6061-T6 alloy. Aluminum sheet shall be 3003-H14 alloy. Aluminum plate shall be 5052-H34 alloy.
  4. Welds shall be made using 5356 filler for aluminum by persons qualified in accordance with AWS standards within the past two years.
  5. All fasteners shall be stainless steel or otherwise coated to prevent corrosion.
  6. All wall penetrations shall be sealed to prevent water intrusion.
  7. The scope of this engineer does not include onsite observations.
  8. Truist / Principle Group will not be responsible for the safety on this job site before, during or after installation of this structure. It is the responsibility of the owners, contractors and installers to ensure that the installation and erection of this structure is performed using methods that are in full compliance with OSHA regulations.
  9. Any deviation from this design or from any part of this drawing, including the General Notes, without prior written consent from Truist / Principle Group voids this drawing in its entirety.
  10. This design is prototypical and should not be used for site specific applications unless reviewed and deemed suitable by a competent Professional Engineer.

ALL COLORS & FINISHES SHALL BE VERIFIED TO MATCH THE APPROVED STANDARD FOR THEIR RESPECTIVE BRAND PRIOR TO PRODUCTION

METAL PAINT FINISH TO HAVE THE FOLLOWING: SHEEN = 10%-15% ON 60° GLOSS METER.

EXPOSED FASTENER HEADS SHALL BE FINISHED TO MATCH THE SURROUNDING MATERIAL

**KIT OF PARTS - INSTALLATION:**  
 (1) NON-ILLUMINATED WALL PLAQUE  
 (2) MOUNTING ANGLES  
 (6) MTG. ANGLE TO WALL FASTENERS - TYPE PER THE SITE SPECIFIC DESIGN REQUIREMENTS  
 (10) #8-32x1/2" FLAT HEAD THREAD ROLLING SCREWS (PLAQUE TO MTG. ANGLES)



**DRAWING TITLE:**  
 HYPER EFFICIENT SIGNAGE  
 NON-ILLUMINATED WALL PLAQUE  
 HEW502

DATE	DESCRIPTION
7/13/20	REVIEWED PER PRINCIPLE FEEDBACK
8/20/20	REVIEWED PER PRINCIPLE FEEDBACK
9/2	
9/14	
9/14	
9/14	
9/14	
9/14	
9/14	

THE GRAPHICS SHOWN ON THIS DRAWING ARE FOR ILLUSTRATIVE PURPOSES ONLY. USE ONLY PROVIDED DIGITAL FILES FOR PRODUCTION.



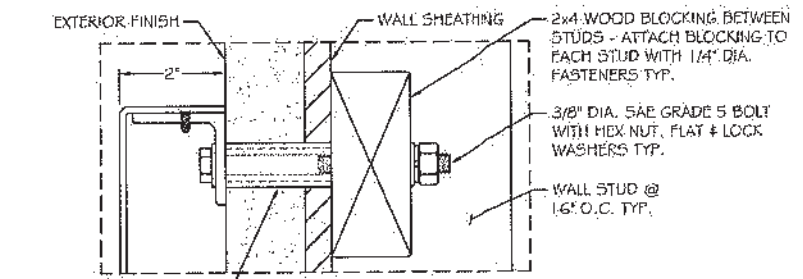
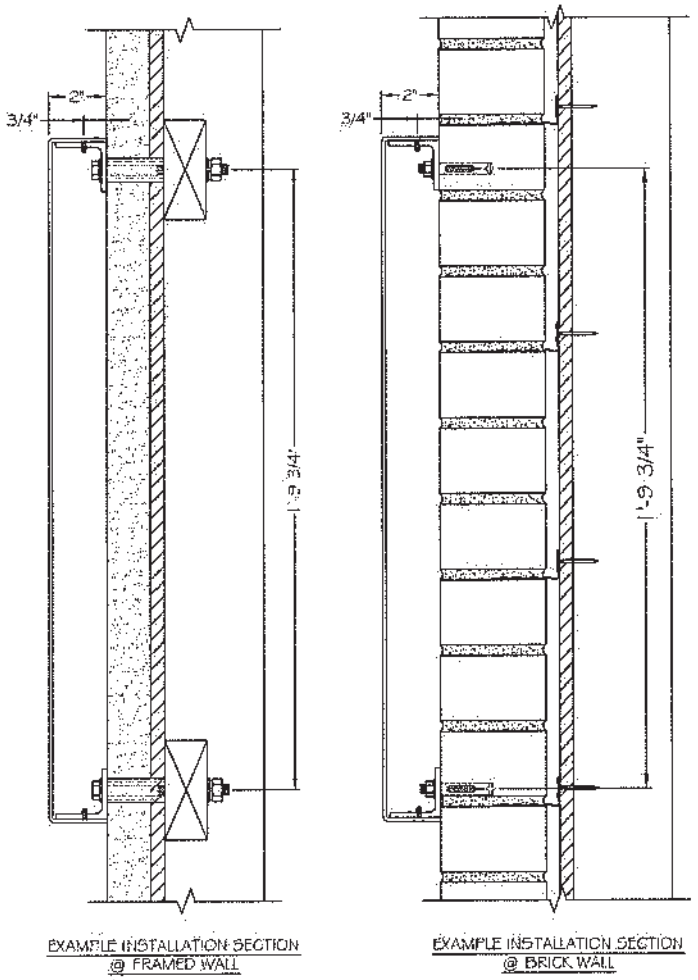
**NOTICES:**  
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 No liability is accepted in any form for the use of these drawings in other.

Material:	Finish:

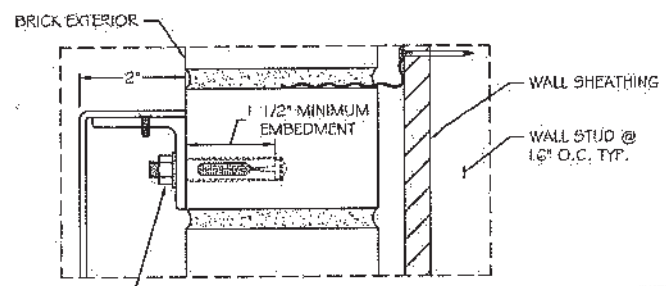
Project Number:	Drawing Number:
20-0431	B2502409

SHT.	OF	DATE	BY:
1	2	7/8/20	SR

THE INSTALLATION DETAILS SHOWN ON THIS SHEET ARE FOR ILLUSTRATIVE PURPOSES ONLY. A TECHNICAL SURVEY OF THE BUILDING & THE ATTACHMENT DESIGN BY A COMPETENT PROFESSIONAL ENGINEER SHOULD BE CONDUCTED FOR SITE SPECIFIC USAGE.



EXAMPLE INSTALLATION DETAIL @ FRAMED WALL



EXAMPLE INSTALLATION DETAIL @ BRICK WALL

HILTI SLEEVE ANCHOR SYSTEM (OR EQUAL) SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS & RECOMMENDATIONS

**TRUIST**

DRAWING TITLE:  
  
HYPER EFFICIENT SIGNAGE  
NON-ILLUMINATED WALL PLAQUE  
HEWS02

DATE	DESCRIPTION
7/15/20	REVISED FOR PRODUCE FEEDBACK
8/25/20	REVISED FOR PRODUCE FEEDBACK
-/-	.....
-/-	.....
-/-	.....
-/-	.....
-/-	.....
-/-	.....

THE GRAPHICS SHOWN ON THIS DRAWING ARE FOR ILLUSTRATIVE PURPOSES ONLY. USE ONLY PROVIDED DIGITAL FILES FOR PRODUCTION.

**principle**   
PRINCIPLE GROUP  
2035 LAKESIDE CENTRE WAY - SUITE 250  
KNOXVILLE, TN 37922

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No company or person is permitted to use the drawings without the express written consent and in full compliance with applicable national and international standards and health and safety regulations. Before using this information for the purposes of construction, or otherwise in other for the purposes of manufacture.  
No liability is accepted by us for the use of these drawings by others.

Material:	Finish:

Project Number:	Drawing Number:
20-0431	B2502409
SHT. 2	DF. 2
DATE: 7/8/20	BY: SR



---

MINOR APPLICATION: NEW BUSINESS

**THE HAIR LOFT BOUTIQUE, LLC**

105 THOMASON BLVD, SUITE I

**Signage**

---

**PAID**

OFFICE USE ONLY

PERMIT #: 042885  
AMOUNT DUE: \$ 75.00  
DATE PAID: 12/03/2020

CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

Today's Date: 11/24/2020 Permit Fee: \$75.00

1. Business Owner Shantevia Patterson Business Phone (843) 642-4068  
 Name of Business The Hair Loft Boutique LLC Alternate Phone \_\_\_\_\_  
 Street Address of Business 105 Thomason Blvd, Goose Creek, SC 29445 Suite I  
 Landlord/Lessor \_\_\_\_\_ Landlord's Phone \_\_\_\_\_  
 Sign Company Carolins Sign Co. Sign Co. Phone (843) 779-7446  
 Sign Co. Contact Hugh Welch Sign Co. Address 107 St James Ave, Goose Creek
2. Cost of Sign(s) \$ 1000 Sign Installation Cost \$ 350 Total Cost \$ 1350
3. How many signs are you applying for? 1 How many signs does this business already have? 0
4. What kind of signs does this business already have? \_\_\_\_\_  None
5. What type of business is applying for this sign permit:  
 A. A stand alone business?  Yes  No  
 B. A part of a shopping center?  Yes  No If yes, shopping center name: 105 Thomason Blvd. Shops
6. What is the TMS number for this property? 243 - 08 - 06 - 044
7. What is the front setback of the business in feet? 160 (The distance from the front property line to the front of business)  
 A. For corner lots only, what is the front setback for second street frontage in feet? \_\_\_\_\_
8. What is the width of the business in feet? 12 (The distance from wall to wall)  
 A. For corner lots only, what is the width of the business for second street frontage in feet? \_\_\_\_\_
9. What is the property's road frontage in feet? \_\_\_\_\_ (This only applies to shopping centers erecting a freestanding sign)
10. Please attach photos showing:  
 A. The storefront in relation to adjacent businesses;  
 B. The specific location of proposed sign(s) on the property or building; and  
 C. The actual sign if it already exists.
11. Please attach drawings of each proposed sign showing (drawn to scale) :  
 A. The completed sign as it will actually appear on the building  
 B. All dimensions;  
 C. Where the colors will appear;  
 D. The location on the property (on a plat) of proposed & existing freestanding signs  
 E. The location on the building of proposed & existing building signs
12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.
13. Please complete the Sign Information Table located on the following page.
14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
  - Please submit this application by the 1<sup>st</sup> Monday of the month for consideration that month by the ARB.
  - The ARB meets on the 3<sup>rd</sup> Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

OFFICE USE ONLY

MAX. NO. OF ALLOWED SIGNS: \_\_\_\_\_

MAX ALLOWED SIGN AREA: \_\_\_\_\_

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

Note: This application contains multiple pages

**SIGN INFORMATION TABLE**

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	plastic aluminum acrylic		
Illumination: Exterior, interior or not lighted	interior		
Type of Sign:	Cabinet / Cloud Wall mount		
Height (FEET)	3'		
Width (feet)	4'		
Area (square feet)	12'		
All colors used on sign	black, gray, pink,		
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	13" x 28"		
Projection from building or cabinet width (thickness)	6"		
Number of styles of lettering	2		
Height of letters (if channel letters)	N/A		
If mounting individual letters, space between letters	N/A		
If mounting individual letters, space between words	N/A		
If window sign, size of window	N/A		
If changeable copy sign (reader board), number of lines	N/A		
If freestanding sign, distance between sign and street curb (ft)	N/A		
If freestanding sign, total height above grade (ft)	N/A		
If freestanding sign, landscaping materials to be planted at base of sign	N/A		

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.

*Payton Hood*

Signature of Applicant

11/24/2020

Date

OFFICE USE ONLY

Remarks: \_\_\_\_\_

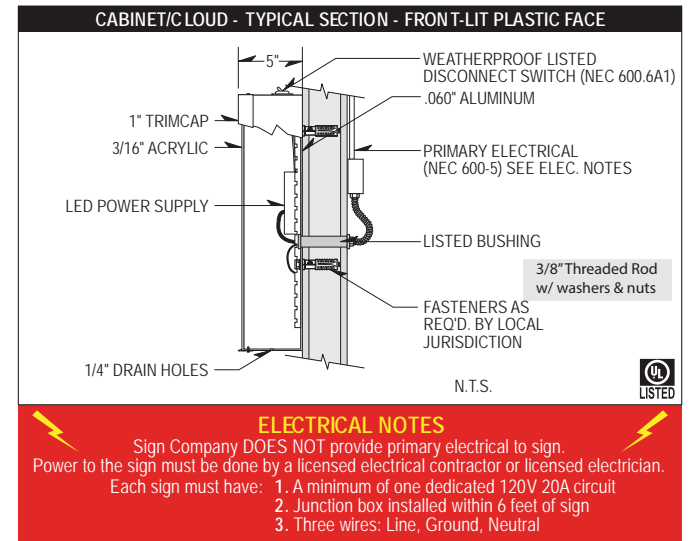
Approval: Zoning Administrator \_\_\_\_\_ Issued by: \_\_\_\_\_ Date: \_\_\_\_\_



EXISTING SIGNAGE



PROPOSED SIGNAGE



**NOTES:**

CLOUD STYLE CABINET  
 INTERNALLY LIGHTED WITH LED  
 Printed Translucent Vinyl Overlay



**CLIENT NAME:** The Hair Loft Boutique LLC

**CONTACT:** Shantevia Patterson

\_\_\_\_\_  
**CLIENT APPROVAL**

\_\_\_\_\_  
**LANDLORD APPROVAL**

**SALES REP:**  
 HW

**DESIGNER:**  
 AM



---

MINOR APPLICATION: NEW BUSINESS

**GRANITE DEPOT OF CHARLESTON**

112 S. GOOSE CREEK BLVD

Paint

---





RECEIVED  
DEC 07 2020  
BY: [Signature]

# Architectural Review Board

## APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118  
www.cityofgoosecreek.com Fax: 843-863-5208

P.O. Drawer 1768 519 N. Goose Creek Blvd. Goose Creek, South Carolina 29445-1768

Property Address: 112 S Goose Creek Blvd ✓		TMS No.: 243-12-07-020
Review request:	For:	Preliminary meeting date requested: 12/21/20
<input type="checkbox"/> Conceptual	<input type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Preliminary <input type="checkbox"/> Final	<input checked="" type="checkbox"/> Repairs or repaint with no changes	<input checked="" type="checkbox"/> Color Change <input type="checkbox"/> Demolition

Property Owner: mark Deitch	Daytime phone:
Applicant: Granite Depot of Charleston	Daytime phone: 843-364-3938
ARB Meeting Representative: Bonnie Iger	Contact information:
Applicant's mailing address: 7318 Rab Dr.	
City: North Charleston	State: SC Zip: 29406
Applicant's e-mail address: bonniegranitedepotofchas@gmail.com	
Applicant's relationship:	<input type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input checked="" type="checkbox"/> Other

Materials/Colors Used: (specific color(s)/manufacture #'s listed: samples must be presented to Board  attached)  
(Example: Building Materials, Exterior Colors, Landscaping, Lighting)

Tan - sides  
 Gray - front  
 white - front  
 Tile - on front

will supply samples at meeting

Scope of Work: (please give a detailed description)

Paint outside + cover back with tile

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature: [Signature] Date: 12/7/20  
Print name legibly: Bonnie Koedatich

12/21 meeting 12/7 Deadline



---

MAJOR APPLICATION: NEW BUSINESS

**Chipotle**

220 St. James Blvd

**Site, Parking, Landscaping, Elevations, Materials and Colors**

---



**ARB SCOPE OF WORK FORM/**

**APPLICATION / INFORMATION SUMMARY**

**DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118**

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

<b>Property Address:</b> 220 St. James Blvd		<b>TMS No.:</b> 243-04-00-011, 032, 013
<b>Review request:</b>	<b>For:</b>	<b>Preliminary meeting date requested:</b> 12/07/20
<input checked="" type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	

<b>Property Owner:</b> ROIF St. James Investments	<b>Daytime phone:</b> 864-871-2344
<b>Applicant:</b> RealOp Investments, Kyle Putnam	<b>Daytime phone:</b> 864-871-2344
<b>ARB Meeting Representative:</b> Josh Lilly, PE, Stantec	<b>Contact Information:</b> 843-276-2285
<b>Applicant's mailing address:</b> 4969 Centre Pointe Drive, S200	
<b>City:</b> North Charleston	<b>State:</b> SC <b>Zip:</b> 29445
<b>Applicant's e-mail address:</b> josh.lilly@stantec.com	
<b>Applicant's relationship:</b> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

<b>Materials/Colors Used:</b> <i>(specific color(s)/manufacture #'s listed: samples must be presented to Board <input checked="" type="checkbox"/> attached)</i> <i>(Example: Building Materials, Exterior Colors, Landscaping, Lighting)</i>
Please see enclosed documents that show materials, colors and landscaping.
<b>Scope of Work:</b> <i>(please give a detailed description)</i>
Demolish an existing single story building located at the corner of St. and Old Moncks Corner Road to be replaced by a new single story retail center with three spaces, one which will be for a new Chipotle restaurant with drive through pick up lane. Total square footage of new building is 6,760 SF. Site will also have the required parking and landscaping.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

**Applicant's signature:** \_\_\_\_\_ **Date:** 12/7/2020

**Print name legibly:** Kyle Putnam \_\_\_\_\_





Stantec  
4917 Centre Pointe Drive, Suite 300  
North Charleston, SC 29405  
Tel: 843.746.7700  
www.stantec.com

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The Copyright of all designs and drawings on the property of Stantec. Introduction  
into the public domain shall remain the property of Stantec & Associates.  
Consultant

- Legend
- STANDARD ASPHALT PAVEMENT
  - ASPHALT PAVEMENT WITH SCOOP R/W
  - CONCRETE PAVEMENT

Revision

Revision	By	App'd	YYYY-MM-DD
Site Plan Review	SM	JL	20201117
NO Authority	SM	JL	20201117
Site Plan Review	SM	JL	20201120
ISSUED	SM	App'd	YYYY-MM-DD
Per Owner (Date, Sign)	SM	App'd	YYYY-MM-DD
Per Owner (Date, Sign)	SM	App'd	YYYY-MM-DD

Firm/Seal

1/10/2020

Client/Project Logo

Client/Project  
ROF SAINT JAMES LLC  
CHIPOTLE - GOOSE CREEK, SC  
CITY OF GOOSE CREEK, SOUTH CAROLINA  
Title  
SITE LAYOUT PLAN

Project No.  
175421049  
Scale  
1" = 20'  
Drawing No.  
C3.0

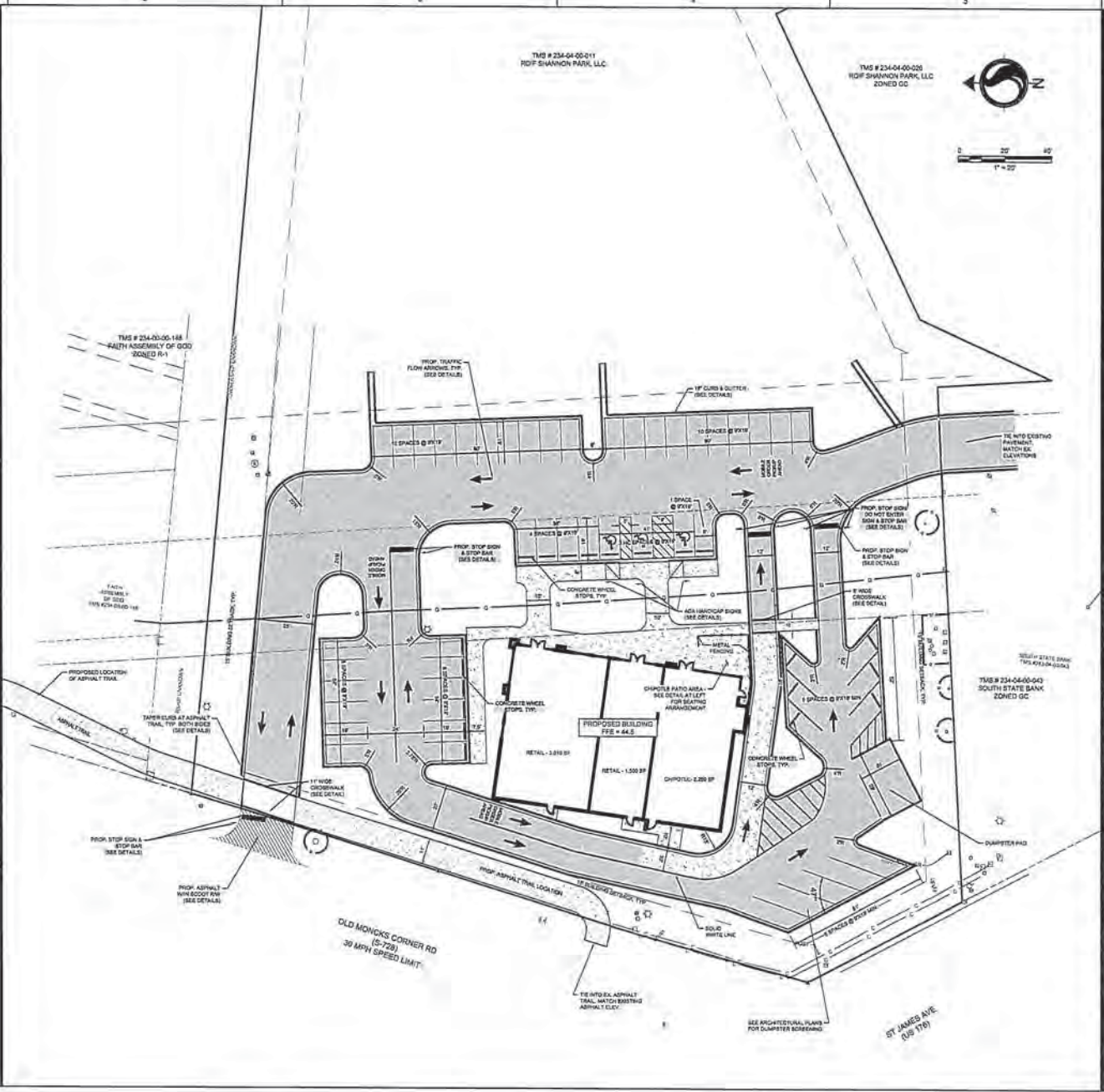
- ZONING AND PLANNING DEPARTMENT NOTES:**
1. ZIA MAP NUMBER: 240404010, 240404020, 240404030, 240404040, 240404050
  2. SITE AREA: 27.4 ACRES
  3. EXISTING USE ON THE PROPERTY:
    - 3.1 PARK SPACE & OFFICE BUILDING
    - 3.2 EXISTING BUILDINGS - 4,700 SF
    - 3.3 PROPOSED BUILDING - 6,700 SF
  4. FEMA FLOOD ZONE: ZONE X (SEE PANEL A411030806, EFFECTIVE DATE, DECEMBER 7, 2019)
  5. LOCATION WITHIN THE CITY OF GOOSE CREEK
  6. ZONING: S2 - GENERAL COMMERCIAL
  7. METRICS:
    - 7.1 FRONT: 11'
    - 7.2 SIDE: 15'
    - 7.3 REAR: 12'
  8. BUFFER:
    - 8.1 SIDE (NOTING BUFFER 1)
    - 8.2 PLEASE SEE LANDSCAPE PLANS FOR PARKING LOT TREES AND OTHER LANDSCAPES THAT IS PROPOSED
  9. PARKING:
 

REQUIRED: RESTAURANT - 1 SPACE PER 4 SEATS (19 REQUIRED)  
RETAIL - 1 SPACE PER 200 SF  
TOTAL REQUIRED: 4,800 SF (23 RATES)  
PROVIDED: 41 SPACES

PROVIDED: 81 SPACES PROPOSED  
3 ADA PARKING REQUIRED  
3 PROVIDED
  10. OPEN SPACE:
 

OPEN SPACE: 2.2 ACRES  
EXISTING IMPERVIOUS BUILDING, PAVEMENT, CONCRETE & DRIVEWAY: 16.4 ACRES  
EXISTING OPEN SPACE (GRASS, TREES AND BUSHES): 1.18 ACRES  
PROPOSED OPEN SPACE (GRASS, TREES AND BUSHES): 3.27 ACRES
  11. BUILDING HEIGHT (IF APPLICABLE):
 

PROPOSED BUILDING: 21' ABOVE FINISH FLOOR

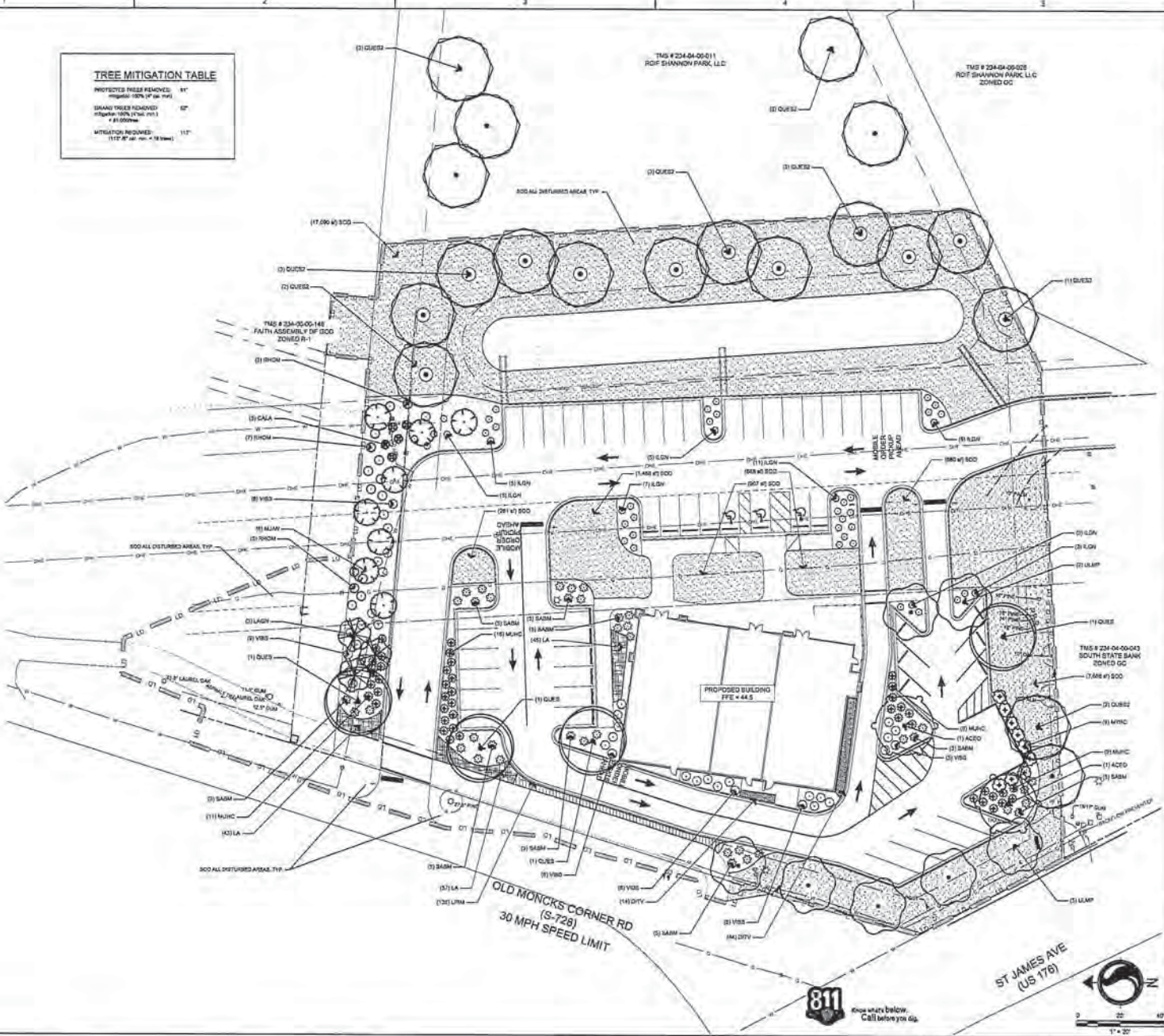


- NOTES:
1. REFERENCE SOUNDING & TOPOGRAPHIC SURVEY BY BOBBIAN CONSULTING DATED AUG-08-2019
  2. DIMENSIONS SHOWN ARE TYPICALLY TO FACE OF CURB UNLESS NOTED OTHERWISE.

08/14/2020 10:40:11 AM

**TREE MITIGATION TABLE**

PROTECTED TREES REMOVED	81'
REPLANT: 100% OF DBH	
GRAND TREES REMOVED	87'
REPLANT: 100% DBH (1:1)	
# \$1000/DBH	
MITIGATION REQUIRED:	113'
1:1/2" DBH (1:1) # 1000/DBH	



TMS # 234-04-00-011  
ROF SHANNON PARK, LLC

TMS # 234-04-00-025  
ROF SHANNON PARK, LLC  
ZONED GC



Stantec  
4147 Center Pointe Drive, Suite 200  
North Charleston, SC 29405  
Tel: 843.742.7700  
www.stantec.com

Copyright Reserved  
The Contractor shall verify and be responsible to all dimensions, DO NOT rely for missing or incorrect conditions and be responsible to Stantec, actual plans.  
The Contractor is to design and construct on the property of Stantec, Manufacturer or other for any purpose other than that authorized by Stantec's bid.

**Legend**

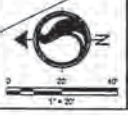
**Revisions**

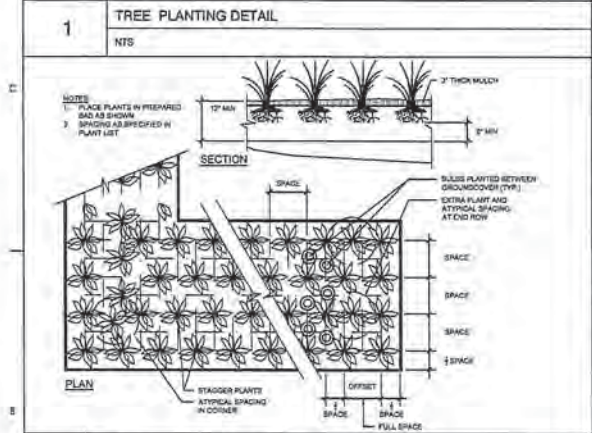
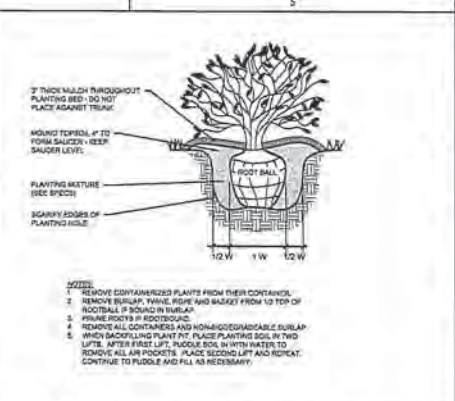
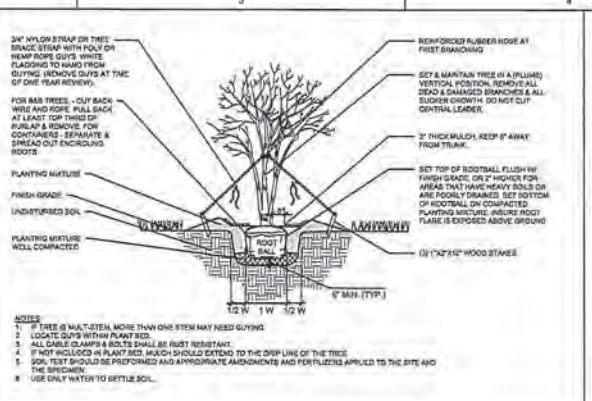
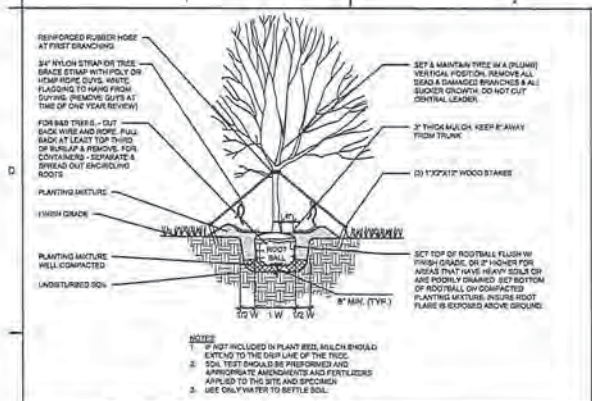
Rev	Date	Description
1	11/19/2020	



Client/Project Logo  
Client/Project  
ROF SAINT JAMES LLC  
CHIPOTLE - GOOSE CREEK, SC  
CITY OF GOOSE CREEK, SOUTH CAROLINA  
Title  
LANDSCAPE PLAN

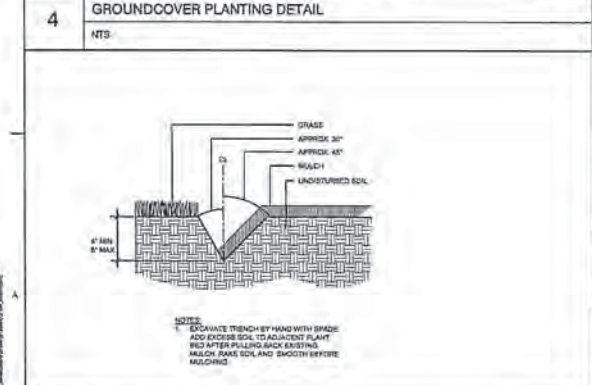
Project No. 178421047  
Scale 1"=20'-0"  
Revisions Drawing No. L2.0





**GENERAL LANDSCAPE NOTES:**

- LANDSCAPE CONTRACTOR SHALL VERIFY SITE, INSPECT EXISTING CONDITIONS, AND REVIEW PROPOSED PLANTING AND IRRIGATION SCHEDULES. LANDSCAPE CONTRACTOR SHALL NOTIFY LOCAL AGENCIES ON PROPERTY WITH THE GENERAL CONTRACTOR AND BY CALLING LOCAL ONE CALL OR NUMBER PROVIDED TO LOCATED PLANT LOCATIONS.
- IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL PREVAIL QUANTITIES. CONTACT LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE WITH ANY CONCERNS.
- LANDSCAPE CONTRACTOR IS TO COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH GENERAL CONTRACTOR'S SCHEDULE ON SITE.
- WHERE EXISTING TREES ARE TO BE REMOVED, CONTRACTOR SHALL MAINTAIN AND PROTECT ON SITE, WHENEVER POSSIBLE. THE REMOVAL OF TREES SHALL BE PERMITTED AND APPROVED BY THE OWNER. CONTRACTOR SHALL MAINTAIN AND PROTECT ALL REMAINING TREES AND SHALL BE SUBJECT TO THE SUPERVISION OF THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL EXISTING TREES TO REMAIN TO BE REVEGETATED AND PRUNED TO REMOVE DEAD WOOD AND DAMAGED OR HAZARDOUS BRANCHES.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS RECEIVED FROM THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONSITE MAINTENANCE OF ALL MATERIALS DELIVERED TO THE SITE. CONTRACTOR SHALL SECURE DELIVERED MATERIALS FROM TOXIC ACCIDENTS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE CONTRACTOR.
- MARKETRY FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE OWNER. REPRESENTATIVE AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO FINAL ACCEPTANCE WILL BE CONSIDERED. LANDSCAPE CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR THE OWNER'S ACCEPTANCE. REVISIONS AND REVISE AS REQUIRED. PLANT MATERIALS ONLY TO BE INSTALLED IMMEDIATELY PRIOR TO PLANTING IN THE SCHEDULED PLANTING PERIOD. A LIST OF ONE REPRESENTATIVE OF EACH TREE AND SHRUB WILL BE REQUIRED. EXCEPT FOR UNLESS STATED BY CONTRACTOR'S SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY PLANTING DATES AND SCHEDULES AS NECESSARY TO VERIFY PLANTING DATES WITH ALL PLANTING BIDDERS AND TOPSOIL SUPPLIERS. CONTRACTOR SHALL MAINTAIN AND PROTECT ALL UTILITIES AND STRUCTURES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE CONTRACTOR.
- ACCEPTANCE OF GRASS AND SOIL SHALL BE BY LANDSCAPE ARCHITECT AND/OR PROJECT REPRESENTATIVE. THE LANDSCAPE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY UNTIL FINAL ACCEPTANCE HAS BEEN RECEIVED. MAINTENANCE SHALL INCLUDE SOIL TREATING, REPLACEMENT OF SOIL AND OTHER OPERATIONS NECESSARY TO KEEP SOIL IN A TOPSOIL CONDITION. UPON FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR OWNER REPRESENTATIVE, THE OWNER WILL ASSUME ALL MAINTENANCE RESPONSIBILITIES.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE WITH ALL REPLACEMENTS TO BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- PLANT MATERIAL LOCATIONS SHOWN ARE SUPPLEMENTARY AND MAY BE SUBJECT TO CHANGE IN THE FIELD AS REQUIRED. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON PLAN.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT JOBSITE TO THE OWNER.
- OWNER OR OWNER'S REPRESENTATIVE SHALL ASSESS LANDSCAPE INSTALLATION AND HAVE THE RIGHT TO SELECT AND WITHDRAW. REMOVE OR ANY PLANT MATERIAL OF DAMAGED OR POOR QUALITY OR NOT MEETING SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL EROSION AND SLOPE CONTROL, MAINTAIN PROTECT AND DURING CONSTRUCTION. THE LANDSCAPE CONTRACTOR SHALL PREVENT ANY EROSION OF SOIL AND ENTRY OF SOIL-BOUND MATERIALS INTO ANY ADJACENT PROPERTIES AND WITH THE PUBLIC STORM WATER FACILITIES.
- ALL LANDSCAPE TREES AND SHRUBS TO BE MAINTAINED WITH MULCH TO A DEPTH OF NO LESS THAN 1" AND PLANTING TO BE INSTALLED UNTIL DRAINAGE AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- IF THE LANDSCAPE CONTRACTOR PERFORMS ANY SPECIFICATIONS IN THE PLANT SCHEDULES, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT AFFECT PLANT MATERIAL, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND/OR OWNER REPRESENTATIVE PRIOR TO THE INSTALLATION.
- PROTECT TO ANY LAW CLEANING OR CONSTRUCTION. THIS PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES AND SHRUBS TO PROTECT THEM FROM THE SITE. THE FENCING SHALL BE INSTALLED AND MAINTAINED THROUGH THE DURATION OF THE PROJECT. NO ELECTRICAL WIRING OR PIPING SHALL OCCUR UNDER THE FENCING AREA WITHOUT APPROVAL.
- ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. PLANT MATERIALS ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS ORDERED IN MARKET CONDITION. IF WET, CLAY SOILS OR POOR DRAINAGE SOILS ARE PRESENT, CONTRACTOR SHALL REMOVE ALL MULCH FROM TOP 10" OF SOIL BALL AND FROM TREE TRUNKS.
- ONE SHRUB PER TREE AND ONE EACH PLANTING BED AND EVERY TREE SHALL BE CLEARLY IDENTIFIED BY THE CONTRACTOR. THIS IDENTIFICATION SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES AND SHRUBS TO PROTECT THEM FROM THE SITE. THE IDENTIFICATION SHALL BE INSTALLED AND MAINTAINED THROUGH THE DURATION OF THE PROJECT. NO ELECTRICAL WIRING OR PIPING SHALL OCCUR UNDER THE FENCING AREA WITHOUT APPROVAL.
- BEFORE AND/OR AFTER THE END OF EACH PLANTING BED AND EVERY TREE SHALL BE CLEARLY IDENTIFIED BY THE CONTRACTOR. THIS IDENTIFICATION SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES AND SHRUBS TO PROTECT THEM FROM THE SITE. THE IDENTIFICATION SHALL BE INSTALLED AND MAINTAINED THROUGH THE DURATION OF THE PROJECT. NO ELECTRICAL WIRING OR PIPING SHALL OCCUR UNDER THE FENCING AREA WITHOUT APPROVAL.



**PLANT SCHEDULE**

TREES	CODE	POTENTIAL / COMMON NAME	CONF.	GAL.	SIZE	QTY
	A2ED	ACER PLURISP 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	6 B B	2.5 GAL.	10-12"	2
	LA0H	LARIX TREDEWARA 'NATCHEZ' / DWARF SPRUCE	36 GAL.	2.5 GAL.	1'-2"	2
	MAJN	MAGNOLIA 'JANE' / JANE SAUCER MAGNOLIA	25 GAL.	2.5 GAL.	8'-8"	1
	QU2S	QUERCUS SHIMMUNII / SHIMMUNII RED OAK	6 B B	3.5 GAL.	10-12"	4
	MA0P	MAGNOLIA 'PARVIFLORA' / ALLEE LACONICUM	6 B B	3.5 GAL.	10-12"	2
<b>MITIGATION TREES</b>	CODE	POTENTIAL / COMMON NAME	CONF.	GAL.	SIZE	QTY
	QU2S	QUERCUS SHIMMUNII / SHIMMUNII RED OAK	6 B B	3.5 GAL.	12-14"	10
<b>SHRUBS</b>	CODE	POTENTIAL / COMMON NAME	CONF.	SIZE	SPACING	QTY
	GA0A	CALICOGNA AMERICANA / AMERICAN REDBUD	3 GAL.	2'-0"		5
	LO0H	LEX GLABRA 'NANA' / DWARF SIBYRIAN	3 GAL.			44
	ML0C	MULLENBERGIA CAPILLARIS / WHITE PINKY	3 GAL.			18
	MY0C	MYRTICA CRETENSIS / WHITE MYRTLE	3 GAL.			9
	PH0C	PHLOXENDENDRON AZALEA 'MRS. G. G. SCHUBERT' / LAZURE WHITE AZALEA	3 GAL.	2'-0"		15
	SA0H	SABAL MINOR / ENGLISH PALMETTO	3 GAL.	2'-0"		20
	VB00	VIBURNUM BURSIFOLIUM / SANDHORN VIBURNUM	3 GAL.	20-24"		17
<b>GROUND COVERS</b>	CODE	POTENTIAL / COMMON NAME	CONF.	SPACING	QTY	
	GR0V	DIANELLA TAIWANENSIS 'VARIEGATA' / VARIEGATED FLAX LILY	1 GAL.	24" x 6"	30	
	SD00	SPERMATOPHYTES / CENTIPED GRASS	500		18,776 SF	
	LA	LANTANA MONTEVIDEOSIS 'SPRINGING WHITE' / WHITE TRAILING LANTANA	1 GAL.	24" x 6"	165	
	LUM	LIRIODENDRON EVERGREEN 'EMERALD' / EVERGREEN GIANT BIRDCHERRY	1 GAL.	18" x 6"	139	

Revision

NO.	DATE	DESCRIPTION
01	03/11/2021	ISSUED FOR PERMIT
02	03/11/2021	ISSUED FOR PERMIT
03	03/11/2021	ISSUED FOR PERMIT
04	03/11/2021	ISSUED FOR PERMIT
05	03/11/2021	ISSUED FOR PERMIT
06	03/11/2021	ISSUED FOR PERMIT
07	03/11/2021	ISSUED FOR PERMIT
08	03/11/2021	ISSUED FOR PERMIT
09	03/11/2021	ISSUED FOR PERMIT
10	03/11/2021	ISSUED FOR PERMIT



Client/Project Logo

Client/Project  
**ROF SAINT JAMES LLC**

**CHPOLE - GOOSE CREEK, SC**

CITY OF GOOSE CREEK, SOUTH CAROLINA

Title  
**LANDSCAPE DETAILS**

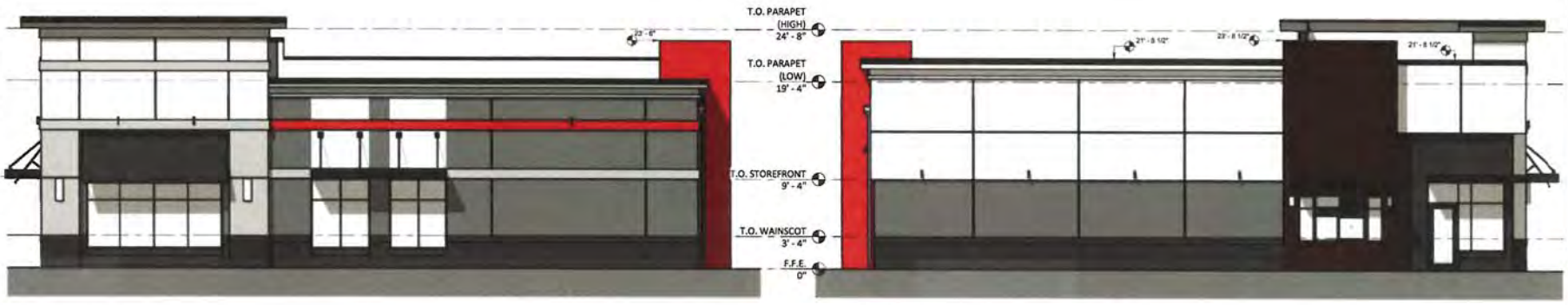
Project No. 129421049  
Revision

Scale AS NOTED  
Drawing No.

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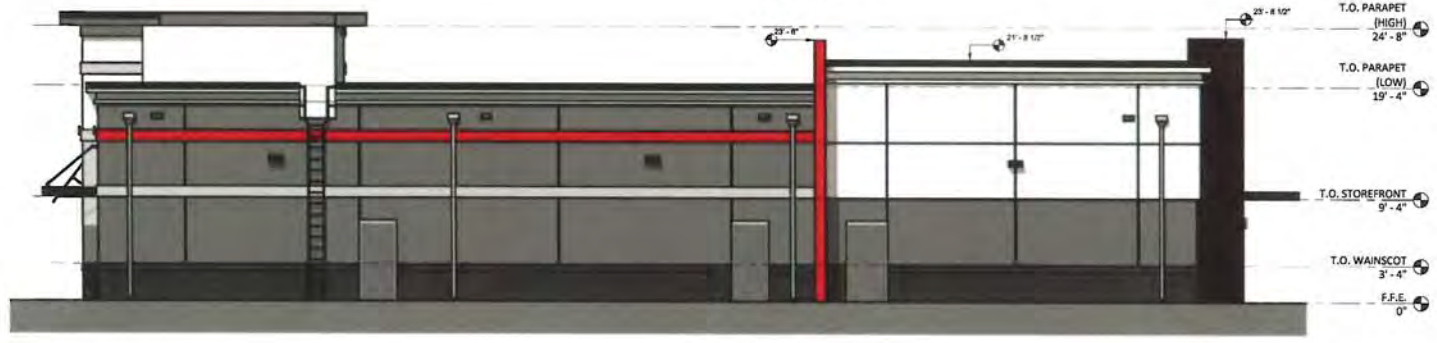


1 NORTH ELEVATION  
 A3.01 3/16" = 1'-0"



3 WEST ELEVATION  
 A3.01 3/16" = 1'-0"

2 EAST ELEVATION  
 A3.01 3/16" = 1'-0"



4 SOUTH ELEVATION  
 A3.01 3/16" = 1'-0"

L&M Architects, LLC  
 500 W. 10th St. #200  
 Miami, FL 33135  
 305.375.1200



New Project  
**NEW COMMERCIAL CENTER**

15 James Park & 15th Street, Corner #1  
 Stone Creek, NC



DRAWING HISTORY:  
 DATE: 08/14/13  
 BY: A3.01  
 CHECKED: A3.01

PROJ. NO. 19050  
 SHEET TITLE:

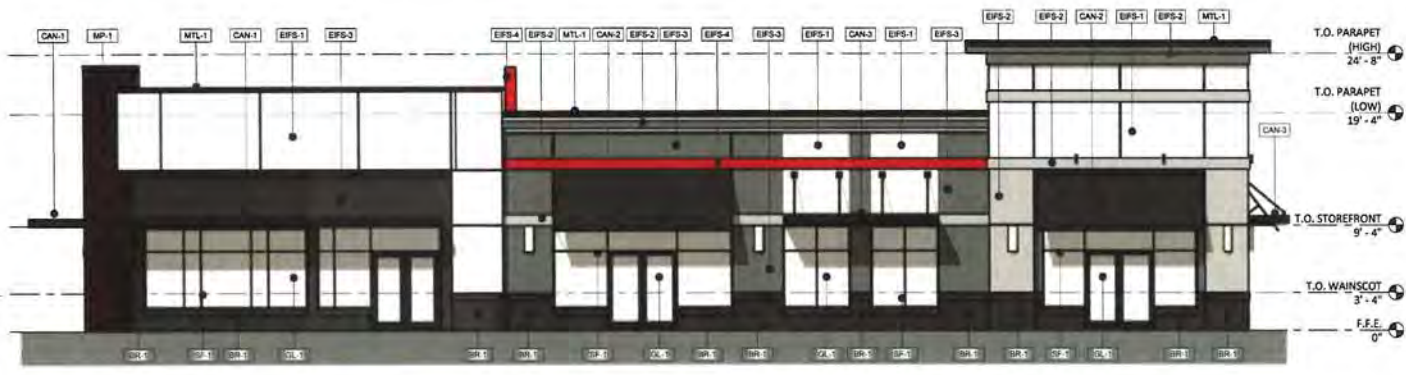
EXTERIOR ELEVATIONS

SHEET NO.

**A3.01**



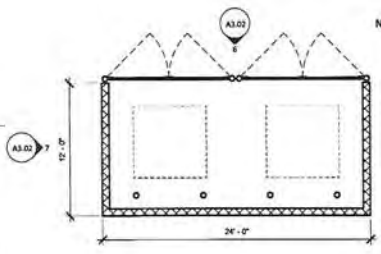
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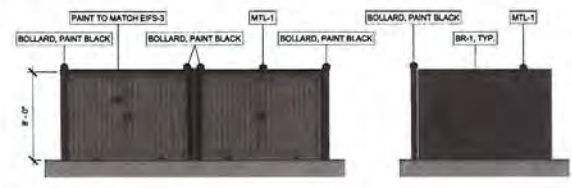
1 TYP. COLOR / MATERIAL SCHEME  
A3.02 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE	
EPS (EXTERIOR INSULATION FINISH SYSTEM)	
EPS-1	INTEGRALLY COLORED DRAINABLE EPS SYSTEM (DIRTYWIT OUTSULATION PLUS OR EQUAL) W/ SAND PEBBLE FINISH TO MATCH PPG COLOR "FOOT"; GC TO SUBMIT SAMPLE TO ARCHITECT FOR APPROVAL.
EPS-2	INTEGRALLY COLORED DRAINABLE EPS SYSTEM (DIRTYWIT OUTSULATION PLUS OR EQUAL) W/ SAND PEBBLE FINISH TO MATCH PPG COLOR "STEPPING STONE"; GC TO SUBMIT SAMPLE TO ARCHITECT FOR APPROVAL.
EPS-3	INTEGRALLY COLORED DRAINABLE EPS SYSTEM (DIRTYWIT OUTSULATION PLUS OR EQUAL) W/ SAND PEBBLE FINISH TO MATCH PPG COLOR "PONDICE ARMOR"; GC TO SUBMIT SAMPLE TO ARCHITECT FOR APPROVAL.
EPS-4	INTEGRALLY COLORED DRAINABLE EPS SYSTEM (DIRTYWIT OUTSULATION PLUS OR EQUAL) W/ SAND PEBBLE FINISH TO MATCH PANTONE "PMS 1027 C"; GC TO SUBMIT SAMPLE TO ARCHITECT FOR APPROVAL.
BRICK	
BR-1	THIN AND FULL DEPTH MODULAR BRICK BY TAYLOR CLAY PRODUCTS; COLOR "BLACK ONYX" W/ GRAY MORTAR.
METAL COPING / FLASHING	
MTL-1	REFINISHED METAL FLASHING COLOR TO MATCH STOREFRONT; CONTRACTOR TO SUBMIT SAMPLE TO ARCHITECT FOR SELECTION AND APPROVAL.
CANOPIES / AWNINGS	
CAN-1	PREFAB CANTILEVERED METAL CANOPY BY AMERICAN PRODUCTS OR SIM. FACTORY FINISH "BLACK" TO MATCH SF-1; CONTRACTOR TO SUBMIT SAMPLE TO ARCHITECT FOR SELECTION AND APPROVAL.
CAN-2	PREFAB METAL CANOPY WITH DECORATIVE DOWNRODS BY AMERICAN PRODUCTS OR SIM. FACTORY FINISH "BLACK" TO MATCH SF-1; CONTRACTOR TO SUBMIT SAMPLE TO ARCHITECT FOR SELECTION AND APPROVAL.
CAN-3	PREFAB FABRIC AWNING; FABRIC BY SUNBRELLA OR EQUAL; COLOR "BLACK"; MILL FINISH SUPPORTS; CONTRACTOR TO SUBMIT SAMPLE TO ARCHITECT FOR SELECTION AND APPROVAL.
METAL PANELS	
MP-1	EXTRUDED METAL PLANK WALL PANELS BY ARCH-FAB OR EQUAL; VARIED PLANK WIDTHS; COLOR "DARK BRONZE" IN RUSTIC TEXTURE OR WEATHERED STEEL FINISH.
STOREFRONT / GLASS	
SF-1	THERMALLY BROKEN STOREFRONT W/ CENTER-SET 1" INSULATED GLAZING (AWNING) TRIFAB VERAQUAZE 4511 OR EQUAL; 2" MULLIONS; MATCH PERMFLUOR COLOR "CHARCOAL"; COMPATIBLE ENTRY DOORS W/ MATCHING FINISH.
GL-1	CENTER-SET 1" INSULATED GLAZING UNITS; CLEAR.

NOTE: SEE SITE PLAN FOR EXACT DUMPSTER ENCLOSURE LOCATION



4 DUMPSTER ENCLOSURE PLAN  
A3.02 3/16" = 1'-0"



6 DUMPSTER FRONT ELEVATION  
A3.02 3/16" = 1'-0"

7 DUMPSTER SIDE ELEVATION  
A3.02 3/16" = 1'-0"

3D VIEWS ARE SHOWN FOR REFERENCE ONLY. THEY ARE TO SHOW DESIGN INTENT AND SHOULD NOT BE SCALED OR MEASURED. REFERENCE INDIVIDUAL PLANS, ELEVATIONS AND/OR DETAILS FOR FURTHER INFORMATION



3 REAR PERSPECTIVE  
A3.02



5 CORNER VIEW  
A3.02

LMG Architects, LLC  
 200 W. 10th Street, Suite 200  
 Omaha, NE 68102  
 402.464.4646  
 info@lmgarchitects.com

**LMG**  
 ARCHITECTS

New Project  
**NEW COMMERCIAL CENTER**  
 3130 S. 10th Street, Omaha, NE 68106  
 402.464.4646

**realop**  
 INVESTMENTS

DRAWING HISTORY:  
 DATE: 11/21/2024  
 BY: JLM  
 CHECKED: JLM

PROJ. NO.: 19050  
 SHEET TITLE:  
**EXT. ELEVATIONS / DUMPSTER ENCLOSURE**  
 SHEET NO.:  
**A3.02**

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1 FRONT PERSPECTIVE  
A3.03



EIFS-1  
COLOR - PPG "FOG"  
Dryvit Outsulation Plus  
or Sim



EIFS-2  
COLOR - PPG "STEPPING  
STONE"  
Dryvit Outsulation Plus  
or Sim



EIFS-2  
COLOR - PPG "KNIGHTS  
ARMOR"  
Dryvit Outsulation Plus  
or Sim



EIFS-4  
COLOR - PANTONE "PMS  
7627 C"  
Dryvit Outsulation Plus  
or Sim



MP-1  
COLOR - "DARK BRONZE"  
Arch-Fab Extruded Metal Plank  
Wall Panels



Arch-Fab Extruded  
Metal Plank Wall Panels  
example photo



SF-1 / MTL-1 / CAN-1 / CAN-2  
COLOR TO MATCH - "CHARCOAL"  
Kawneer Trifab  
Versaglaze 451T or Sim



Canopy / Storefront - example photo



BR-1  
COLOR - "BLACK ONYX"  
Taylor Clay Products Thin and Full Depth  
Modular Brick Veneer



Black Onyx Brick - example photo



Canopy - example photo



Awning - example photo

LAMG Architects, LLC  
505 W. 10th St. Ste. 200  
Bellaire, TX 77401  
846.438.2562  
info@lamg-architects.com

**LAMG**  
ARCHITECTS

New Project  
**NEW COMMERCIAL CENTER**  
St. James Ave. & 24th Street, Corner A3  
Grove Creek, SC

**realop**  
INVESTMENTS

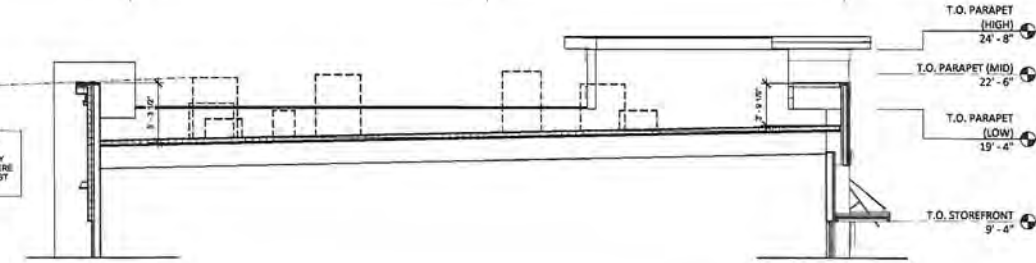
DRAWING HISTORY:  
DATE: 08/20/2024  
BY: JAC  
APPROVED: JAC

PANEL NO.: 10050  
SHEET TITLE:  
**MATERIAL SAMPLES**

PANEL NO.:  
SHEET NO.:  
**A3.03**

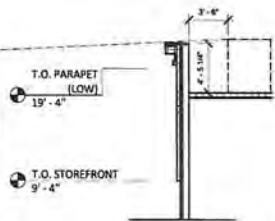
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BASED ON THE DISTANCE FROM THE PARAPET, THE ROOF EQUIPMENT IS ONLY VISIBLE STARTING AT 84' AWAY FROM THE BUILDING (VISIBLE NOWHERE WITHIN THE PROPERTY). THE NEAREST PROPERTY LINE IS ABOUT 82' AWAY.

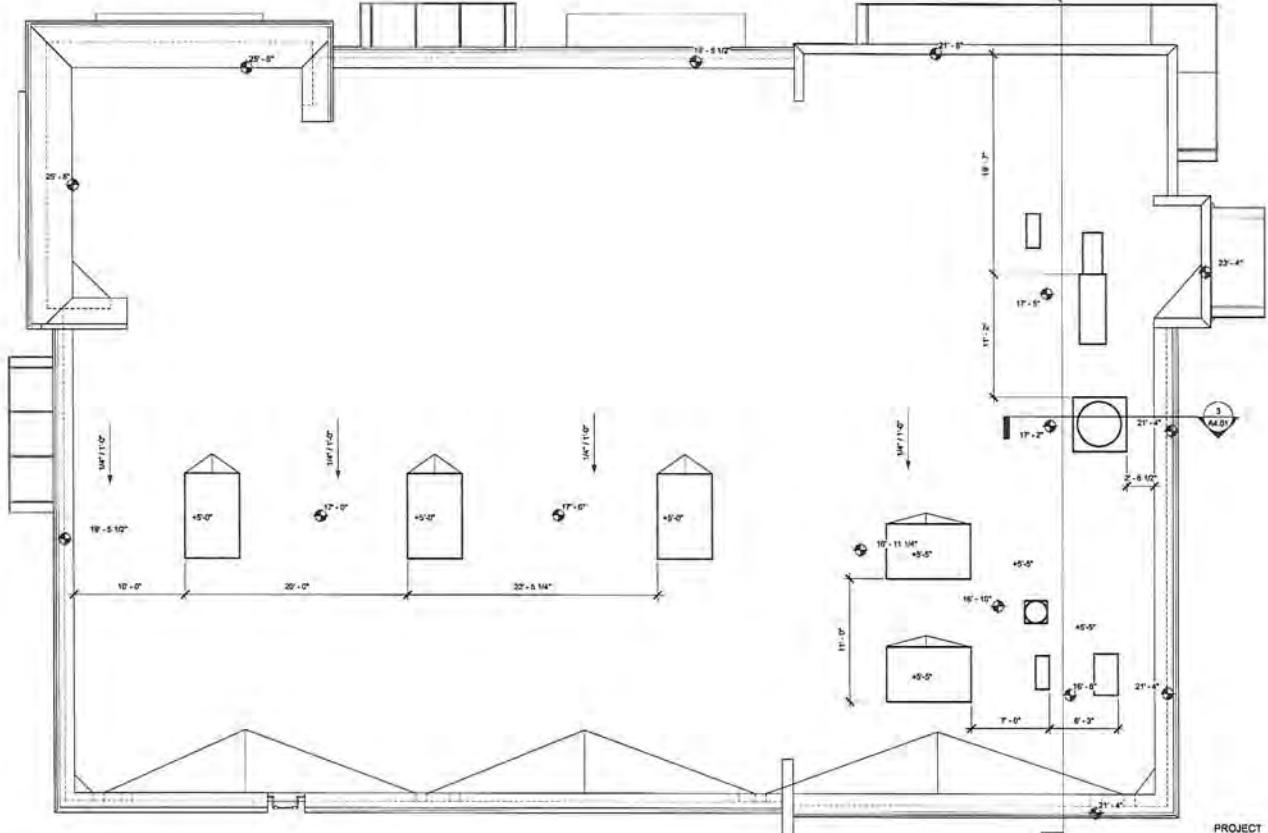


2 PARTIAL BUILDING SECTION  
A4.01 3/16" = 1'-0"

BASED ON THE DISTANCE FROM THE PARAPET, THE ROOF EQUIPMENT IS ONLY VISIBLE STARTING AT 83' AWAY FROM THE BUILDING (VISIBLE NOWHERE WITHIN THE PROPERTY). THE NEAREST PROPERTY LINE IS ABOUT 81' AWAY AND THERE IS A BANK BUILDING IN THE DIRECTION.



3 WALL SECTION 2  
A4.01 3/16" = 1'-0"



1 ROOF PLAN  
A4.01 3/16" = 1'-0"




  
 LMS ARCHITECT, LLC  
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New Project  
**NEW COMMERCIAL CENTER**  
 31 James Ave. Old Miami Center NJ  
 Daniel Crist, L.C.


  
 IN THE REALTY

DRAWING HISTORY:  
 DATE: 11/17/18  
 BY: JLP/JPB  
 CHECKED: JLP/JPB

PROJECT NO: 19050  
 SHEET FILE:  
**ROOF PLAN**  
 SHEET NO:  
**A4.01**

**TREE MITIGATION TABLE**

PROTECTED TREES REMOVED	81'
MITIGATION (50% OF REMOVED)	40.5'
GRAND TREES REMOVED	52'
MITIGATION (50% OF REMOVED)	26'
MITIGATION REQUIRED	112'
(112' OF NEW TREES @ 18 INCH)	



Stantec  
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Consultant

Legend

Revisions	By	App'd	YYYY-MM-DD
Site Plan Revision	SP	JL	2020-10-07
IC Submittal	SP	JL	2020-11-11
Site Plan Review	SP	JL	2020-11-09
ISSUED	SP	JL	2020-11-09
Site Name: 2104 JAMES CREEK	SP	JL	2020-11-09
	DRN	DRN	2020-11-09

Permit/Local



Client/Project Logo

Client/Project  
ROIF SAINT JAMES LLC

CHIPOTLE - GOOSE CREEK, SC

CITY OF GOOSE CREEK, SOUTH CAROLINA

Title  
SITE PLAN RENDERING

Project No. 175621049	Scale 1"=20'-0"
Revision	Drawing No.



