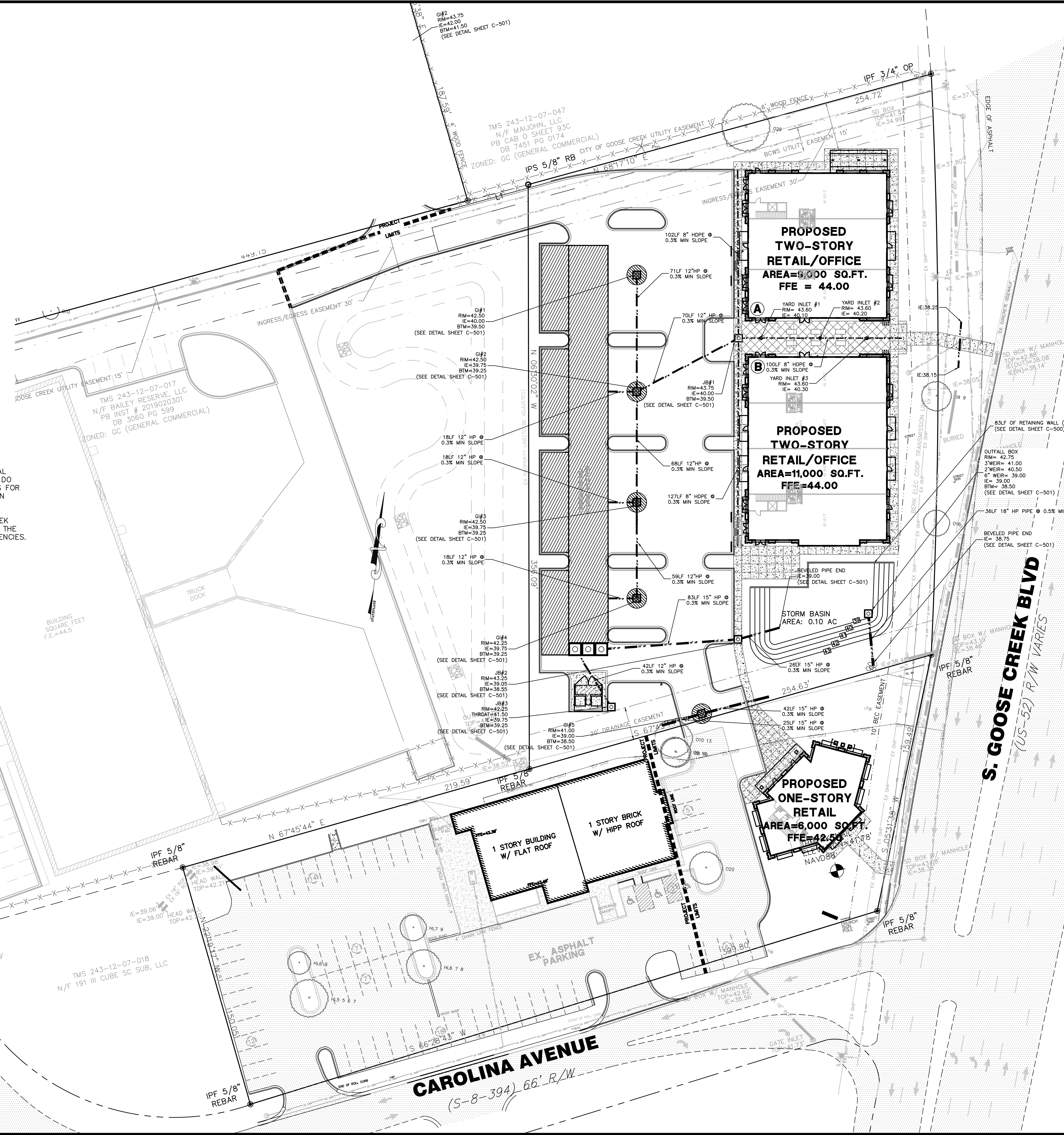


**LEGEND:**

- PROPERTY LINE
- ADJACENT PROPERTY
- EDGE OF PAVEMENT
- BUFFER LINE
- LOD
- LIMITS OF CONSTRUCTION/SILT FENCE
- IRON PIPE FOUND
- IRON PIPE SET
- EX WTR
- EX SWR
- EX 18" RCP
- EXISTING WATER MAIN
- EXISTING SEWER MAIN
- EXISTING 18" RCP DRAINLINE
- EXISTING SEWER MANHOLE
- EXISTING WATER VAULT
- EXISTING WATER METER
- EXISTING COMMUNICATIONS VAULT
- EXISTING ELECTRIC VAULT
- EXISTING TRAFFIC SIGNAL VAULT
- EXISTING ELECTRIC PANEL
- EXISTING GAS VALVE
- EXISTING TEL. CABINET
- EXISTING STORM VAULT
- EXISTING STORM INLET
- EXISTING LIGHT POLE
- EXISTING CONTOUR
- 5.34
- EXISTING SPOT ELEVATION
- 5
- PROPOSED CONTOUR
- PROPOSED DRAINAGE FLOW
- PROPOSED STORM STRUCTURE
- PROPOSED GRATE INLET
- 15" RCP
- 6" PVC
- 15" HP12
- PROPOSED X" RCP DRAINLINE
- PROPOSED X" PVC DRAINLINE
- PROPOSED X" HP DRAINLINE
- Ps
- PERMANENT SEEDING/STABILIZATION

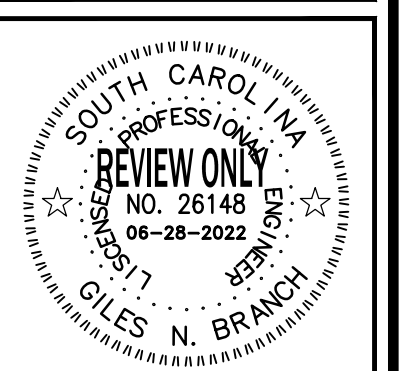
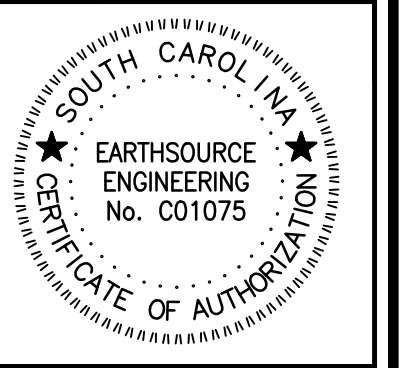
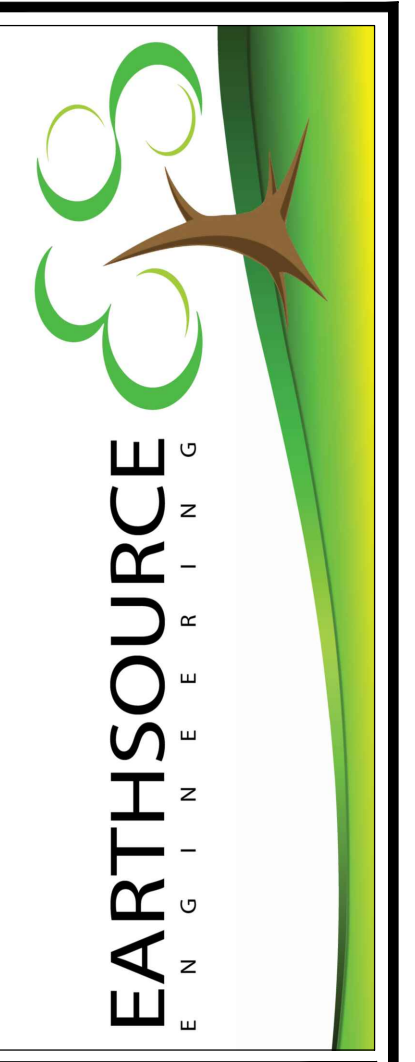
I, GILES N. BRANCH, P.E., AM A LICENSED PROFESSIONAL ENGINEER, #26148, IN THE STATE OF SOUTH CAROLINA DO CERTIFY THAT THE DESIGN OF THE DRAINAGE FACILITIES FOR 100 S. GOOSE CREEK BLVD., DATED 08.02.22 HAVE BEEN UNDERTAKEN UNDER MY DIRECTION. I HEREBY AVER THAT THE CONSTRUCTION PROJECT, ACCORDING TO THE PLANS PRESENTED 100 GOOSE CREEK BLVD., WILL NOT INCREASE STORMWATER RUNOFF FROM THE SITE FOR THE 2, 10, 50, AND 100 YEAR STORM FREQUENCIES.

NAME:  
DATE:  
PROFESSIONAL



**PERMANENT MAINTENANCE PLAN AND SCHEDULE:**

- POND MAINTENANCE**
1. REGULAR INSPECTIONS: INSPECTIONS SHALL BE PERFORMED AT LEAST TWICE A YEAR AND MORE REGULARLY AS LISTED BELOW OR AS SPECIFIED BY A MANUFACTURER. INSPECTION REPORTS SHALL BE GENERATED AND KEPT ON FILE FOR AT LEAST 5 YEARS. REPORTS ARE TO BE MADE AVAILABLE TO THE CITY OF CHARLESTON UPON REQUEST. IF GENERATED BY A THIRD PARTY, IT SHALL REMAIN THE OWNER'S (OR OWNERS' RESPONSIBILITY TO MAINTAIN THE REPORTS.
  2. ROUTINE MAINTENANCE: SOME MAINTENANCE ACTIVITIES ARE NEEDED ON A ROUTINE BASIS, AS LISTED BELOW. THE ACTIVITIES LISTED SHOULD BE PERFORMED ON A MONTHLY BASIS OR MORE FREQUENTLY IF NEEDED OR UNLESS SPECIFIED BELOW OR BY A MANUFACTURER.
    - a. DEBRIS AND LITTER: TRASH AND OTHER DEBRIS THAT COLLECTS IN THE BMP SHOULD BE REMOVED.
    - b. SEDIMENT REMOVAL: BMPs WILL TRAP SEDIMENTS AND OTHER SETTLEABLE MATERIAL OVER TIME AND THIS MATERIAL SHOULD BE REMOVED ONCE THE STORAGE CAPACITY HAS BEEN REDUCED BY 33%. REMOVAL OF THE SEDIMENT SHALL OCCUR NO LESS FREQUENTLY THAN ONCE EVERY YEAR OR AS SPECIFIED BY THE MANUFACTURER. IF A FOREBAY EXISTS, ANY TRASH, SEDIMENT, OR OTHER DEBRIS SHOULD BE COMPLETELY REMOVED AS DISCOVERED THROUGH ROUTINE MAINTENANCE ACTIVITIES OR INSPECTIONS.
    - c. SLOPE STABILIZATION/STRUCTURAL INTEGRITY: SLOPE EROSION, SINK HOLES, OR OTHER STRUCTURAL ISSUES SHOULD BE REPAIRED AS SOON AS DISCOVERED THROUGH ROUTINE MAINTENANCE ACTIVITIES OR INSPECTIONS.
    - d. A PERMANENT STAND OF GRASS MUST BE MAINTAINED ON ALL PONDS. (TOPS, SLOPES, AND BOTTOMS)
  3. INLET AND OUTLET STRUCTURES: ANY BLOCKAGE OF INLETS AND OUTLETS STRUCTURES SHOULD BE REPAIRED OR REPLACED AS NEEDED.
  4. DEBRIS AND LITTER: TRASH AND OTHER DEBRIS THAT COLLECTS IN THE BMP SHOULD BE REMOVED.
  5. SEDIMENT REMOVAL: BMPs WILL TRAP SEDIMENTS AND OTHER SETTLEABLE MATERIAL OVER TIME AND THIS MATERIAL SHOULD BE REMOVED ONCE THE STORAGE CAPACITY HAS BEEN REDUCED BY 33%. REMOVAL OF THE SEDIMENT SHALL OCCUR NO LESS FREQUENTLY THAN ONCE EVERY YEAR OR AS SPECIFIED BY THE MANUFACTURER. IF A FOREBAY EXISTS, ANY TRASH, SEDIMENT, OR OTHER DEBRIS SHOULD BE COMPLETELY REMOVED AS DISCOVERED THROUGH ROUTINE MAINTENANCE ACTIVITIES OR INSPECTIONS.
  6. SLOPE STABILIZATION/STRUCTURAL INTEGRITY: SLOPE EROSION, SINK HOLES, OR OTHER STRUCTURAL ISSUES SHOULD BE REPAIRED AS SOON AS DISCOVERED THROUGH ROUTINE MAINTENANCE ACTIVITIES OR INSPECTIONS.
  7. A PERMANENT STAND OF GRASS MUST BE MAINTAINED ON ALL PONDS. (TOPS, SLOPES, AND BOTTOMS)
- (SEE RECORDED COVENANTS FOR PERMANENT MAINTENANCE OF STORM WATER FACILITIES)

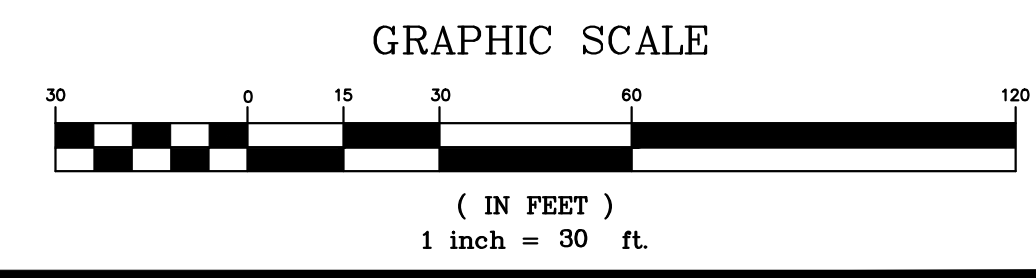


**GOOSE CREEK BLVD. RETAIL**  
100 S. GOOSE CREEK BLVD  
GOOSE CREEK, SC 29445

**DRAINAGE & FINAL STABILIZATION PLAN**

NO.	DATE	BY	REVISIONS

DRAWN: JRU  
CHECKED: ERL  
DATE: 08.02.22  
JOB NO. 22-161  
PRELIMINARY PERMIT DOCUMENTS  
SHEET NUMBER C-301



BENCH MARK DATA:  
TBM#: PK NAIL FOUND IN ASPHALT  
ELEV.=41.78 DATUM: NAVD 88'

# PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	CALIPER	SPACING
<b>CANOPY TREES</b>					
QUERCUS LAURIFOLIA	LAUREL OAK	10	8'-10"	4"	AS SHOWN
ACEQ RUBRUM	RED MAPLE	12	8'-10"	4"	AS SHOWN
LIRIODENDRON TULIPIFERA	TULIP POPLAR	11	8'-10"	4"	AS SHOWN
<b>UNDERSTORY TREES</b>					
MAGNOLIA GRANDIFLORA	LITTLE GEM MAGNOLIA	17	10'-12"	25 GAL	AS SHOWN
LAGERSTROEMIA	CRAPE MYRTLE	19	6'-8"	25 GAL	AS SHOWN
LICHONANTHUS VIRGINICUS	FRINGE TREE	17	6'-8"	25 GAL	AS SHOWN
CERCIS CANADENSIS	EASTERN REDBUD	17	6'-8"	25 GAL	AS SHOWN
<b>SHRUBS</b>					
ILIX GLABRA	INKBERRY	65	3 GAL		AS SHOWN
PODACARPUS MACROPHYLLUS	PODACARPUS	118	3 GAL		AS SHOWN
RHODODENDRON	AZALEA	72	3 GAL		AS SHOWN
SPARTINA	CORDEGRASS	30	3 GAL		AS SHOWN
PITTIOSPORUM TODORA	PITTIOSPORUM	12	3 GAL		AS SHOWN
MANDINA DOMESTICA	MANDINA	87	3 GAL		AS SHOWN
<b>ORNAMENTAL GRASS</b>					
PENNISETUM ALOPECUROIDES HAMELI	LROPE	143			AS SHOWN
DIANELLA	FLAX LILY	28			AS SHOWN
<b>GROUND COVER</b>					
PERITOCLOA OFIUROIDES	CENTPEDE	11910 SQ.FT.			AS SHOWN

## TREE TABULATION

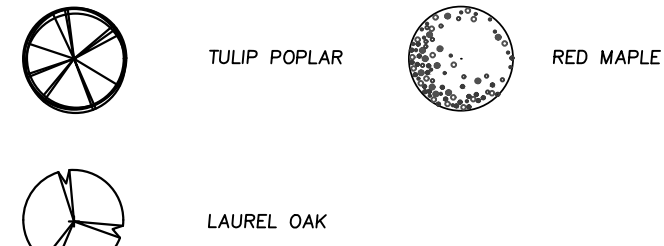
EXISTING	QUANTITY	DBH
PROTECTED TREES (8"-23")	18	(285" DBH)
GRAND TREES (>24")	7	(217" DBH)
TOTAL TREES	25	(502" DBH)

TOTAL	QUANTITY	DBH
PROTECTED TREES DBH REMAINING	7	(128" DBH)
GRAND TREES DBH REMAINING	1	(29" DBH)
TOTAL TREES	8	(157" DBH)
TREES DBH REQUIRED	(INCH/INCH)=345" DBH	
MITIGATION REQUIRED	345" DBH	

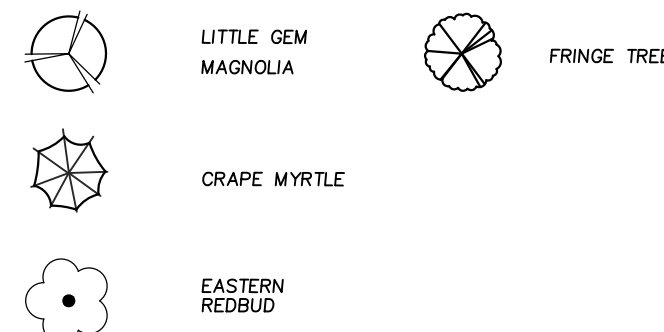
165 LF 10' BUFFER (PER 100 LF: 4 CANOPY, 8 UNDERSTORY, 30 ORNAMENTAL SHRUBS)			
	REQUIRED:	EXISTING:	PROVIDED:
CANOPY	7	1	6
UNDERSTORY	13	0	13
SHRUBS	50	0	50

165 LF 10' BUFFER (PER 100 LF: 4 CANOPY, 8 UNDERSTORY, 30 ORNAMENTAL SHRUBS)			
	REQUIRED:	EXISTING:	PROVIDED:
CANOPY	7	1	6
UNDERSTORY	13	0	13
SHRUBS	50	0	50

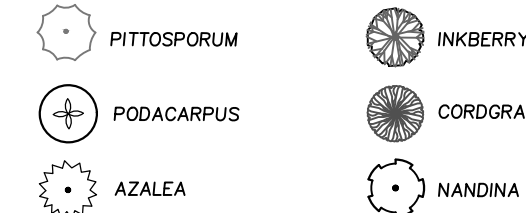
### CANOPY TREES:



### UNDERSTORY TREES:



### SHRUBS:



### ORNAMENTAL GRASS:



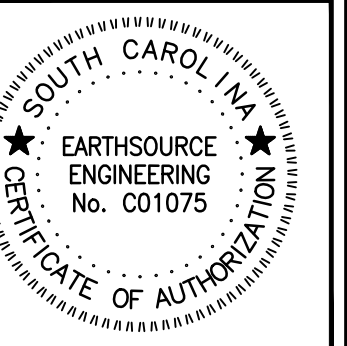
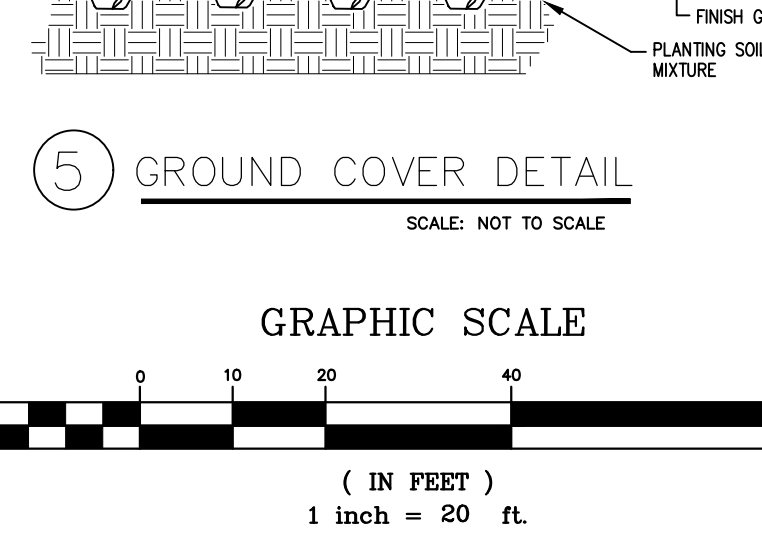
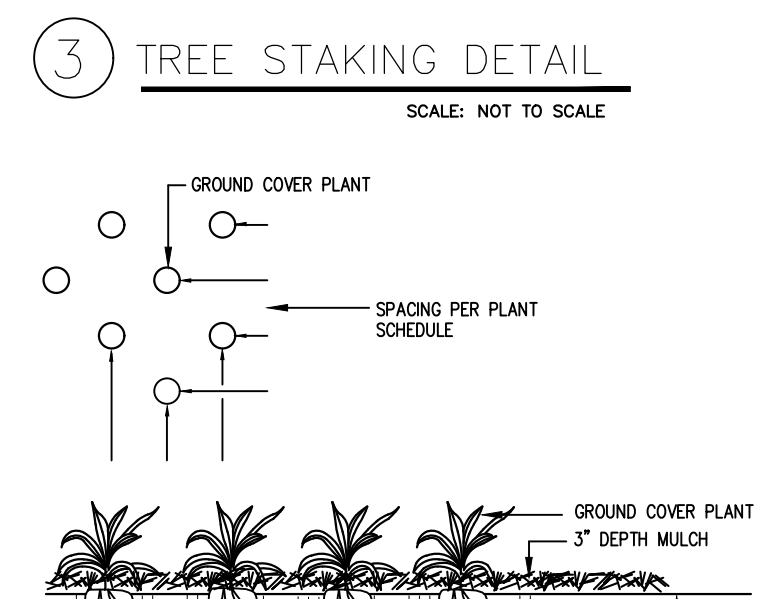
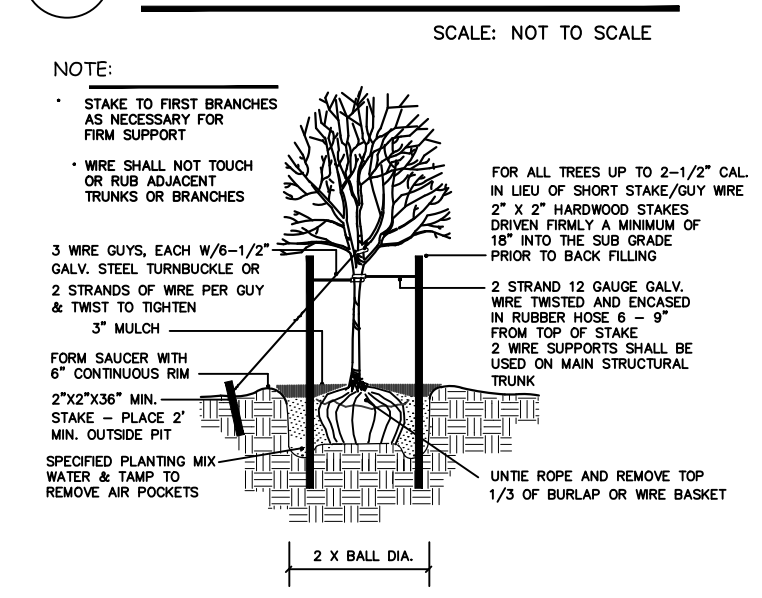
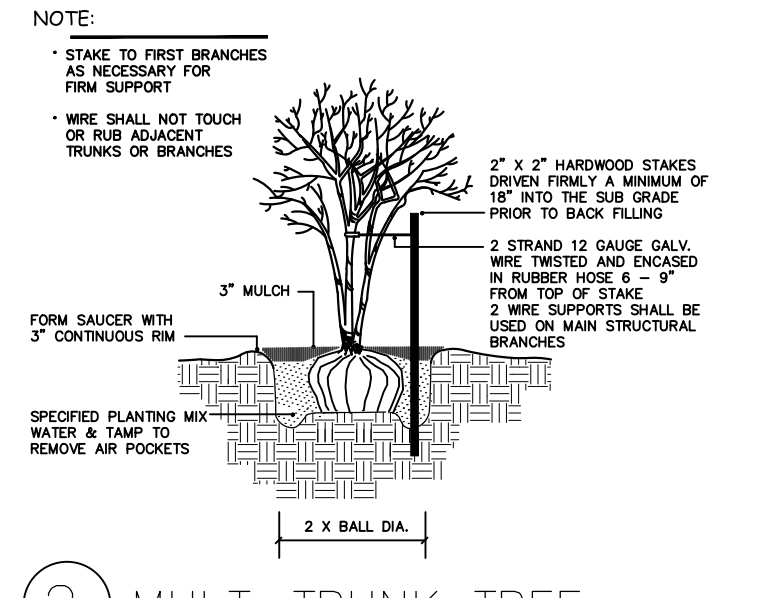
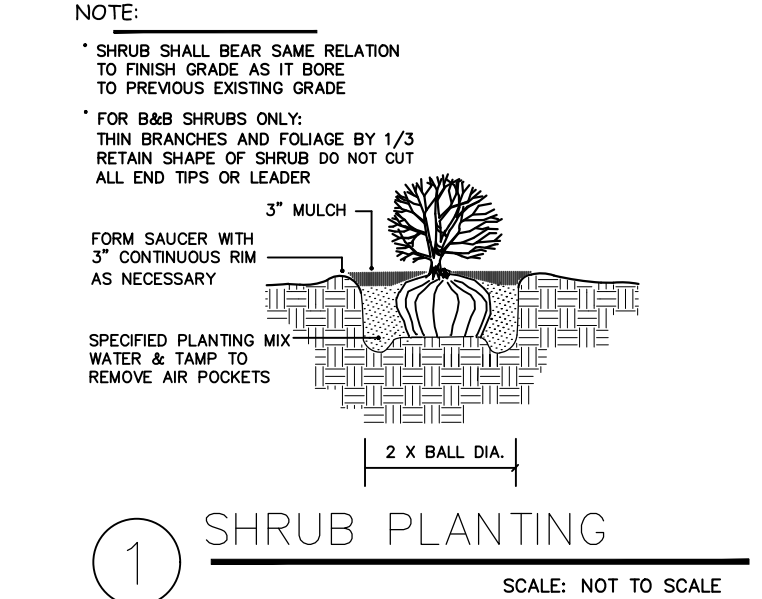
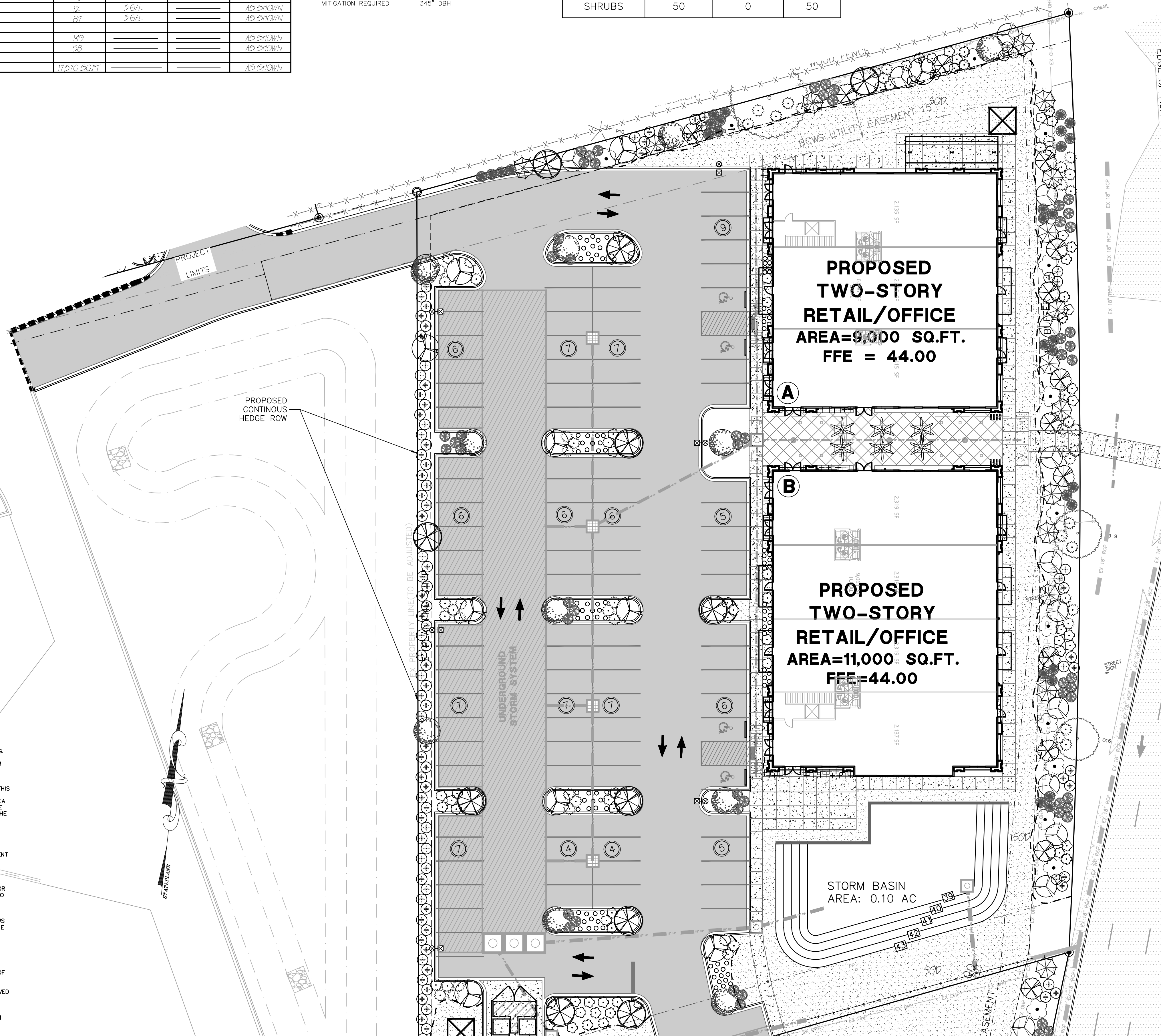
### GROUND COVER:



- PLANT SCHEDULE NOTES:**
- CONTRACTOR TO CONTACT EARTHSOURCE ENGINEERING FOR QUESTIONS REGARDING TO THE LANDSCAPE PLAN.
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED ON THESE PLANS.
  - THE SIZE OF THE PLANT MATERIALS SHALL CONFORM WITH THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" FOR NUMBER ONE GRADE NURSERY STOCK AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSEYMEN AND AMERICAN NATIONAL STANDARDS INSTITUTE.
  - THERE WILL BE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS WITHOUT WRITTEN APPROVAL OF BOTH EARTHSOURCE ENGINEERING, THE OWNER, AND THE MUNICIPALITY.
  - NO GROUND COVER, JUNIPER, OR DAY LILY SHALL BE USED AS SUBSTITUTION PLANTS OR FILLER.
  - ALL DISTURBED AREAS ARE TO BE MULCHED OR SOODED UNLESS OTHERWISE NOTED.
  - ALL TREES TO HAVE SAUCERS (BERMS) AS DETAILED. STAKE AND OUT WIRE THE TREES AS PER THE DETAILS. COVER THE RING WITH A 4" CIRCLE OR FINE STRAW MULCH.
  - A MINIMUM 3" LAYER OF FINE STRAW MULCH SHALL BE PLACED AROUND ALL PLANTED MATERIAL.
  - THE PROPERTY OWNER AGREES TO MAINTAIN ALL NEW PLANTINGS IN A HEALTHY CONDITION.

- SITE LIGHTING NOTES:**
- SUBMITTAL OF A LIGHTING PLAN IS REQUIRED FOR NEW LIGHTING.
  - LIGHTING MUST BE ARRANGED SO THAT LIGHT DOES NOT INTERFERE WITH TRAFFIC, IS SHIELDED OR DIRECTED AWAY FROM ADJOINING RESIDENCES, AND PRODUCES NO GLARE ACROSS RESIDENTIAL PROPERTY BOUNDARIES.
  - THE MAXIMUM POLE HEIGHT FOR COMMERCIAL ZONED PROPERTIES IS 24 FT USING FULL CUT OFF LIGHTING SOURCE. THIS PROVISION ALSO APPLIES TO WALL-MOUNTED LIGHTING. ANY SPILL-OVER FROM A COMMERCIAL SITE INTO A RESIDENTIAL AREA SHALL NOT EXCEED ONE-HALF FOOT CANDLE MEASURED AT THE PROPERTY LINE OF THE SITE OF THE LIGHT SOURCE NEAREST THE RESIDENTIAL AREA.

- SPECIAL SITE NOTES:**
- NO INFRASTRUCTURE WILL IMPACT THE ROOT SYSTEM OF ANY SIGNIFICANT TREE OR GRAND TREE ON THE SUBJECT OR ADJACENT PARCEL ESPECIALLY THE GRAND TREES ON THE PROPERTY LINE.
  - SITE MEETS 10% INTERIOR LANDSCAPE SPACE (560.12 SQ FT REQUIRED) WITH SEVEN (7) TREE ISLANDS TOTALING 1,618.83 SQ FT.
  - AT INSTALLATION OR PLANTING ALL EVERGREEN TREES AND/OR SHRUBS USED TO FULFILL BUFFER AREA REQUIREMENTS BE NO LESS THAN SIX FEET IN HEIGHT, AND ALL DECIDUOUS TREES WILL NEED TO BE NO LESS THAN EIGHT FEET IN HEIGHT. ADDITIONALLY, WHERE REQUIRED, EVERGREEN AND CANOPY PLANT MATERIAL SHOULD BE PLANTED IN AT LEAST TWO ROWS AND IN ALTERNATING FASHION TO FOR A CONTINUOUS OPAQUE SCREEN OF PLANT MATERIAL.
  - MAINTENANCE OF REQUIRED LANDSCAPED AREAS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL SUCH AREAS SHALL BE PROPERLY MAINTAINED SO AS TO ASSURE THEIR SURVIVAL AND AESTHETIC VALUE, AND SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM OR A READILY VALUABLE WATER SUPPLY. FAILURE TO MONITOR SUCH AREAS IS A VIOLATION OF THIS ORDINANCE AND MAY BE REMEDIED IN THE MANNER PRESCRIBED FOR OTHER VIOLATIONS.
  - VEGETATION DESIGNATED AS REMAINING SHALL NOT BE REMOVED OR DAMAGED.
  - CANOPY TREES REQUIRED IN BUFFER PLANTING ALONG S. GOOSE CREEK BLVD. TO BE SUBSTITUTED FOR UNDERSTORY TREES TO KEEP EXISTING OVERHEAD POWER LINES FREE FROM TREE BRANCHES.



**GOOSE CREEK BLVD. RETAIL**  
100 S. GOOSE CREEK BLVD  
GOOSE CREEK, SC 29445

**PLANT SCHEDULE & LANDSCAPE PLAN**

NO.	DATE	REVISIONS

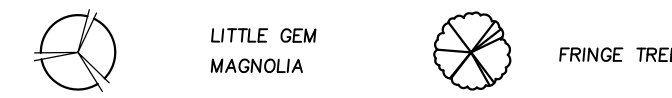
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CHECKED: ERL  
DATE: 08.02.22  
JOB NO. 22-161  
**PRELIMINARY PERMIT DOCUMENTS**  
SHEET NUMBER **L-100**

SEE TABLE ON SHEET L-100 FOR  
PLANT SCHEDULE AND SIZING.

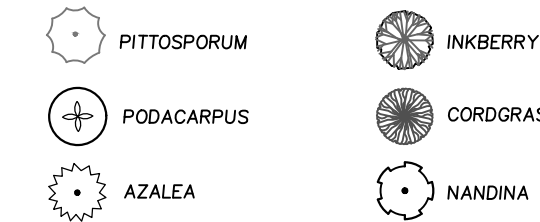
**CANOPY TREES:**



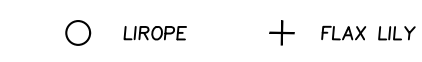
**UNDERSTORY TREES:**



**SHRUBS:**



**ORNAMENTAL GRASS:**



**GROUND COVER:**



**PLANT SCHEDULE NOTES:**

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- ALL TREES TO HAVE SAUCERS (BERMS) AS DETAILED. STAKE AND GUY WIRE THE TREES AS PER THE DETAILS(S). COVER THE RING WITH A 4" CIRCLE OR PINE STRAW MULCH.
- A MINIMUM 3" LAYER OF PINE STRAW MULCH SHALL BE PLACED AROUND ALL PLANTED MATERIAL.
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**SITE LIGHTING NOTES:**

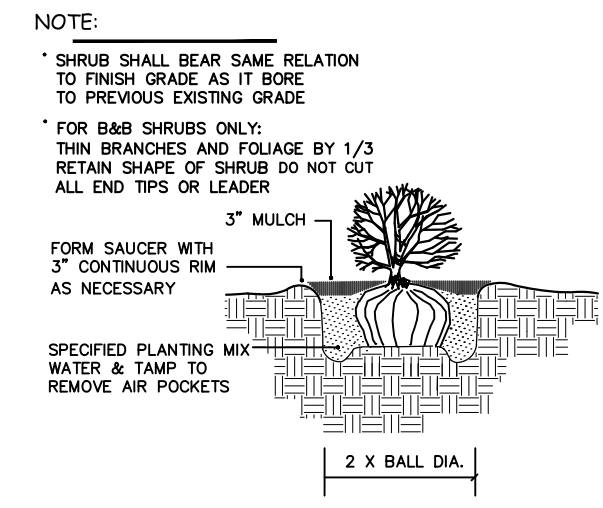
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- THE MAXIMUM POLE HEIGHT FOR COMMERCIAL ZONED PROPERTIES IS 24 FT USING FULL CUT OFF LIGHTING SOURCE. THIS PROVISION ALSO APPLIES TO WALL-MOUNTED LIGHTING. ANY SPILL-OVER FROM A COMMERCIAL SITE INTO A RESIDENTIAL AREA SHALL NOT EXCEED ONE-HALF FOOT CANDLE MEASURED AT THE PROPERTY LINE OF THE SITE OF THE LIGHT SOURCE NEAREST THE RESIDENTIAL AREA.

**SPECIAL SITE NOTES:**

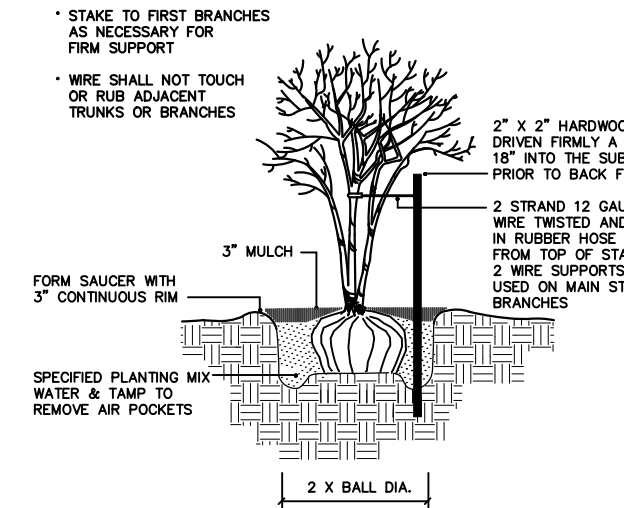
- NO INFRASTRUCTURE WILL IMPACT THE ROOT SYSTEM OF ANY SIGNIFICANT TREE OR GRAND TREE ON THE SUBJECT OR ADJACENT PARCEL ESPECIALLY THE GRAND TREES ON THE PROPERTY LINE.
- SITE MEETS 10% INTERIOR LANDSCAPE SPACE (560.12 SQ FT REQUIRED) WITH SEVEN (7) TREE ISLANDS TOTALING 1,619.63 SQ FT.
- AT INSTALLATION OR PLANTING ALL EVERGREEN TREES AND/OR SHRUBS USED TO FULFILL BUFFER AREA REQUIREMENTS BE NO LESS THAN SIX FEET IN HEIGHT, AND ALL DECIDUOUS TREES WILL NEED TO BE NO LESS THAN EIGHT FEET IN HEIGHT. ADDITIONALLY, WHERE REQUIRED, EVERGREEN AND CANOPY PLANT MATERIAL SHOULD BE PLANTED IN AT LEAST TWO ROWS AND IN ALTERNATING FASHION TO FOR A CONTINUOUS OPAQUE SCREEN OF PLANT MATERIAL.
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- VEGETATION DESIGNATED AS REMAINING SHALL NOT BE REMOVED OR DAMAGED.
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**TREE TABULATION**

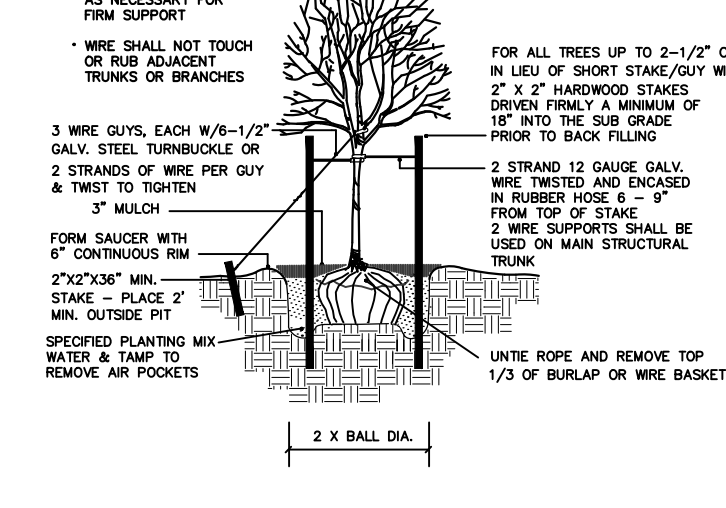
EXISTING		TOTAL	
PROTECTED TREES (8"-23")	18 (285" DBH)	PROTECTED TREES DBH REMAINING	7 (128" DBH)
GRAND TREES (#24")	7 (217" DBH)	GRAND TREES DBH REMAINING	1 (29" DBH)
TOTAL TREES	25 (502" DBH)	TOTAL TREES	8 (157" DBH)
		TREES DBH REQUIRED (INCH/INCH)=345" DBH	
		MITIGATION REQUIRED	345" DBH



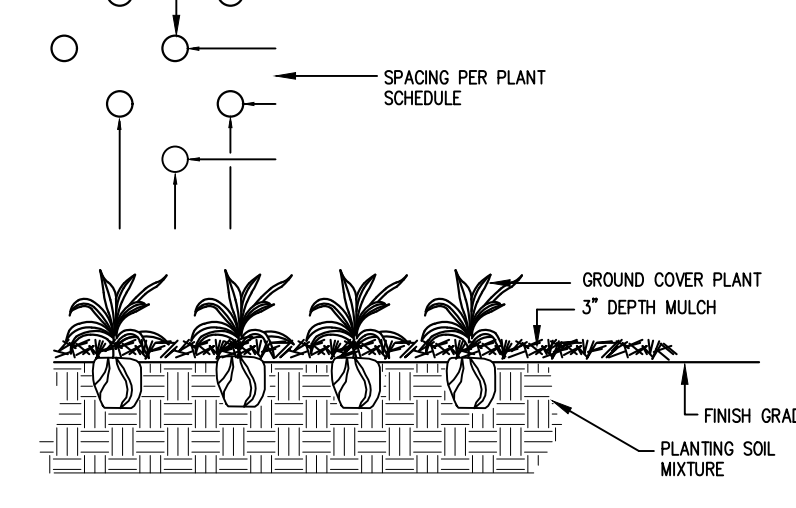
1 SHRUB PLANTING  
SCALE: NOT TO SCALE



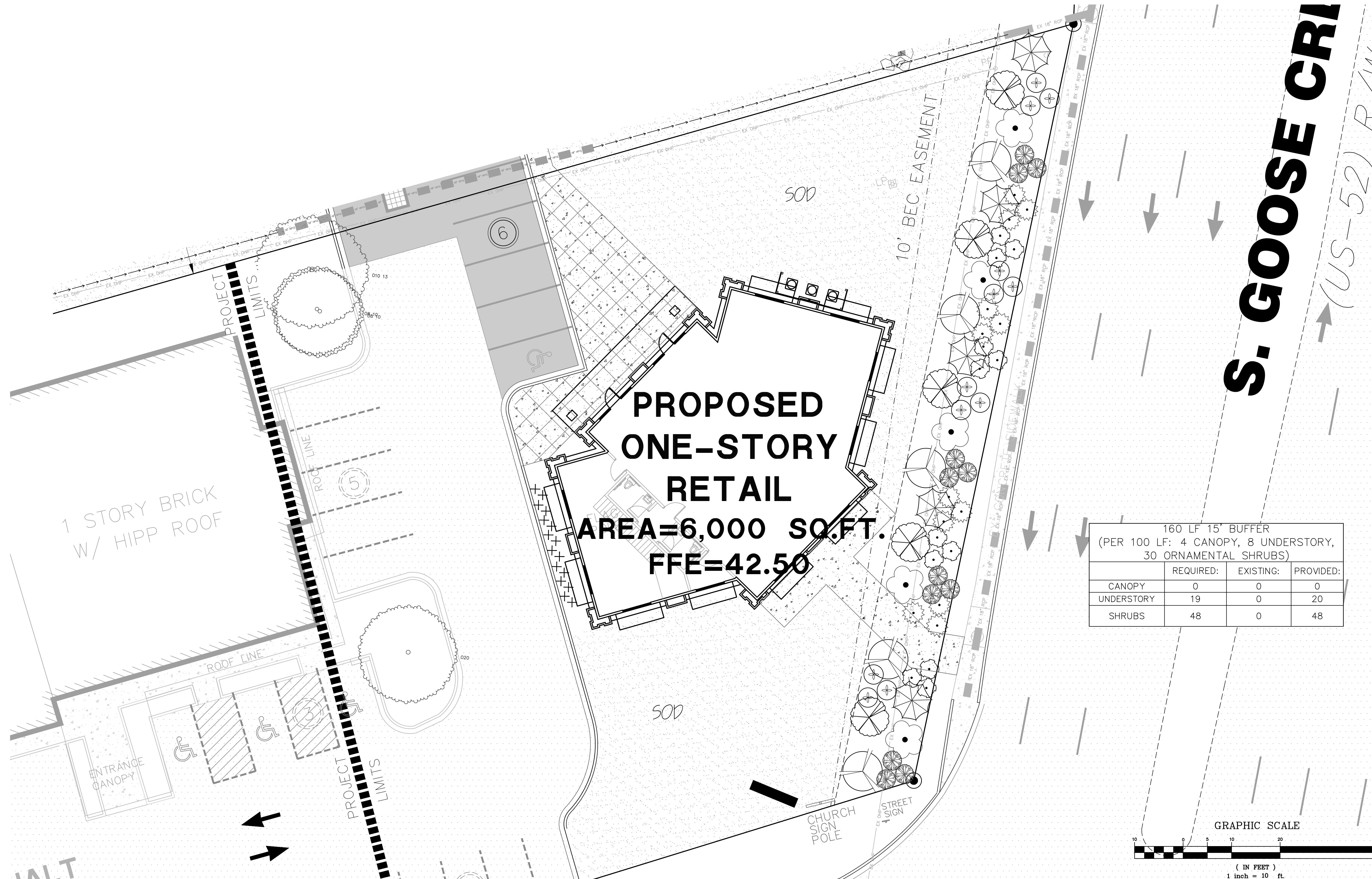
2 MULT-TRUNK TREE  
SCALE: NOT TO SCALE



3 TREE STAKING DETAIL  
SCALE: NOT TO SCALE

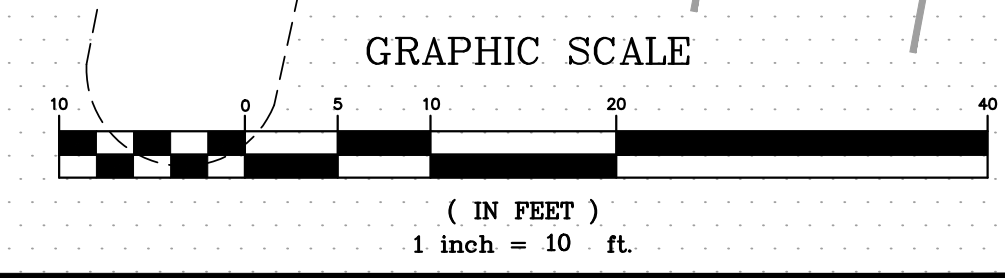


5 GROUND COVER PLANT  
SCALE: NOT TO SCALE

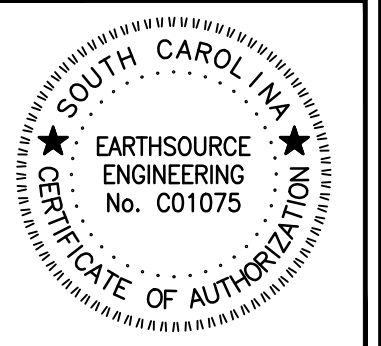
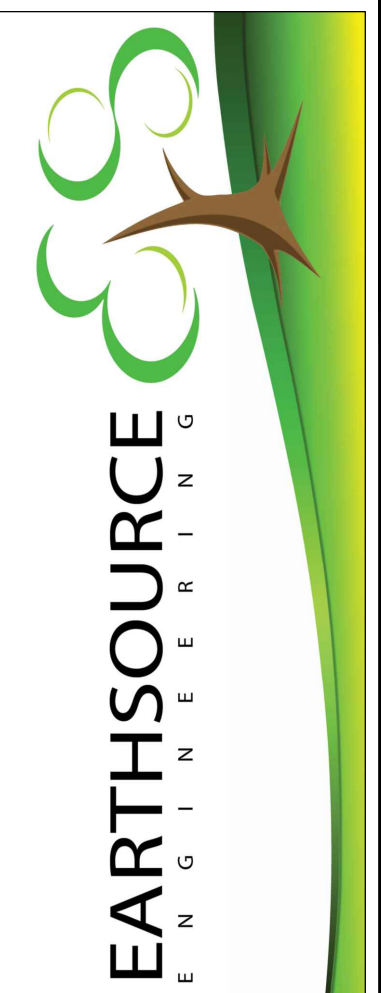


160 LF 15' BUFFER  
(PER 100 LF: 4 CANOPY, 8 UNDERSTORY, 30 ORNAMENTAL SHRUBS)

	REQUIRED:	EXISTING:	PROVIDED:
CANOPY	0	0	0
UNDERSTORY	19	0	20
SHRUBS	48	0	48



**S. GOOSE CRI**  
(US-52) R/W



**GOOSE CREEK BLVD. RETAIL**  
100 S. GOOSE CREEK BLVD  
GOOSE CREEK, SC 29445  
PLANT SCHEDULE & LANDSCAPE PLAN

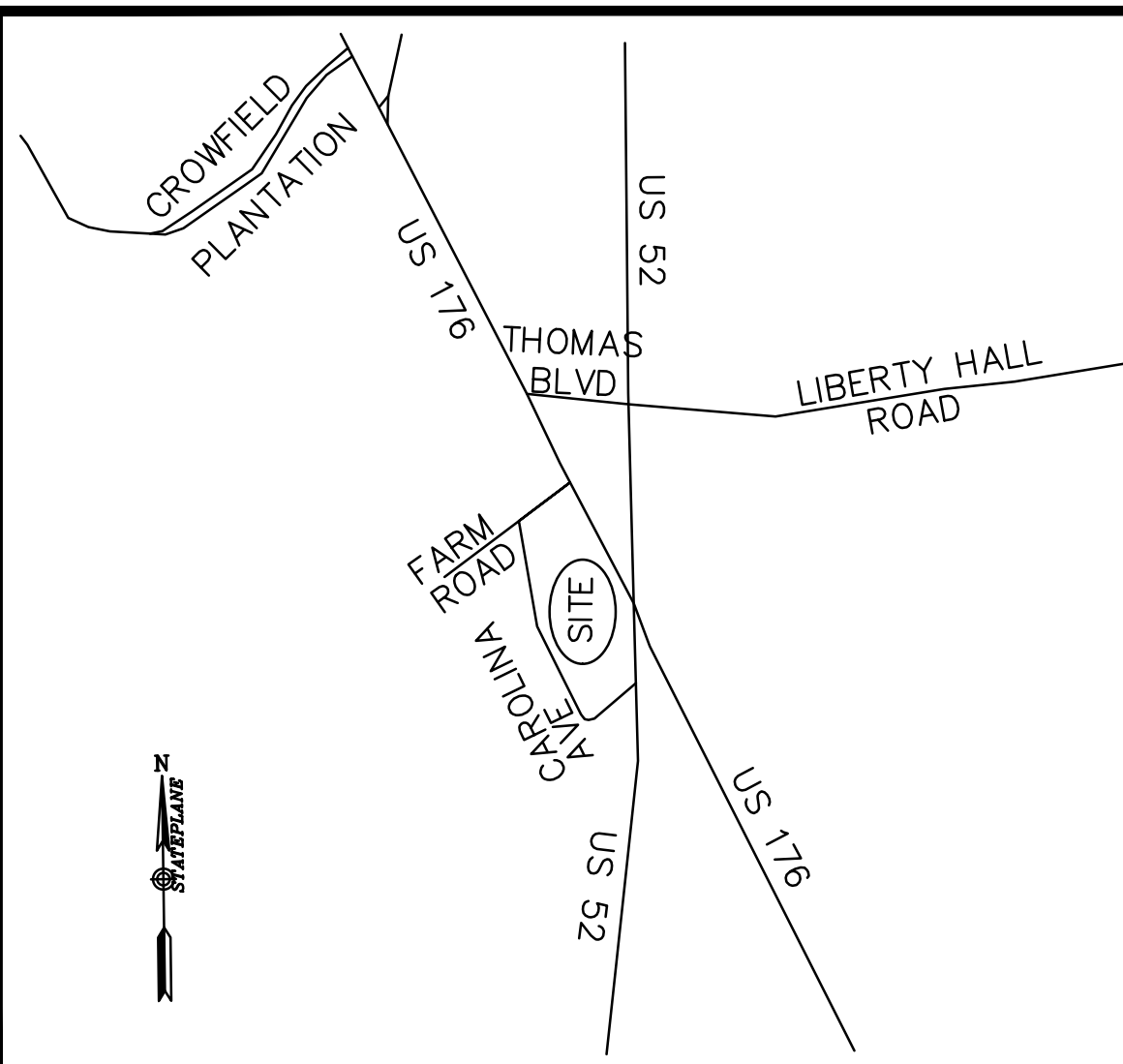
REVISIONS

NO.	DATE	BY

DRAWN: JRU  
CHECKED: ERL  
DATE: 08.02.22  
JOB NO. 22-161  
PRELIMINARY PERMIT DOCUMENTS  
SHEET NUMBER L-101

# CAROLINA AVE RETAIL

121 CAROLINA AVE  
GOOSE CREEK, 29445



LOCATION MAP (NTS)

**PROJECT NARRATIVE:**

THE OWNER OF THE SUBJECT LOT PROPOSES TO CONSTRUCT A RETAIL BUILDING CONSISTING OF 15,000 SQ. FT.. THE SITE WILL HAVE SUPPORTING PARKING SPACES, SIDEWALKS, DRIVE AISLES, UTILITY, AND DRAINAGE SYSTEMS. THE PARCEL IS LOCATED AT 121 CAROLINA AVE, GOOSE CREEK, 29445.

**ADA NOTES:**

- THE PUBLIC R/W MUST REMAIN ADA COMPLIANT DURING CONSTRUCTION OR AN ALTERNATIVE ROUTE MUST BE PROVIDED.
- IT IS THE OWNER'S RESPONSIBILITY TO REPAIR ALL DAMAGED SIDEWALKS TO REINSTATE AN ADA ACCESSIBLE ROUTE.
- MINIMUM 98-INCH VERTICAL CLEARANCE MUST BE PROVIDED AT ADA VAN PARKING SPACE, ACCESS AISLE, AND ON VEHICULAR ROUTE TO AND FROM VAN SPACE.
- ALL ADA ROUTES MUST MEET MINIMUM REQUIREMENTS OF THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN INCLUDING MAX 2% CROSS-SLOPE AND MAX 5% UP-SLOPE.

**SITE DATA:**

TMS#: 243-12-07-046  
LOT SIZE: 2.06 ACRES  
LIMITS OF DISTURBANCE: 2.00 ACRES  
FLOOD ZONE: 'X'

FIRM PANEL#: 45015C0685E

DATE: 12/07/2018  
ZONED: GC (GENERAL COMMERCIAL)

**BUFFERS:**

FRONT: 15'  
SIDE: 10'  
SIDE: 10'  
REAR: 10'

**SETBACKS:**

FRONT: 20'  
REAR: 20'

**BUILDING AREA:**

RETAIL: 15,070 SQ.FT.  
PROPOSED BUILDING HEIGHT: XX

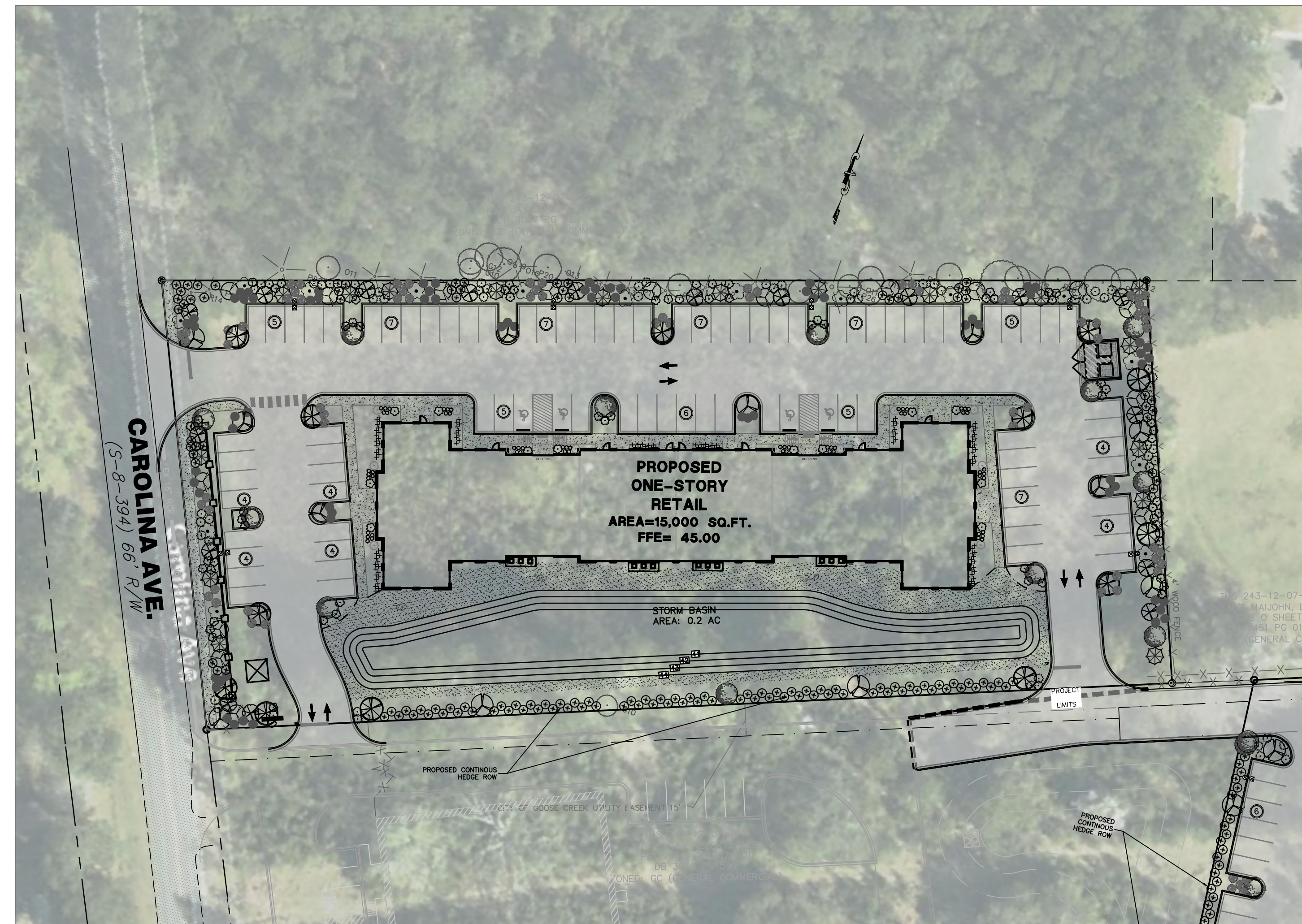
**PARKING REQUIRED:**

RETAIL: 1 SPACE PER 200 SQ.FT.: 75 SPACES  
TOTAL REQUIRED: 75 SPACES

**PARKING PROVIDED:**

REGULAR: 81 SPACES  
HANDICAP: 04 SPACE  
TOTAL: 85 SPACES

**BENCH MARK DATA:**  
TBM PK NAIL FOUND IN ASPHALT  
ELEVATION=41.78' DATUM: NAVD 88



## SHEET INDEX SITE AND CIVIL DRAWINGS

DESCRIPTION	SHEET NUMBER
COVER SHEET	
SURVEY	1 OF 1
GENERAL NOTES	C-001
EXISTING CONDITIONS, DEMOLITION & INITIAL SWPPP	C-100
SITE LAYOUT PLAN	C-200
SCDOT/VISION CLEARANCE	C-201
GRADING, PAVING & INTERMEDIATE SWPPP	C-300
DRAINAGE & FINAL STABILIZATION PLAN	C-301
UTILITY LAYOUT PLAN	C-400
CONSTRUCTION & UTILITY DETAILS (SITE)	C-500
CONSTRUCTION DETAILS (DRAINAGE & SWPPP)	C-501
CONSTRUCTION DETAILS (UTILITY)	C-502
<b>LANDSCAPE DRAWINGS</b>	
LANDSCAPE PLAN & PLANT SCHEDULE	L-100

**OWNER:**

GRESCON DEVELOPMENT LLC  
PO BOX 1967  
SUMMERVILLE, SC 29484  
CONTACT: BILLY GRESSETTE  
BGRESSETTE@GRESSETTE.NET

**SURVEYOR:**

MICHAEL S. SHULSE, S.C., P.L.S.  
1210 RIVERS REACH DR.  
WANDO, SC 29492  
PHONE: 843.296.1607

**ARCHITECT:**

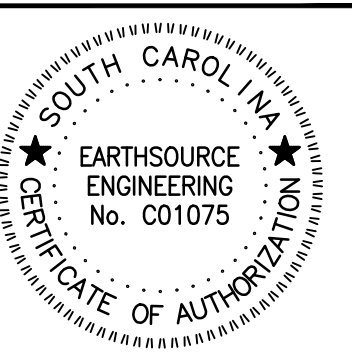
LFK ARCHITECTS, LLC  
802 COLEMAN BLVD, SUITE 100  
MOUNT PLEASANT, SC 29464  
CONTACT: LOSSE F. KNIGHT  
PHONE: 843.330.8940

**CONTACTS:**

CITY OF GOOSE CREEK PLANNING, DIRECTOR  
MS. BRENDA MONEER  
BERKELEY COUNTY ENGINEERING  
MR. JAMES WATKINS  
CITY OF GOOSE CREEK PUBLIC WORKS  
MR. CHUCK DENSON, PE  
BERKELEY COUNTY WATER & SANITATION  
MR. DAVID PARKER

**TELEPHONE:**

(843) 797-6220  
(843) 719-4098  
(843) 824-2200  
(843) 719-2331



CAROLINA AVE.  
RETAIL  
121 CAROLINA AVE.  
GOOSE CREEK, SC 29445  
COVER

NO.	DATE	REVISIONS

DRAWN: JRJ  
CHECKED: ERL  
DATE: 05.23.22  
JOB NO.  
**22-113**

**PRELIMINARY PERMIT DOCUMENTS**

SHEET NUMBER  
**Cover**

**LEGEND:**

---	PROPERTY LINE
---	ADJACENT PROPERTY
---	EDGE OF PAVEMENT
---	BUFFER LINE
---	LIMITS OF CONSTRUCTION/SILT FENCE
○	IRON PIPE FOUND
○	IRON PIPE SET
---	EXISTING WATER MAIN
---	EXISTING SEWER MAIN
---	EXISTING 18" ROD DRAINLINE
○	EXISTING SEWER MANHOLE
○	EXISTING WATER VAULT
○	EXISTING WATER METER
○	EXISTING COMMUNICATIONS VAULT
○	EXISTING ELECTRIC VAULT
○	EXISTING TRAFFIC SIGNAL VAULT
○	EXISTING ELECTRIC PANEL
○	EXISTING GAS VALVE
○	EXISTING TEL CABINET
○	EXISTING STORM VAULT
○	EXISTING STORM INLET
○	EXISTING LIGHT POLE
○	EXISTING CONTOUR
○	EXISTING SPOT ELEVATION
○	EXISTING DRAINAGE FLOW PATTERN
○	EXISTING TREE TO BE REMOVED
○	TREES TO BE PROTECTED
---	EXISTING ASPHALT
---	EXISTING CONCRETE
---	EXISTING BRICK SIDEWALK TO BE REMOVED
---	EXISTING CONCRETE TO BE REMOVED
---	EXISTING GRAVEL TO BE REMOVED

**SWPPP LEGEND:**

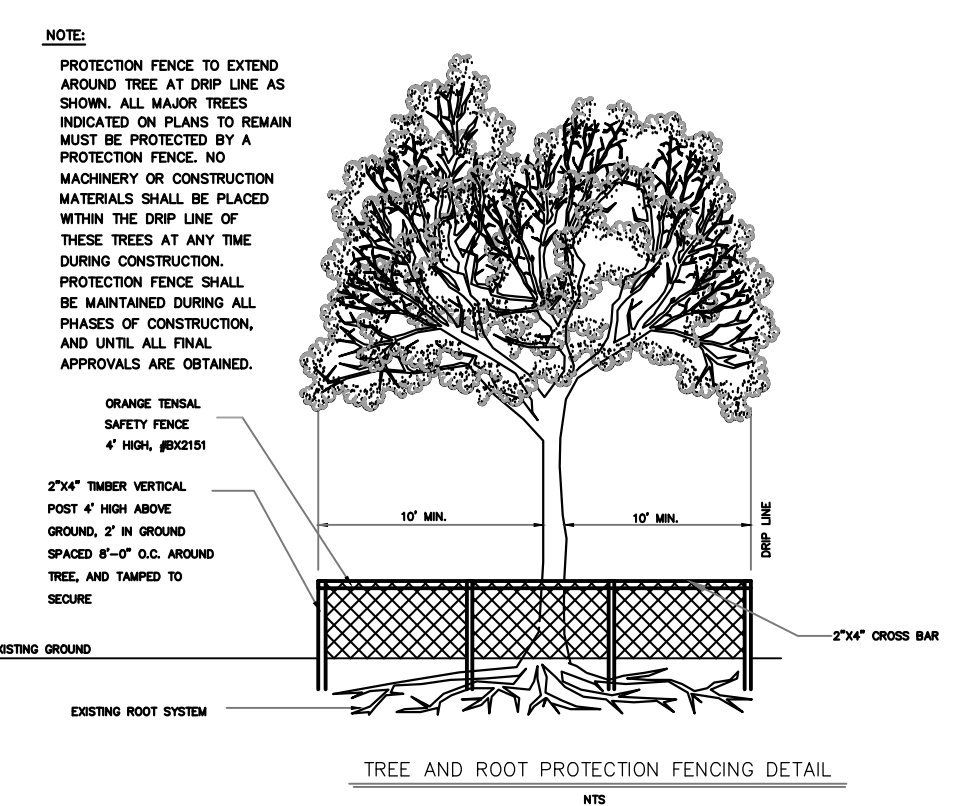
○	CONCRETE WASHOUT
○	TYPE 'A' INLET PROTECTION
○	CONSTRUCTION ENTRANCE/EXIT
○	SILT FENCE/SEDIMENT TUBES
○	TYPE 'F' INLET PROTECTION

**SITE SURFACES: TMS#:243-12-07-046**  
PRE-DEVELOPED (EXISTING CONDITIONS):

PERVIOUS SURFACE AREAS:	
WOODED/GRASS/DRY POND	2.06 ACRES
GRAVEL/PERMEABLE PAVERS	0.00 ACRES
<b>TOTAL PERVIOUS SURFACE AREA:</b>	<b>2.06 ACRES</b>
IMPERVIOUS SURFACE AREAS:	
BUILDING	0.00 ACRES
ASPHALT/CONCRETE	0.00 ACRES
WET POND	0.00 ACRES
<b>TOTAL IMPERVIOUS SURFACE AREA:</b>	<b>0.00 ACRES</b>
<b>TOTAL SITE AREA:</b>	<b>2.06 ACRES</b>

**SITE DATA:**  
TMS#: 243-12-07-046  
LOT SIZE: 2.06 ACRES  
LIMITS OF DISTURBANCE: 2.00 ACRES  
FLOOD ZONE: 'X'  
FIRM PANEL#: 45015C0685E  
DATE: 12/07/2018  
ZONED: GC (GENERAL COMMERCIAL)  
BUFFERS:  
FRONT: 15'  
SIDE: 10'  
SIDE: 10'  
REAR: 10'  
SETBACKS:  
FRONT: 20'  
REAR: 20'  
BENCH MARK DATA:  
TBM PK NAIL FOUND IN ASPHALT  
ELEVATION=41.78' DATUM: NAVD 88

**LIMITS OF DISTURBANCE = 2.00 ACRES**



**TREE TABULATION**

EXISTING	TOTAL
PROTECTED TREES (8"-23")	20 (248" DBH)
PROTECTED TREES DBH REMAINING	17 (203" DBH)
TREES DBH REQUIRED	330" DBH (160"/ACRE * 1.96 Acres)
MITIGATION REQUIRED	111" DBH

- CONSTRUCTION ADJACENT TO GRAND TREES:**
- CONTRACTOR TO CONTACT ISA CERTIFIED ARBORIST PRIOR TO BEGINNING CONSTRUCTION. PRE- AND POST-CONSTRUCTION TREE TREATMENT PLAN, AS OUTLINED BY NATURAL DIRECTIONS, SHALL BE FOLLOWED THROUGHOUT CONSTRUCTION.
  - CONTRACTOR/ARBORIST TO CONTACT LOCAL MUNICIPALITY AUTHORITY IF ROOT PRUNING IS DEEMED NECESSARY WITHIN THE PROTECTED ZONE OF THE GRAND TREE. INSTALL AND MAINTAIN TREE PROTECTION ZONES, AS SHOWN, TO PROTECT TREE ROOT SYSTEMS.
  - AT ALL TIMES DURING CONSTRUCTION, WORK WITHIN THE TREE PROTECTION ZONES SHOULD BE PERFORMED BY HAND ONLY WITH NO VEHICLES OF ANY TYPE ENTERING THE PROTECTION ZONE.
  - TREE PROTECTION ZONES SHALL NOT BE USED FOR STORAGE OF ANY MATERIAL AT ANY TIME DURING CONSTRUCTION.
  - APPLY SPECIFIED VOLUME OF FERTILIZER TO GRAND TREE BEFORE & AFTER CONSTRUCTION TO STIMULATE ROOT GROWTH AND PROVIDE SOIL AMENDMENTS TO HELP THE TREE DEAL WITH STRESS FROM ANY ROOT LOSS DUE TO PRUNING.
  - APPLY A 3" LAYER OF UNTREATED WOOD MULCH TO TREE PROTECTION ZONES. NO SOD SHALL BE INSTALLED IN THIS AREA.
  - CANOPY PRUNING FOR BUILDING CLEARANCE SHALL BE COMPLETED WHERE NECESSARY. NO MORE THAN 5% OF THE CANOPY SHALL BE PRUNED.
  - DEAD WOOD GREATER THAN 2" AND VINES SHALL BE REMOVED FROM GRAND TREES.

**INITIAL LAND DISTURBANCE PHASE NOTES**

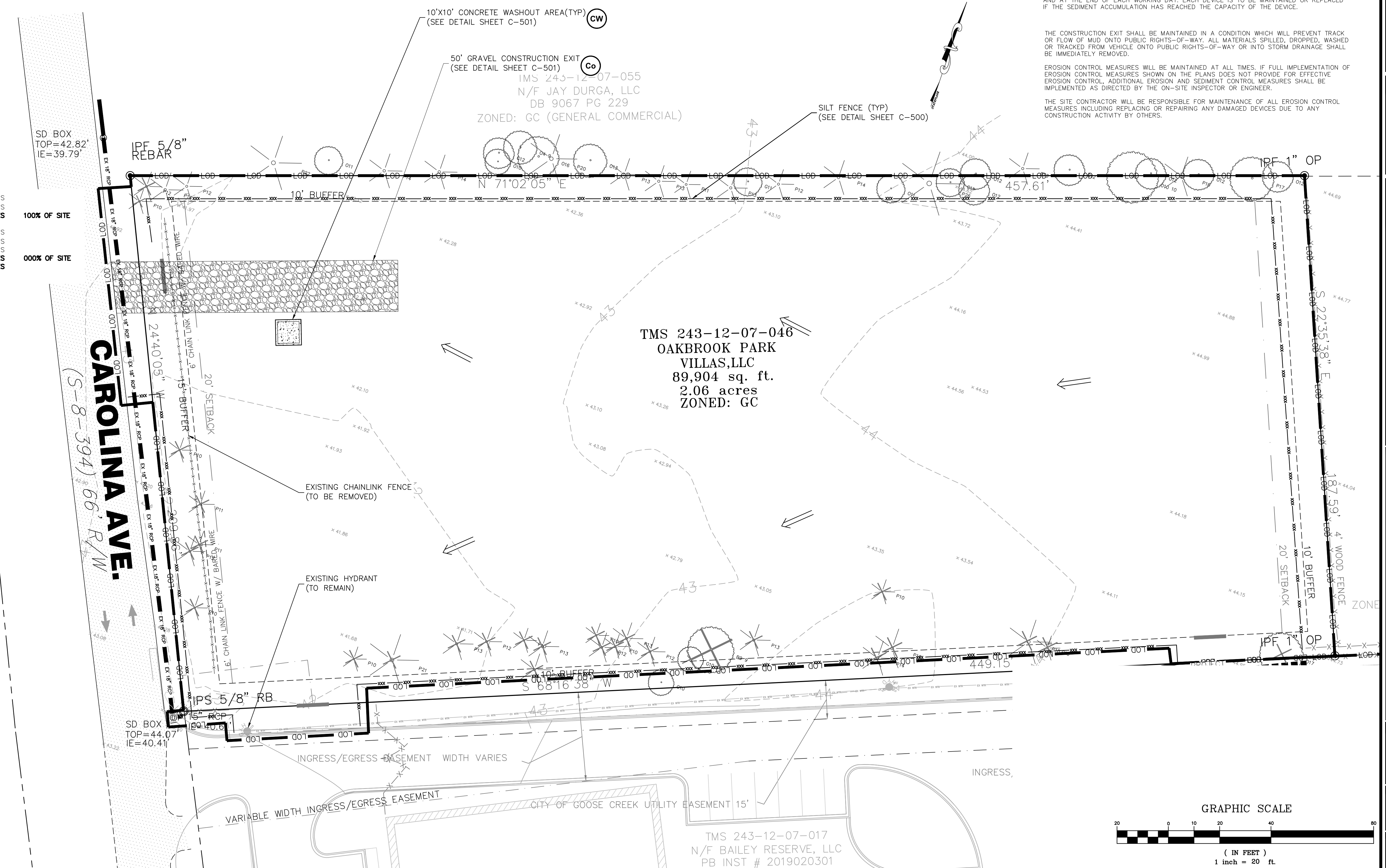
- THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE INITIAL LAND DISTURBANCE PHASE.
- THE CONSTRUCTION ENTRANCE SHALL BE PLACED AS SHOWN ON THE PLANS.
  - IMMEDIATELY AFTER THE ESTABLISHMENT OF THE CONSTRUCTION ENTRANCE, ALL PERIMETER EROSION CONTROL AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE INITIAL PHASE OF CONSTRUCTION PLANS.
  - SILT FENCE, WHETHER REGULAR, REINFORCED, OR DOUBLE ROW OF EITHER SHALL BE INSTALLED AT THE PERIMETER OF THE LAND DISTURBANCE. THE SILT FENCE SHOULD BE KEPT ERECT AT ALL TIMES AND REPAIRED WHEN REQUESTED BY THE SITE INSPECTOR OR THE PROJECT DESIGN PROFESSIONAL OF RECORD. SILT SHOULD BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF THE BARRIER. THE PERIMETER SILT FENCE SHOULD BE INSPECTED DAILY FOR ANY FAILURES. ANY FAILURES OF SAID FENCING SHOULD BE REPAIRED IMMEDIATELY.
  - INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL EXISTING STORM DRAINAGE STRUCTURES AS SHOWN ON THE PLAN.
  - STONE CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS NECESSARY.
  - TEMPORARY DIVERSION DITCHES SHALL BE INSTALLED TO DIRECT FLOW TO THE BASINS/TRAPS/PONDS UNTIL ROUGH GRADING RE-DIRECTS FLOWS AS NECESSARY.
  - TREE PROTECTION FENCING SHOULD BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. ANY FAILURES OF SAID FENCING SHALL BE REPAIRED IMMEDIATELY.
  - NO BURN OR BURY PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE WITHOUT PERMISSION BY THE OWNER AND/OR THE ENGINEER OF RECORD.
  - TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 7 DAYS OF LAND DISTURBANCE CEASING.

SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT AND AT THE END OF EACH WORKING DAY. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF THE SEDIMENT ACCUMULATION HAS REACHED THE CAPACITY OF THE DEVICE.

THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLE ONTO PUBLIC RIGHTS-OF-WAY OR INTO STORM DRAINAGE SHALL BE IMMEDIATELY REMOVED.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF EROSION CONTROL MEASURES SHOWN ON THE PLANS DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS DIRECTED BY THE ON-SITE INSPECTOR OR ENGINEER.

THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES DUE TO ANY CONSTRUCTION ACTIVITY BY OTHERS.



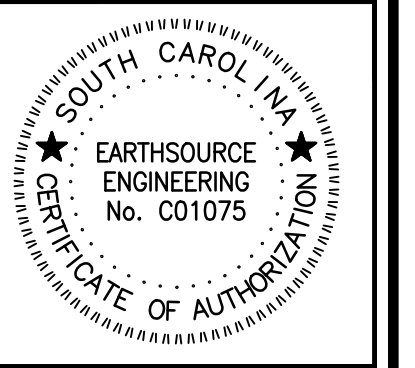
**LEGEND:**

- PROPERTY LINE
- ADJACENT PROPERTY
- EDGE OF PAVEMENT
- BUFFER LINE
- SETBACK
- LOD
- LIMITS OF CONSTRUCTION/SILT FENCE
- IRON PIPE FOUND
- IRON PIPE SET
- EX WTR
- EX SWR
- EX 18" RCP DRAINLINE
- EX 18" RCP
- EXISTING SEWER MANHOLE
- EXISTING WATER VAULT
- EXISTING WATER METER
- EXISTING COMMUNICATIONS VAULT
- EXISTING ELECTRIC VAULT
- EXISTING TRAFFIC SIGNAL VAULT
- EXISTING ELECTRIC PANEL
- EXISTING GAS VALVE
- EXISTING TEL. CABINET
- EXISTING STORM VAULT
- EXISTING STORM INLET
- EXISTING LIGHT POLE
- ▨ EXISTING ASPHALT
- ▨ EXISTING CONCRETE
- ▨ PROPOSED ASPHALT PARKING (LIGHT DUTY)
- ▨ PROPOSED ASPHALT IN ROW
- ▨ PROPOSED CONCRETE SIDEWALK
- ▨ PROPOSED PERMEABLE PAVERS
- ▨ PROPOSED BRICK OR SPECIALTY PAVERS
- ▨ PROPOSED ASPHALT PARKING (HEAVY DUTY)

**SCDOT NOTES:**  
 1. THE CONTRACTOR SHALL REFER TO THE MOST CURRENT EDITION OF THE SCDOT STANDARD DRAWINGS. THE DRAWINGS WERE UPDATED IN JANUARY 2013.  
 2. WHERE ANY PORTION OF THE ADJACENT SCDOT TRAVEL LANE SURFACE IS DAMAGED ALONG US-17A, THE FULL WIDTH OF THE LANE MUST BE MILLED 2" AND RESURFACED FOR THE LENGTH OF THE DAMAGE PLUS 10 FEET AT EACH END. SCDOT SURFACING DETAIL IS ON C-500.

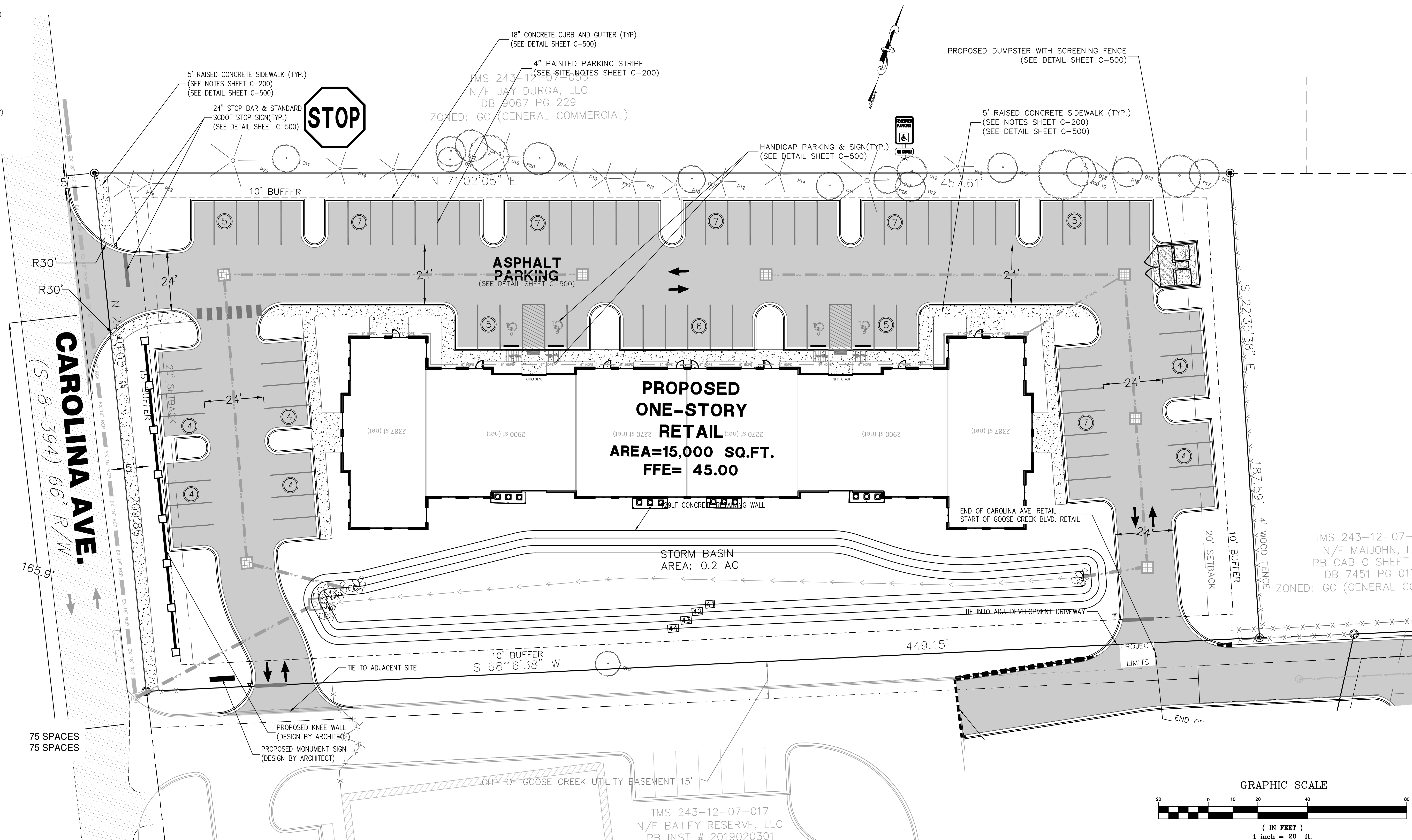
**SITE SURFACES: TMS#: 243-12-07-046**  
**POST-DEVELOPED (PROPOSED CONDITIONS):**

<b>PERVIOUS SURFACE AREAS:</b>		
WOODED/GRASS/DRY POND	0.68 ACRES	
GRAVEL/PERMEABLE PAVERS	0.00 ACRES	
<b>TOTAL PERVIOUS SURFACE AREA:</b>	<b>0.68 ACRES</b>	<b>33% OF SITE</b>
<b>IMPERVIOUS SURFACE AREAS:</b>		
BUILDING	0.36 ACRES	
ASPHALT/CONCRETE	0.82 ACRES	
WET POND	0.20 ACRES	
<b>TOTAL IMPERVIOUS SURFACE AREA:</b>	<b>1.38 ACRES</b>	<b>67% OF SITE</b>
<b>TOTAL SITE AREA:</b>	<b>2.06 ACRES</b>	



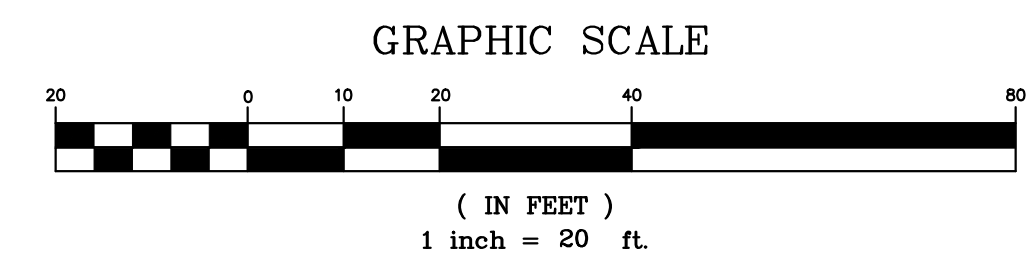
**CAROLINA AVE. RETAIL**  
 121 CAROLINA AVE.  
 GOOSE CREEK, SC 29445  
**SITE LAYOUT PLAN**

**SITE DATA:**  
 TMS#: 243-12-07-046  
 LOT SIZE: 2.06 ACRES  
 LIMITS OF DISTURBANCE: 2.00 ACRES  
 FLOOD ZONE: 'X'  
 FIRM PANEL#: 45015C0685E  
 DATE: 12/07/2018  
 ZONED: GC (GENERAL COMMERCIAL)  
**BUFFERS:**  
 FRONT: 15'  
 SIDE: 10'  
 SIDE: 10'  
 REAR: 10'  
**SETBACKS:**  
 FRONT: 20'  
 REAR: 20'  
**BUILDING AREA:**  
 RETAIL: 15,070 SQ.FT.  
 PROPOSED BUILDING HEIGHT: XX  
**PARKING REQUIRED:**  
 RETAIL: 1 SPACE PER 200 SQ.FT.: 75 SPACES  
 TOTAL REQUIRED: 75 SPACES  
**PARKING PROVIDED:**  
 REGULAR: 81 SPACES  
 HANDICAP: 04 SPACE  
 TOTAL: 85 SPACES  
**BENCH MARK DATA:**  
 TBM PK NAIL FOUND IN ASPHALT  
 ELEVATION=41.78' DATUM: NAVD 88



TMS 243-12-07-017  
 N/F MAIJOHN, L  
 PB CAB O SHEET  
 DB 7451 PG 01  
 ZONED: GC (GENERAL COMMERCIAL)

TMS 243-12-07-017  
 N/F BAILEY RESERVE, LLC  
 PB INST # 2019020301



NO.	DATE	REVISIONS

DRAWN: JRJ  
 CHECKED: ERL  
 DATE: 05.23.22  
 JOB NO. 22-113  
**PRELIMINARY PERMIT DOCUMENTS**  
 SHEET NUMBER C-200

**LEGEND:**

- PROPERTY LINE
- ADJACENT PROPERTY
- EDGE OF PAVEMENT
- BUFFER LINE
- IRON PIPE FOUND
- IRON PIPE SET
- EX WTR EXISTING WATER MAIN
- EX SWR EXISTING SEWER MAIN
- EX 18" RCP EXISTING 18" RCP DRAINLINE
- EXISTING SEWER MANHOLE
- EXISTING WATER VAULT
- EXISTING WATER METER
- EXISTING COMMUNICATIONS VAULT
- EXISTING ELECTRIC VAULT
- EXISTING TRAFFIC SIGNAL VAULT
- EXISTING ELECTRIC PANEL
- EXISTING GAS VALVE
- EXISTING TEL. CABINET
- EXISTING STORM VAULT
- EXISTING STORM INLET
- EXISTING LIGHT POLE
- EXISTING CONTOUR
- ×45.34 EXISTING SPOT ELEVATION
- 44 PROPOSED CONTOUR
- 44.00 PROPOSED SPOT ELEVATION TOP OF PAVEMENT (TYP)
- 44.50 PROPOSED SPOT ELEVATION TO MATCH EXISTING PAVEMENT
- Match
- ×45.45(TS) PROPOSED SPOT ELEVATION TOP OF SIDEWALK (TYP)
- (LP)/(HP) LOW POINT/HIGH POINT IN PAVEMENT SCTN. (TYP)
- ~ PROPOSED DRAINAGE FLOW

**SWPPP LEGEND:**

- LOD LIMITS OF CONSTRUCTION/SILT FENCE
- CONCRETE WASHOUT
- TYPE 'A' INLET PROTECTION
- CONSTRUCTION ENTRANCE/EXIT
- SILT FENCE
- TYPE 'F' INLET PROTECTION

**LIMITS OF DISTURBANCE = 2.00 ACRES**

**GRADING NOTES**

1. CONTRACTOR TO VERIFY ALL ADA ACCESS POINTS TO BUILDING WITH ARCHITECT PRIOR TO FINE GRADING & INSTALLATION OF CONCRETE FORMS TO ENSURE ALL ACCESSIBLE ROUTES MEET CODE REQUIREMENTS FOR BOTH HORIZONTAL & VERTICAL. ALL CROSS SLOPES IN THE ADA ROUTE MAY NOT EXCEED 2% SLOPE. IF ANY ROUTE EXCEEDS 2% SLOPE PLEASE CONTACT CIVIL ENGINEER TO DISCUSS PRIOR TO INSTALLATION OF LANDSCAPE.
2. CONTRACTOR TO VERIFY REQUIRED DROP AROUND BUILDING EXTERIOR FACADE AT FOUNDATION WHICH MAY VARY BETWEEN 4"-8" WHERE PEDESTRIAN WALK DOES NOT ABUT BUILDING ENTRY. IN ADDITION TO REQUIRED DROP AT THE FOUNDATION CONTRACTOR TO SLOPE FINISH GRADE AWAY FROM BUILDING 6" IN THE FIRST 6' (PER BUILDING CODE IBC 2018) CONTRACTOR TO COORDINATE WITH CIVIL ENGINEER IF PLANS DONT CLEARLY DEFINE OR PROVIDE THIS SLOPE

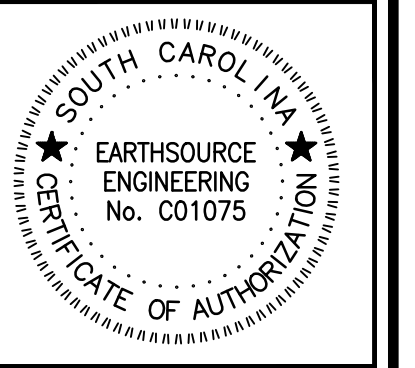
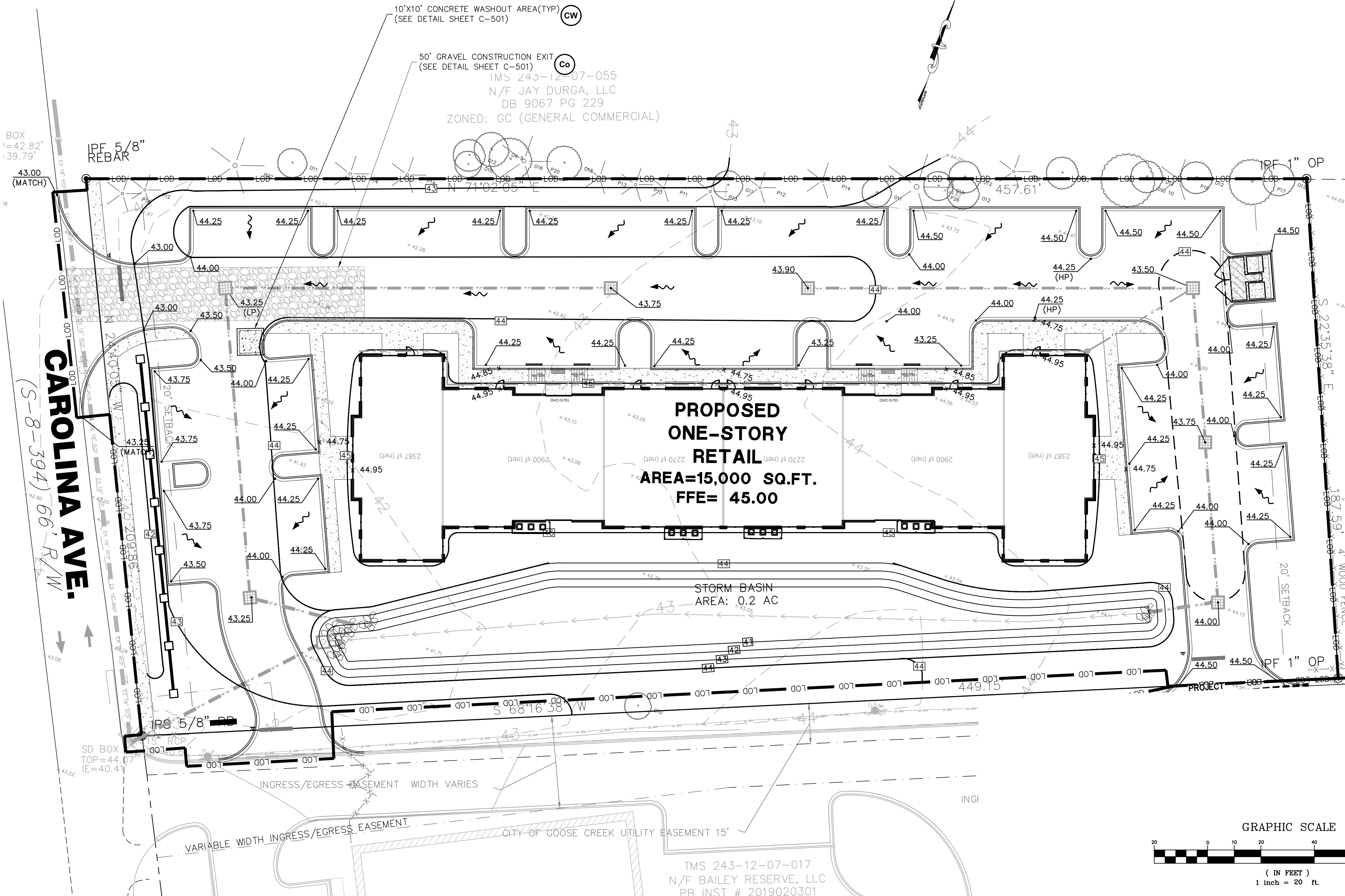
**TEMPORARY MAINTENANCE PLAN AND SCHEDULE:**

- DRY SEDIMENT BASIN**
1. THE KEY TO A FUNCTIONAL SEDIMENT BASIN IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE AND REGULAR SEDIMENT REMOVAL.
  2. ATTENTION TO SEDIMENT ACCUMULATIONS WITHIN THE BASIN IS EXTREMELY IMPORTANT. ACCUMULATED SEDIMENT DEPOSITION SHOULD BE CONTINUALLY CHECKED AND REMOVED WHEN NECESSARY.
  3. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 50% OF THE DESIGN SEDIMENT STORAGE VOLUME OR 1/3 THE HEIGHT OF THE RISER STRUCTURE, WHICHEVER IS REACHED FIRST.
  4. REMOVED SEDIMENT FROM THE BASIN SHALL BE PLACED IN STOCKPILE STORAGE AREAS OR SPREAD THINLY ACROSS THE DISTURBED AREA. STABILIZE THE REMOVED SEDIMENT AFTER IT IS RELOCATED.
  5. INSPECTIONS OF SEDIMENT BASINS SHOULD BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24-HOURS OF EACH RAINFALL EVENT THAT PRODUCES 1/2-INCH OR MORE OF PRECIPITATION.
  6. ALL TEMPORARY SEDIMENT BASINS, WHICH ARE NOT TO BE CONVERTED TO A DETENTION BASIN POST CONSTRUCTION, SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED.
  7. DISTURBED AREA RESULTING FROM THE REMOVAL OF THE SEDIMENT BASIN SHOULD BE PERMANENTLY STABILIZED AND ADDITIONAL BMPs, SUCH AS SILT FENCE, SHOULD BE UTILIZED TO ACCEPT STORM WATER RUNOFF FROM THIS DISTURBED AREA UNTIL FINAL STABILIZATION IS REACHED.

- SILT FENCE**
1. THE KEY TO FUNCTIONAL SILT FENCE IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE AND REGULAR SEDIMENT REMOVAL.
  2. REGULAR INSPECTIONS OF SILT FENCE SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2-INCH OR MORE OF PRECIPITATION.
  3. ATTENTION TO SEDIMENT ACCUMULATIONS ALONG THE SILT FENCE IS EXTREMELY IMPORTANT. ACCUMULATED SEDIMENT SHOULD BE CONTINUALLY MONITORED AND REMOVED WHEN NECESSARY.
  4. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE SILT FENCE.
  5. REMOVED SEDIMENT SHALL BE PLACED IN STOCKPILE STORAGE AREAS OR SPREAD THINLY ACROSS DISTURBED AREA. STABILIZE THE REMOVED SEDIMENT AFTER IT IS RELOCATED.
  6. CHECK FOR AREAS WHERE STORMWATER RUNOFF HAS ERODED A CHANNEL BENEATH THE SILT FENCE, OR WHERE THE FENCE HAS SAGGED OR COLLAPSED DUE TO RUNOFF OVERTOPPING THE SILT FENCE. INSTALL CHECKS/TIE-BACKS AND/OR REINSTALL SILT FENCE, AS NECESSARY.
  7. CHECK FOR TEARS WITHIN THE SILT FENCE, AREAS WHERE SILT FENCE HAS BEGUN TO DECOMPOSE, AND FOR ANY OTHER CIRCUMSTANCE THAT MAY REMOVE THE SILT FENCE INEFFECTIVE. REMOVE DAMAGED SILT FENCE AND REINSTALL NEW SILT FENCE IMMEDIATELY.
  8. SILT FENCE SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED AND ONCE IT IS REMOVED, THE RESULTING DISTURBED AREA SHALL BE PERMANENTLY STABILIZED.

- CONSTRUCTION ENTRANCE**
1. THE KEY TO FUNCTIONAL CONSTRUCTION ENTRANCES IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
  2. REGULAR INSPECTIONS OF CONSTRUCTION ENTRANCES SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2-INCH OR MORE OF PRECIPITATION.
  3. DURING REGULAR INSPECTIONS, CHECK FOR MUD AND SEDIMENT BUILDUP AND PAD INTEGRITY. INSPECTION FREQUENCIES MAY NEED TO BE MORE FREQUENT DURING LONG PERIODS OF WET WEATHER.
  4. RESHAPE THE STONE PAD AS NECESSARY FOR DRAINAGE AND RUNOFF CONTROL.
  5. WASH OR REPLACE STONES AS NEEDED AND AS DIRECTED BY SITE INSPECTOR. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE THE AMOUNT OF MUD BEING CARRIED OFF-SITE BY VEHICLES. FREQUENT WASHING WILL EXTEND THE USEFUL LIFE OF STONE PAD.
  6. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO ADJACENT IMPERVIOUS SURFACES BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED WHEN THE WATER CAN BE DISCHARGED TO A SEDIMENT TRAP OR BASIN.
  7. DURING MAINTENANCE ACTIVITIES, ANY BROKEN PAVEMENT SHOULD BE REPAIRED IMMEDIATELY.
  8. CONSTRUCTION ENTRANCES SHOULD BE REMOVED AFTER THE SITE HAS REACHED FINAL STABILIZATION. PERMANENT VEGETATION SHOULD REPLACE AREAS FROM WHICH CONSTRUCTION ENTRANCES HAVE BEEN REMOVED, UNLESS AREA WILL BE CONVERTED TO AN IMPERVIOUS SURFACE TO SERVE POST-CONSTRUCTION.

- INLET FILTERS**
- INSTALLATION INSTRUCTIONS:**
1. REMOVE GRATE FROM THE DRAINAGE STRUCTURE.
  2. CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE.
  3. DROP THE FLEXSTORM INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE.
  4. REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8", THE THICKNESS OF THE STEEL HANGERS.
- FREQUENCY OF INSPECTIONS:**
1. INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT >1/2".
  2. POST CONSTRUCTION INSPECTIONS SHOULD OCCUR 4 TIMES PER YEAR. IN SNOWFALL AFFECTED REGIONS ADDITIONAL INSPECTIONS SHOULD TAKE PLACE BEFORE AND AFTER SNOWFALL SEASON.
  3. INDUSTRIAL APPLICATION SITE INSPECTIONS (LOADING RAMPS, WASH RACKS, MAINTENANCE FACILITIES) SHOULD OCCUR ON A REGULARLY SCHEDULED BASIS NO LESS THAN 3 TIMES/YEAR.
- MAINTENANCE GUIDELINE:**
1. EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS, OR AS DIRECTED.
  2. REMOVE THE GRATE, ENGAGE THE LIFTING BARS WITH THE FLEXSTORM REMOVAL TOOL, AND LIFT FROM DRAINAGE STRUCTURE.
  3. DISPOSE OF SEDIMENT OR DEBRIS AS DIRECTED BY THE ENGINEER OR MAINTENANCE CONTRACTOR.
  4. AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT.
  5. REMOVE CAKED ON SILT FROM SEDIMENT BAG AND FLUSH WITH MEDIUM SPRAY WITH OPTIMAL FILTRATION.
  6. REPLACE BAG IS TORN OR PUNCTURED TO 1/2" DIAMETER ON LOWER HALF OF BAG.



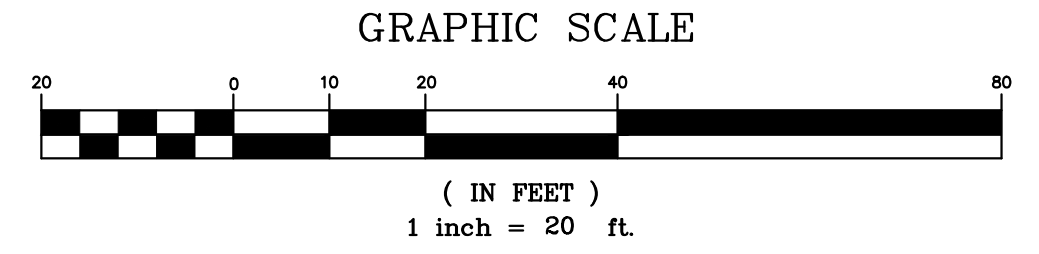
**CAROLINA AVE. RETAIL**  
 121 CAROLINA AVE.  
 GOOSE CREEK, SC 29445

**GRADING, PAVING & INTERMEDIATE SWPPP**

NO.	DATE	BY	REVISIONS

DRAWN: JRU  
 CHECKED: ERL  
 DATE: 05.23.22  
 JOB NO: 22-113

**PRELIMINARY PERMIT DOCUMENTS**  
 SHEET NUMBER  
**C-300**



BENCH MARK DATA:  
 TBM#: PK NAIL FOUND IN ASPHALT  
 ELEV.=41.78 DATUM: NAVD 88'

TMS 243-12-07-017  
 N/F BAILEY RESERVE, LLC  
 PB INST # 2019020301

TMS 243-12-07-017  
 N/F MAIJOH  
 PB CAB O SH  
 DB 7451 PG  
 ZONED: GC (GENERAL COMMERCIAL)

**LEGEND:**

- PROPERTY LINE
- ADJACENT PROPERTY
- EDGE OF PAVEMENT
- BUFFER LINE
- LOD
- IRON PIPE FOUND
- IRON PIPE SET
- EX WTR
- EX SWR
- EX 18" RCP
- EX 15" RCP
- EXISTING WATER VAULT
- EXISTING WATER METER
- EXISTING COMMUNICATIONS VAULT
- EXISTING ELECTRIC VAULT
- EXISTING TRAFFIC SIGNAL VAULT
- EXISTING ELECTRIC PANEL
- EXISTING GAS VALVE
- EXISTING TEL. CABINET
- EXISTING STORM VAULT
- EXISTING STORM INLET
- EXISTING LIGHT POLE
- EXISTING CONTOUR
- 45.34
- 44
- PROPOSED CONTOUR
- PROPOSED DRAINAGE FLOW
- PROPOSED STORM STRUCTURE
- PROPOSED GRATE INLET
- 15" RCP
- 6" PVC
- 15" HP12
- PROPOSED X" RCP DRAINLINE
- PROPOSED X" PVC DRAINLINE
- PROPOSED X" HP DRAINLINE
- Ps
- PERMANENT SEEDING/STABILIZATION

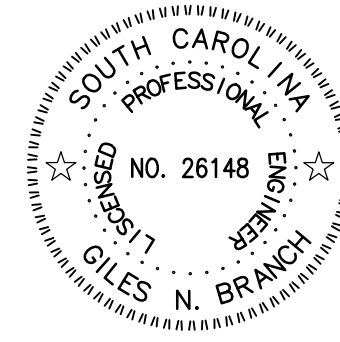
I, GILES N. BRANCH, P.E., AM A LICENSED PROFESSIONAL ENGINEER, #26148, IN THE STATE OF SOUTH CAROLINA DO CERTIFY THAT THE DESIGN OF THE DRAINAGE FACILITIES FOR 121 CAROLIAN AVE. DATED 08/18/22 HAVE BEEN UNDERTAKEN UNDER MY DIRECTION. I HEREBY AVER THAT THE CONSTRUCTION PROJECT, ACCORDING TO THE PLANS PRESENTED 121 CAROLINA AVE., WILL NOT INCREASE STORMWATER RUNOFF FROM THE SITE FOR THE 2, 10, 50, AND 100 YEAR STORM FREQUENCIES.

NAME:  
DATE:  
PROFESSIONAL



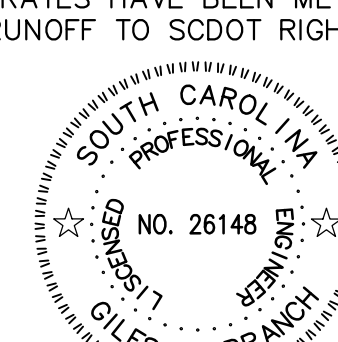
I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET. SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR 100000.

NAME:  
DATE:  
PROFESSIONAL



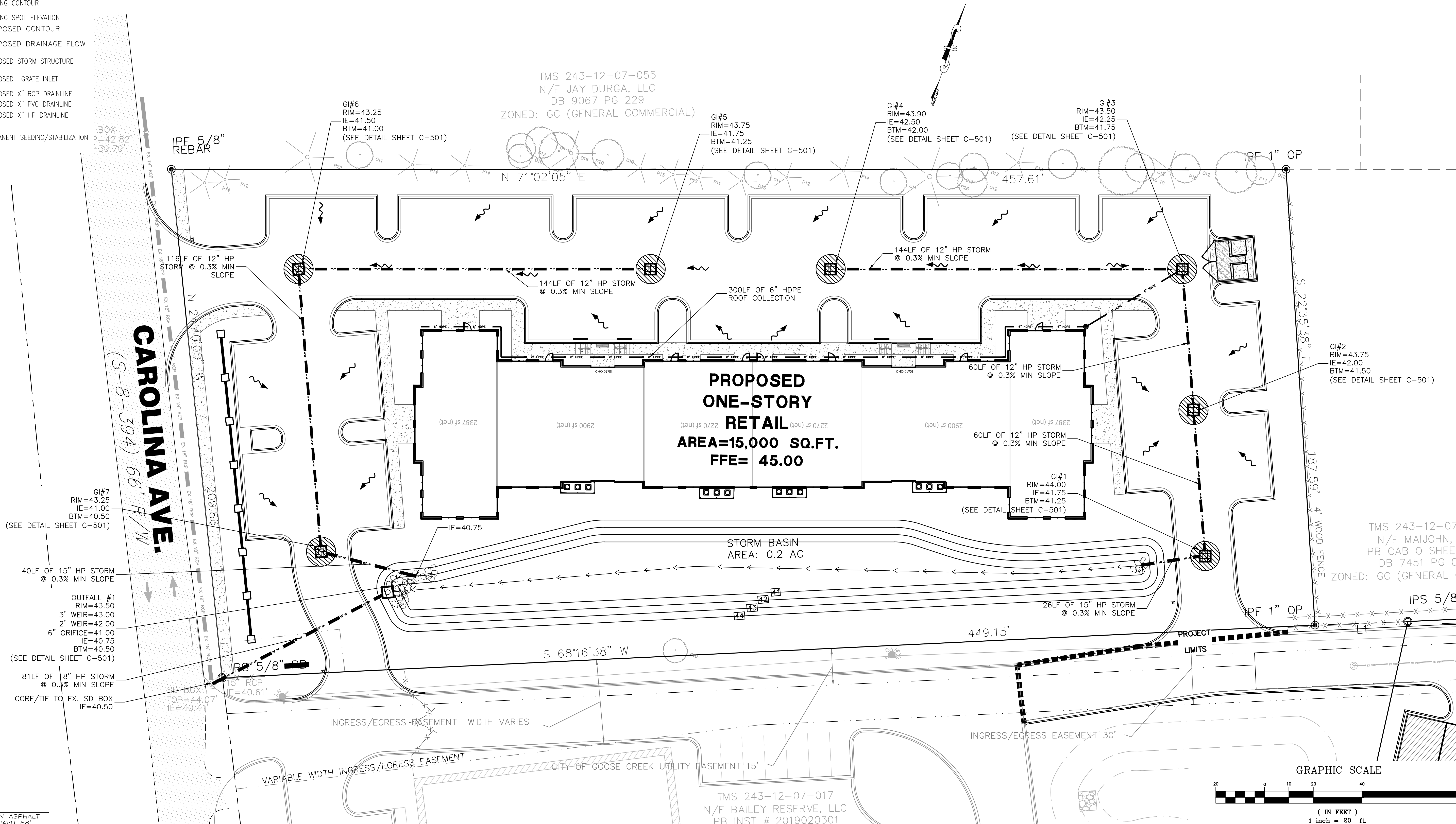
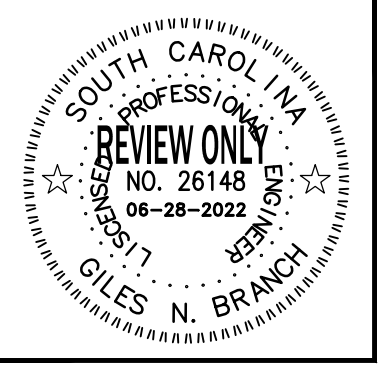
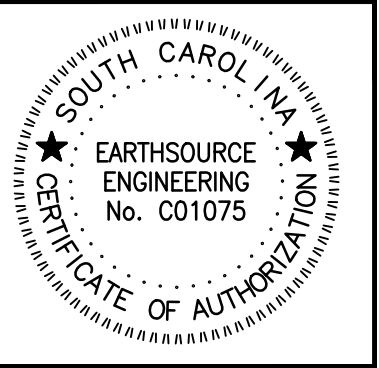
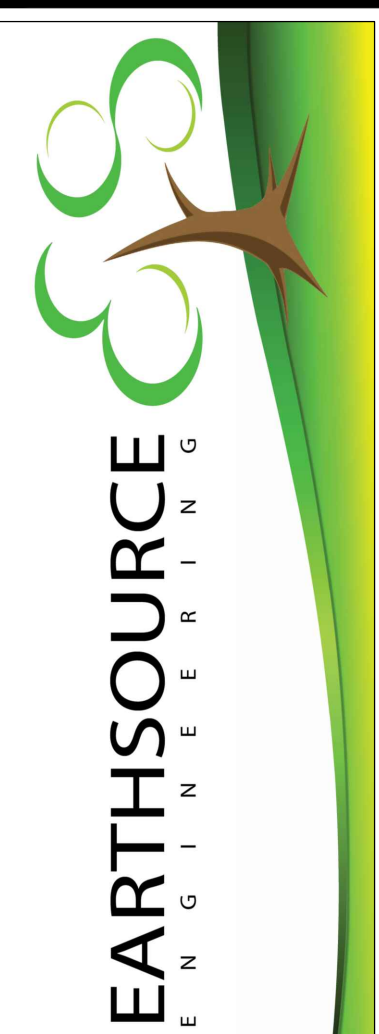
I, GILES N. BRANCH, P.E., AM A LICENSED PROFESSIONAL ENGINEER, #26148, IN THE STATE OF SOUTH CAROLINA DO CERTIFY THAT ALL ITEMS IN SECTION 10D OF THE CURRENT ARMS MANUAL FOR BOTH CONSTRUCTION AND POST CONSTRUCTION DESIGN HAVE BEEN STUDIED AND ADDRESSED. ALL NECESSARY BMPs HAVE BEEN IMPLEMENTED FOR BOTH PHASES (CONSTRUCTION AND POST-CONSTRUCTION) TO AVOID NEGATIVELY IMPACTING IMPAIRED WATERS OF THE SCDOT SYSTEM AND/OR ITS DISCHARGES. ALL REQUIREMENTS IN SECTION 10B OF THE CURRENT ARMS MANUAL FOR POST DEVELOPMENT RELEASE RATES HAVE BEEN MET. THERE WILL BE ZERO INCREASE IN RUNOFF TO SCDOT RIGHT OF WAY.

NAME:  
DATE:  
PROFESSIONAL  
SEAL:



**PERMANENT MAINTENANCE PLAN AND SCHEDULE:**

- POND MAINTENANCE**
1. REGULAR INSPECTIONS: INSPECTIONS SHALL BE PERFORMED AT LEAST TWICE A YEAR AND MORE REGULARLY AS LISTED BELOW OR AS SPECIFIED BY A MANUFACTURER. INSPECTION REPORTS SHALL BE GENERATED AND KEPT ON FILE FOR AT LEAST 5 YEARS. REPORTS ARE TO BE MADE AVAILABLE TO THE CITY OF CHARLESTON UPON REQUEST. IF GENERATED BY A THIRD PARTY, IT SHALL REMAIN THE OWNER'S (OR OWNERS' RESPONSIBILITY TO MAINTAIN THE REPORTS.
  2. ROUTINE MAINTENANCE: SOME MAINTENANCE ACTIVITIES ARE NEEDED ON A ROUTINE BASIS, AS LISTED BELOW. THE ACTIVITIES LISTED SHOULD BE PERFORMED ON A MONTHLY BASIS OR MORE FREQUENTLY IF NEEDED OR UNLESS SPECIFIED BELOW OR BY A MANUFACTURER.
    - a. VEGETATION MANAGEMENT: IF APPLICABLE, GRASS SHOULD BE MOWED BIMONTHLY OR MORE FREQUENTLY IF NEEDED.
    - b. INLET AND OUTLET STRUCTURES: ANY BLOCKAGE OF INLETS AND OUTLETS STRUCTURES SHOULD BE REMOVED. INLET AND OUTLET PROTECTION SHOULD BE REPAIRED OR REPLACED AS NEEDED.
    - c. DEBRIS AND LITTER: TRASH AND OTHER DEBRIS THAT COLLECTS IN THE BMP SHOULD BE REMOVED.
  3. SEDIMENT REMOVAL: BMPs WILL TRAP SEDIMENTS AND OTHER SETTLEABLE MATERIAL OVER TIME AND THIS MATERIAL SHOULD BE REMOVED ONCE THE STORAGE CAPACITY HAS BEEN REDUCED 33%. REMOVAL OF THE SEDIMENT SHALL OCCUR NO LESS FREQUENTLY THAN ONCE EVERY YEAR OR AS SPECIFIED BY THE MANUFACTURER. IF A FOREBAY EXISTS, ANY TRASH, SEDIMENT, OR OTHER DEBRIS SHOULD BE COMPLETELY REMOVED AS DISCOVERED THROUGH ROUTINE MAINTENANCE ACTIVITIES OR INSPECTIONS.
  4. SLOPE STABILIZATION/STRUCTURAL INTEGRITY: SLOPE EROSION, SINK HOLES, OR OTHER STRUCTURAL ISSUES SHOULD BE REPAIRED AS SOON AS DISCOVERED THROUGH ROUTINE MAINTENANCE ACTIVITIES OR INSPECTIONS.
  5. A PERMANENT STAND OF GRASS MUST BE MAINTAINED ON ALL PONDS. (TOPS, SLOPES, AND BOTTOMS) (SEE RECORDED COVENANTS FOR PERMANENT MAINTENANCE OF STORM WATER FACILITIES)



**CAROLINA AVE. RETAIL**  
121 CAROLINA AVE.  
GOOSE CREEK, SC 29445

**DRAINAGE & FINAL STABILIZATION PLAN**

NO.	DATE	BY

DRAWN: JRJ  
CHECKED: ERL  
DATE: 05.23.22  
JOB NO: 22-113  
PRELIMINARY PERMIT DOCUMENTS  
SHEET NUMBER: C-301

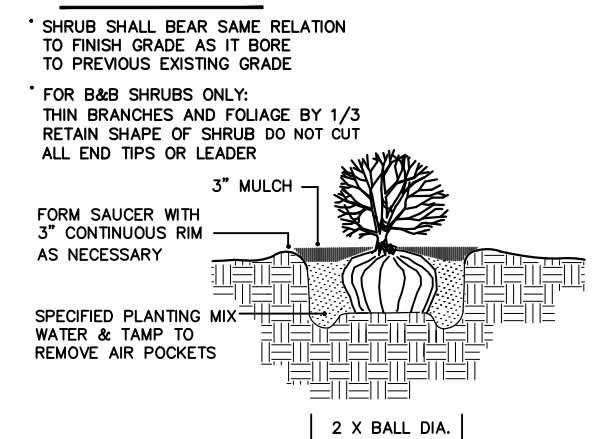
BENCH MARK DATA:  
TBM#: PK NAIL FOUND IN ASPHALT  
ELEV.=41.78 DATUM: NAVD 88'



# PLANT SCHEDULE

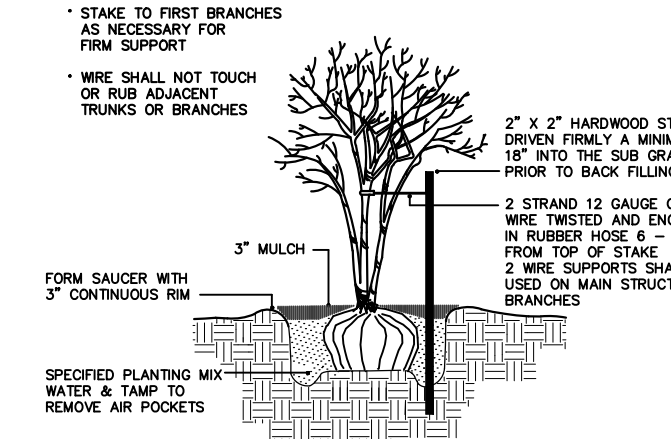
BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	CALIPER	SPACING
<b>CANOPY TREES</b>					
<i>QUERCUS LAURIFOLIA</i>	LAUREL OAK	15	8'-10"	4"	AS SHOWN
<i>ACEPHELE QUERCIFOLIA</i>	RED MAPLE	15	8'-10"	4"	AS SHOWN
<i>LIRIODENDRON TULIPIFERA</i>	TULIP POPLAR	15	8'-10"	4"	AS SHOWN
<b>UNDERSTORY TREES</b>					
<i>MAGNOLIA GRANDIFLORA</i>	LITTLE GEMMAGNOLIA	25	10'-12"	2.5 GAL	AS SHOWN
<i>LABERDROBIA</i>	GRAPE MYRTLE	25	6'-8"	2.5 GAL	AS SHOWN
<i>CRONQUETIA VIRGINICA</i>	FRINGE TREE	24	6'-8"	2.5 GAL	AS SHOWN
<i>CERCIS CANADENSIS</i>	EASTERN REDBUD	23	6'-8"	2.5 GAL	AS SHOWN
<b>SHRUBS</b>					
<i>ILEX GLABRA</i>	INDBERRY	91	3 GAL		AS SHOWN
<i>PODARCTUS THALICTRIIFOLIUS</i>	PODACARPUS	75	3 GAL		AS SHOWN
<i>LEUCONOTUM</i>	AZALEA	23	3 GAL		AS SHOWN
<i>PRUNELLA</i>	CORDGRASS	70	3 GAL		AS SHOWN
<i>SPERMATOPHYTES</i>	LIROPE	88	3 GAL		AS SHOWN
<b>ORNAMENTAL GRASS</b>					
<i>PENNISETUM ALOPECUROIDES PAVENI</i>	LIROPE	111			AS SHOWN
<b>GROUND COVER</b>					
<i>TRICHOLOPERGON ASIATICUM</i>	ASIATIC JASMINE	111 SQ FT			AS SHOWN

**NOTE:**



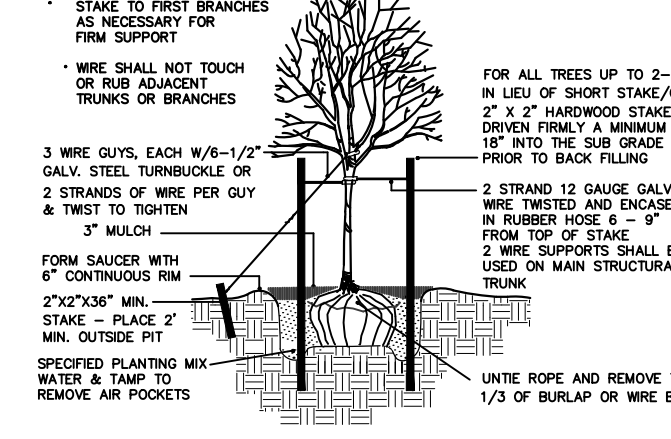
1 SHRUB PLANTING  
SCALE: NOT TO SCALE

**NOTE:**



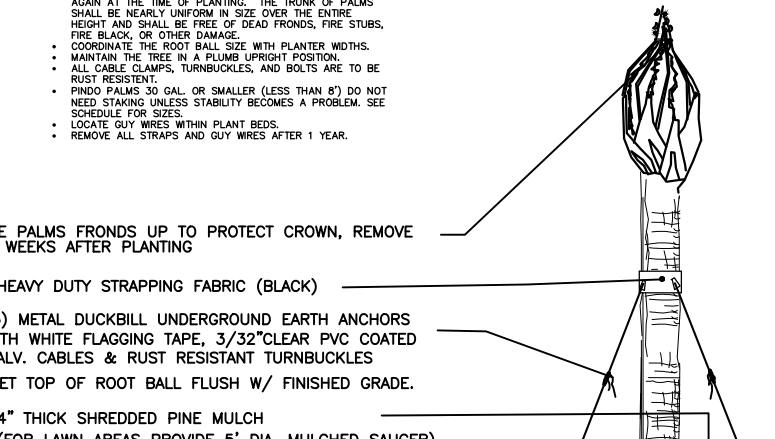
2 MULT-TRUNK TREE  
SCALE: NOT TO SCALE

**NOTE:**



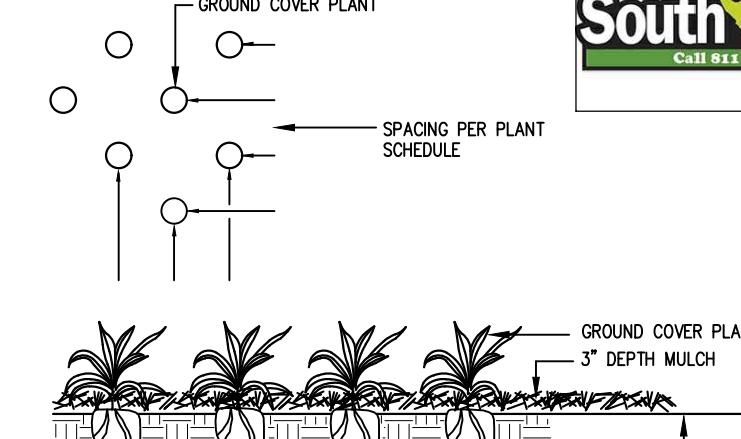
3 TREE STAKING DETAIL  
SCALE: NOT TO SCALE

**NOTE:**

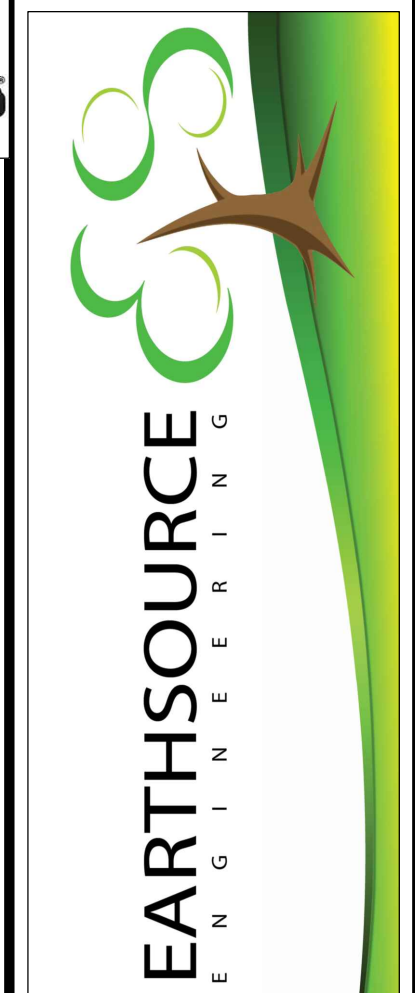


4 PALM TREE PLANTING DETAIL  
SCALE: NOT TO SCALE

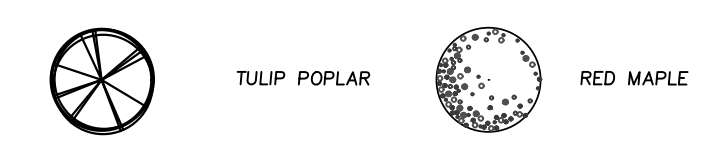
**NOTE:**



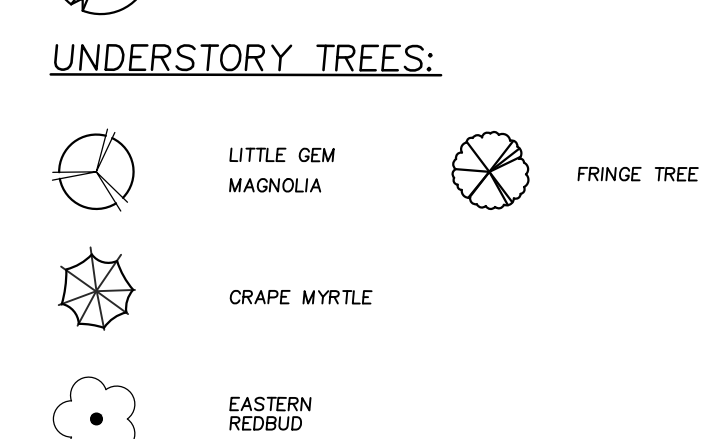
5 GROUND COVER DETAIL  
SCALE: NOT TO SCALE



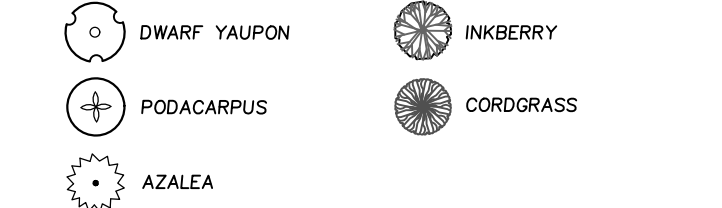
**CANOPY TREES:**



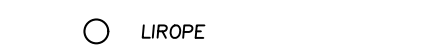
**UNDERSTORY TREES:**



**SHRUBS:**



**ORNAMENTAL GRASS:**



**GROUND COVER:**



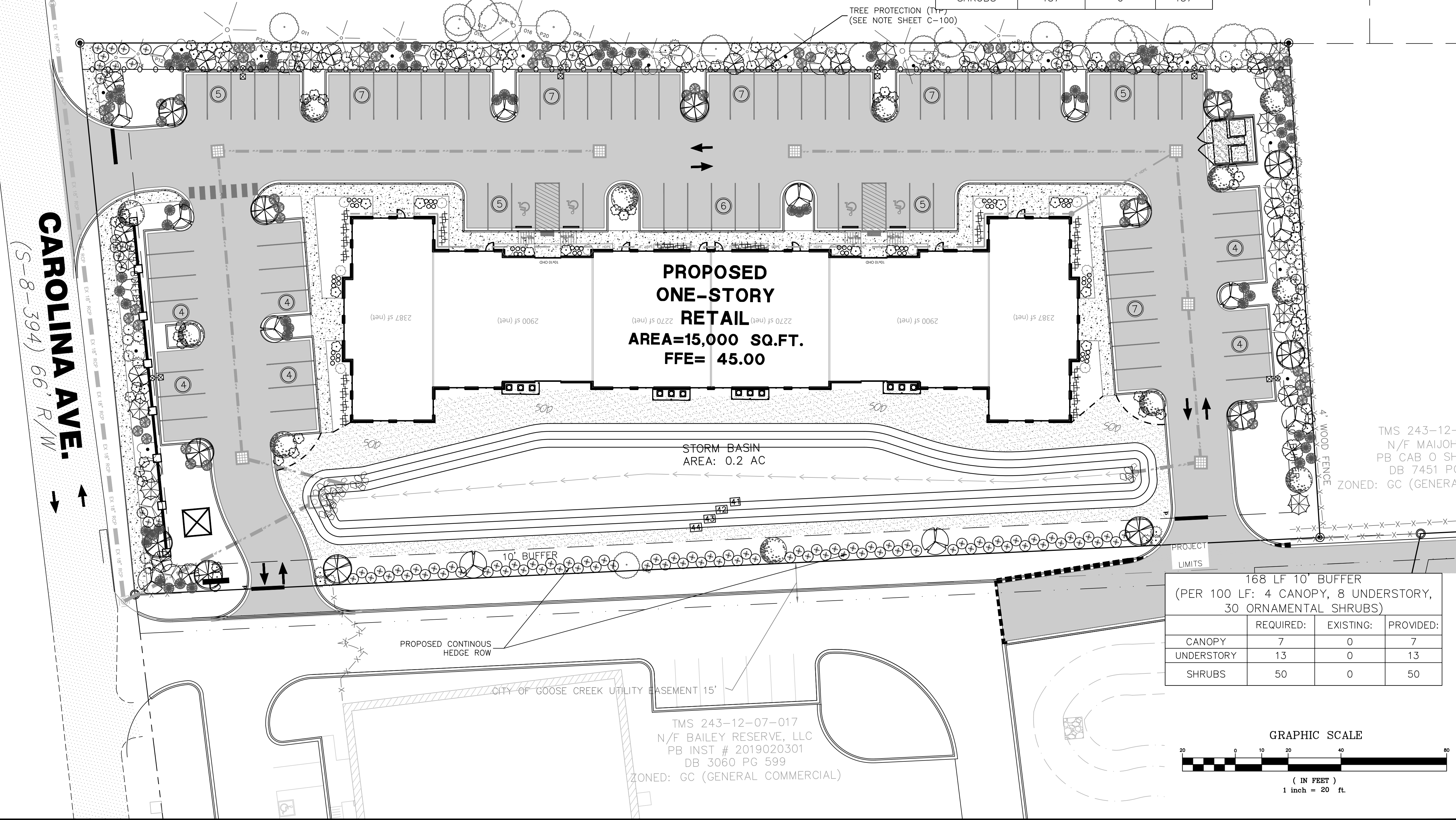
163 LF 15' BUFFER  
(PER 100 LF: 4 CANOPY, 8 UNDERSTORY, 30 ORNAMENTAL SHRUBS)

	REQUIRED:	EXISTING:	PROVIDED:
CANOPY	7	4	3
UNDERSTORY	13	0	13
SHRUBS	49	0	49

TMS 243-12-07-055  
N/F JAY DURGA, LLC  
DB 9067 PG 229  
ZONED: GC (GENERAL COMMERCIAL)

458 LF 10' BUFFER  
(PER 100 LF: 4 CANOPY, 8 UNDERSTORY, 30 ORNAMENTAL SHRUBS)

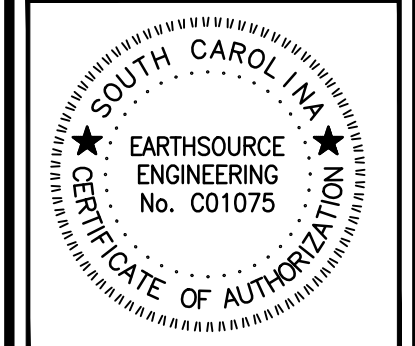
	REQUIRED:	EXISTING:	PROVIDED:
CANOPY	18	18	0
UNDERSTORY	37	0	37
SHRUBS	137	0	137



- PLANT SCHEDULE NOTES:**
- CONTRACTOR TO CONTACT EARTHSOURCE ENGINEERING FOR QUESTIONS REGARDING THE LANDSCAPE PLAN.
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED ON THESE PLANS.
  - THE SIZE OF THE PLANT MATERIALS SHALL CONFORM WITH THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" FOR NUMBER ONE GRADE NURSERY STOCK AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERMEN AND AMERICAN NATIONAL STANDARDS INSTITUTE.
  - THERE WILL BE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS WITHOUT WRITTEN APPROVAL OF BOTH EARTHSOURCE ENGINEERING, THE OWNER, AND THE MUNICIPALITY.
  - NO GROUND COVER, JANNIER, OR DAY LILY SHALL BE USED AS SUBSTITUTION PLANTS OR FILLER.
  - ALL DISTURBED AREAS ARE TO BE MULCHED OR SOODED UNLESS OTHERWISE NOTED.
  - ALL TREES TO HAVE SAUCERS (BERMS) AS DETAILED. STAKE AND GUY WIRE THE TREES AS PER THE DETAILS). COVER THE RING WITH A 4" CIRCLE OR PINE STRAW MULCH.
  - A MINIMUM 3" LAYER OF PINE STRAW MULCH SHALL BE PLACED AROUND ALL PLANTED MATERIAL.
  - THE PROPERTY OWNER AGREES TO MAINTAIN ALL NEW PLANTINGS IN A HEALTHY CONDITION.

- SITE LIGHTING NOTES:**
- SUBMITTAL OF A LIGHTING PLAN IS REQUIRED FOR NEW LIGHTING.
  - LIGHTING MUST BE ARRANGED SO THAT LIGHT DOES NOT INTERFERE WITH TRAFFIC, IS SHIELDED OR DIRECTED AWAY FROM ADJOINING RESIDENCES, AND PRODUCES NO GLARE ACROSS RESIDENTIAL PROPERTY BOUNDARIES.
  - THE MAXIMUM POLE HEIGHT FOR COMMERCIAL ZONED PROPERTIES IS 24 FT USING FULL CUT OFF LIGHTING SOURCE. THIS PROVISION ALSO APPLIES TO WALL-MOUNTED LIGHTING. ANY SPILL-OVER FROM A COMMERCIAL SITE INTO A RESIDENTIAL AREA SHALL NOT EXCEED ONE-HALF FOOT CANDLE MEASURED AT THE PROPERTY LINE OF THE SITE OF THE LIGHT SOURCE NEAREST THE RESIDENTIAL AREA.

- SPECIAL SITE NOTES:**
- NO INFRASTRUCTURE WILL IMPACT THE ROOT SYSTEM OF ANY SIGNIFICANT TREE OR GRAND TREE ON THE SUBJECT OR ADJACENT PARCEL ESPECIALLY THE GRAND TREES ON THE PROPERTY LINE.
  - SITE MEETS 10% INTERIOR LANDSCAPE SPACE (500.12 SQ FT REQUIRED) WITH SEVEN (7) TREE ISLANDS TOTALING 1,616.83 SQ FT.
  - AT INSTALLATION OR PLANTING ALL EVERGREEN TREES AND/OR SHRUBS USED TO FULFILL BUFFER AREA REQUIREMENTS BE NO LESS THAN SIX FEET IN HEIGHT, AND ALL DECIDUOUS TREES WILL NEED TO BE NO LESS THAN EIGHT FEET IN HEIGHT. ADDITIONALLY, WHERE REQUIRED, EVERGREEN AND CANOPY PLANT MATERIAL SHOULD BE PLANTED IN AT LEAST TWO ROWS AND IN ALTERNATING FASHION TO FORM A CONTINUOUS OPAQUE SCREEN OF PLANT MATERIAL.
  - MAINTENANCE OF REQUIRED LANDSCAPED AREAS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL SUCH AREAS SHALL BE PROPERLY MAINTAINED SO AS TO ASSURE THEIR SURVIVAL AND AESTHETIC VALUE, AND SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM OR A READILY VALUABLE WATER SUPPLY FAILURE TO MONITOR SUCH AREAS IS A VIOLATION OF THIS ORDINANCE AND MAY BE REMEDIED IN THE MANNER PRESCRIBED FOR OTHER VIOLATIONS.
  - VEGETATION DESIGNATED AS REMAINING SHALL NOT BE REMOVED OR DAMAGED.



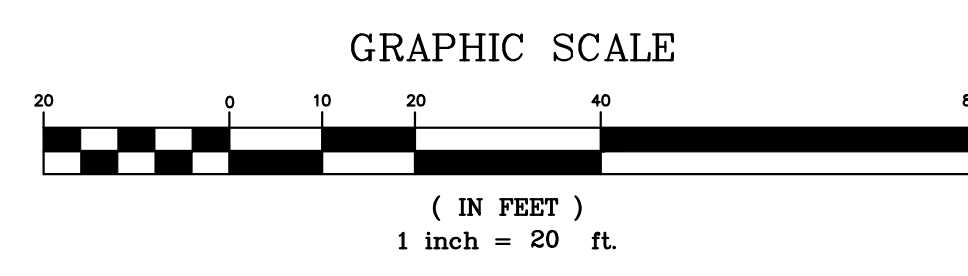
**CAROLINA AVE. RETAIL**  
121 CAROLINA AVE.  
GOOSE CREEK, SC 29445

**PLANT SCHEDULE & LANDSCAPE PLAN**

REVISIONS

NO.	DATE	BY	DESCRIPTION

DRAWN: JRU  
CHECKED: ERL  
DATE: 05.23.22  
JOB NO. 22-113  
**PRELIMINARY PERMIT DOCUMENTS**  
SHEET NUMBER L-100



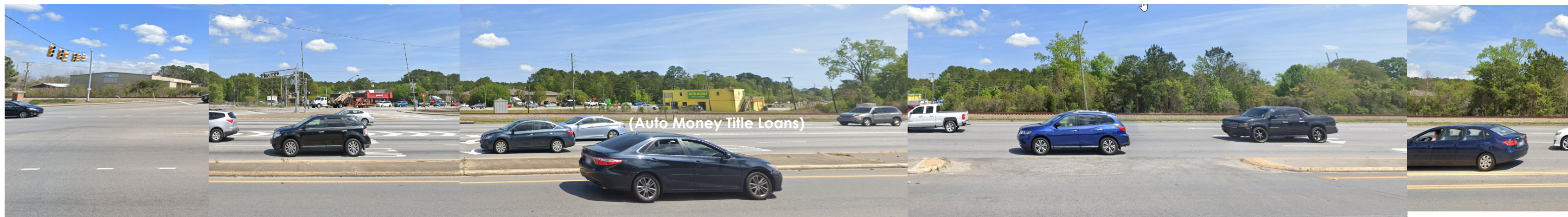


Existing Site Aerial View West





Streetscapes West Side Goose Creek Blvd



Streetscapes East Side Goose Creek Blvd





104 S Goose Creek Blvd  
(Taco Bell)

102 S Goose Creek Blvd  
(Cube Smart)

Streetscapes South Side Carolina Ave

matchline



102 S Goose Creek Blvd  
(Cube Smart)

Streetscapes West Side Carolina Ave

matchline

matchline



matchline

