



AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
MONDAY, FEBRUARY 20, 2023 – 6:00 PM
CITY HALL - 519 N GOOSE CREEK BOULEVARD
GOOSE CREEK, SOUTH CAROLINA

BOARD MEMBERS: CHAIRPERSON JEN WISE, VICE CHAIRPERSON ROBERT SMITH, DOUG DICKERSON, ARMANDO SOLARANA, MARY KAY SOTO, TERI VICTOR

IN ACCORDANCE WITH THE FREEDOM OF INFORMATION ACT, THE ELECTRONIC AND PRINT MEDIA WERE DULY NOTIFIED, ALONG WITH A HARD COPY POSTED AT CITY HALL. SHOULD YOU HAVE QUESTIONS OR COMMENTS, PLEASE CONTACT PLANNING AND ZONING AT (843)797-6220.

I. CALL TO ORDER & ROLL CALL

II. APPROVAL OF MINUTES

- a. ARCHITECTURAL REVIEW BOARD MEETING MINUTES - JANUARY 17, 2023

III. NEW BUSINESS

- a. NEW CONSTRUCTION - CAROLINA AVENUE RETAIL VILLAGE - 121 CAROLINA AVE & 100 S. GOOSE CREEK BLVD
- b. NEW CONSTRUCTION - DOLLAR GENERAL - ST. JAMES AVE (HWY 176)

IV. CLOSING REMARKS & ADJOURNMENT



Request for Architectural Review Board Agenda Item

To: Architectural Review Board

From: Lili Ortiz-Ludlum

Please check one box

Regular Meeting

Special Meeting

Work Session

Please check one box, if applicable

Ordinance

Resolution

Proclamation

Request to Purchase

Ordinance/Resolution Title

ARCHITECTURAL REVIEW BOARD MEETING MINUTES - JANUARY 17, 2023

Background Summary

Financial Impact

Impact if denied

Impact if approved

Department Head:

City Administrator:

Signature & Date

Signature & Date

**MINUTES
CITY OF GOOSE CREEK
ARCHITECTURAL REVIEW BOARD
TUESDAY, JANUARY 17, 2023, 6:00PM
MARGUERITE H. BROWN MUNICIPAL CENTER**

I. CALL TO ORDER

Chairperson Wise called the meeting to order at 6:00 p.m.

Present: Doug Dickerson; Robert Smith; Terri Victor; Jen Wise

Absent: Mary Kay Soto; Armando Solarana

Staff Present: Planning and Zoning Director Kendra Wise; Assistant to City Administrator Alexis Kiser

II. APPROVAL OF MINUTES: NOVEMBER 21, 2022

Chairperson Wise stated there was a spelling and title error in the minutes.

Motion: A motion was made to approve the minutes with corrections. **Moved by** Board Member Smith, **Seconded by** Board Member Dickerson.

Discussion: None.

Vote: All voted in favor (4-0). Motion carried.

III. ZONING PUBLIC HEARING

A. EXTERIOR MODIFICATION - 103 N. GOOSE CREEK BLVD. - TAQUERIA LA MEXICANA

The applicant sent his son to present this request as he was out of town. The son did not have all the information to present the application properly. Ms. Kiser stated there was a stop work order placed on the building for codes violations and failure to appear before the ARB for changing the exterior color of the building. Ms. Kiser and a building official met with the applicant on site and at the City several times. Ms. Kiser presented the application and answered questions from the board.

Motion: A motion was made to approve the application as submitted. **Moved by** Board Member Victor, **Seconded by** Board Member Smith.

Discussion: None.

Vote: All voted in favor (4-0). Motion carried.

B. EXTERIOR MODIFICATION - 101 BUTTON HALL AVENUE - STONES THROW TAVERN

The owner of Stones Throw Tavern, Steve Stanec, presented the application and answered questions from the board.

Motion: A motion was made to approve the application as submitted. **Moved by** Board Member Victor, **Seconded by** Board Member Smith.

Discussion: None.

Vote: All voted in favor (4-0). Motion carried.

IV. OTHER BUSINESS

A. ELECTION OF CHAIR AND VICE-CHAIR

Motion: A motion was made to nominate Jen Wise for Chair. **Moved by** Board Member Dickerson, **Seconded by** Board Member Victor.

Discussion: None.

Vote: All voted in favor (4-0). Motion carried.

Motion: A motion was made to nominate Robert Smith for Vice-Chair. **Moved by** Chairperson Wise, **Seconded by** Board Member Dickerson.

Discussion: None.

Vote: All voted in favor (4-0). Motion carried.

V. CLOSING REMARKS & ADJOURNMENT

Ms. Kiser stated last week City Council approved the following amendment to the design standards in the ordinance that governs the Architectural Review Board under § 151.197 ARCHITECTURAL REVIEW DESIGN GUIDELINES – NEW TEXT-(A)(1)(h and § 151.197 ARCHITECTURAL REVIEW DESIGN GUIDELINES – AMENDED – (D)(4).

Ms. Kiser stated City Council also amended the zoning text for § 151.086 PARKING AND LOADING SPACE – NEW TEXT - (L) and § 151.083 LANDSCAPING REQUIREMENTS – NEW TEXT- (C)(6).

Motion: A motion was made to adjourn. **Moved by** Board Member Smith; **Seconded by** Board Member Victor.

Discussion: None

Vote: All voted in favor. Motion carried (4-0).

The meeting adjourned at approximately 6:20 pm.

Date: _____

Jen Wise, Chair



Request for Architectural Review Board Agenda Item

To: CITY OF GOOSE CREEK ARCHITECTURAL REVIEW BOARD

From: ALEXIS KISER, ASSISTANT TO CITY ADMINISTRATOR

Please check one box

Regular Meeting

Special Meeting

Work Session

Please check one box, if applicable

Ordinance

Resolution

Proclamation

Request to
Purchase

Ordinance/Resolution Title

NEW CONSTRUCTION - CAROLINA AVENUE RETAIL VILLAGE - 121 CAROLINA AVE & 100 S. GOOSE CREEK BLVD

Background Summary

Financial Impact

Impact if denied

Impact if approved

Department Head:

City Administrator:

Signature & Date

Signature & Date



ARB SCOPE OF WORK FORM/

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address:		TMS No.:
Review request:	For:	Preliminary meeting date requested:
<input type="checkbox"/> Preliminary	<input type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	

Property Owner:	Daytime phone:	
Applicant:	Daytime phone:	
ARB Meeting Representative:	Contact Information :	
Applicant's mailing address:		
City:	State:	Zip:
Applicant's e-mail address:		
Applicant's relationship:	<input type="checkbox"/> Owner	<input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other

Materials/Colors Used: <i>(specific color(s)/manufacture #'s listed: samples must be presented to Board <input type="checkbox"/> attached)</i> <i>(Example: Building Materials, Exterior Colors, Landscaping, Lighting)</i>
SEE EXTERIOR MATERIALS PALETTE AND ATTACHED CUTSHEETS
Scope of Work: <i>(please give a detailed description)</i>
New construction of a commercial village comprised of (4) new commercial retail buildings. Building 'A' at the corner of Carolina Ave & S. Goose Creek Blvd is a 2-story, 6,000 SF (3,000 SF per floor) two tenant building. Buildings 'B' & 'C' front S. Goose Creek Blvd and are partially 2-story, B is 11,000 SF five tenant, C is 9,000 SF four tenant. 'B' & 'C' are separated by a courtyard with a trellis feature. Building 'D' fronts Carolina Ave and is a single story, 15,070 SF six tenant building.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature: Jose F. Knight III Date: _____

Print name legibly: _____



MEMORANDUM

TO: City of Goose Creek Architectural Review Board
FROM: Alexis Kiser, Assistant to City Administrator
RE: New Construction – Carolina Avenue Retail Village (TMS#243-12-07-035, 059, 046)
DATE: 2/9/2023

Staff has reviewed the submittal to the Architectural Review Board (ARB) and offers the following commentary:

General Conformance Analysis

1. The applicant is proposing a new retail village consisting of four (4) structures on S. Goose Creek Boulevard (HWY 52) and Carolina Avenue (TMS#243-12-07-035, 059, 046) on a total +/- 5.54 acres with +/- 4.8 acres of disturbed area. All three parcels are zoned General Commercial (GC) and this is an approved use.
2. The development will be visible from the intersection at Highway 52 and St. James Avenue/Redbank Road, S. Goose Creek Boulevard, St. James Avenue and Carolina Avenue.
3. Currently, the parcels are undeveloped. Surrounding existing development includes Dream Learning Academy and CR Hipp Construction.
4. The total square footage of the new construction is approximately 41,000 sqft.

Architectural Review Design Guidelines Analysis

Building A

Site design

Building addresses the corner of Carolina Avenue and Highway 52 in a way that will draw visual interest at the corner of the intersection. The applicant is proposing a path that will connect to the existing sidewalk along Highway 52 and to Buildings B&C. The location of this building will shield existing development from vehicular travel site line improving the streetscape of the corridor.

Architectural theme

The proposed structure elevates the existing built environment by using a mix of building materials including brick veneer, painted wood roof brackets, aluminum, metal canopies, metal roof slopes, fiber cement ship lap, and simulated wood. The wide range of building materials is used across the entire development and establishes a modern architectural theme.

Architectural interest

This proposed structure uses a variety of high-quality elements including a covered porch with exposed rafter tails, at the rear of the building, large windows, and a pitched roof.

Building design

The “v-shaped” footprint of the building addresses the intersection while still providing a natural entrance at the rear of the building. Both the front and rear of the building will have entrances. The scale and proportion of the building is appropriate given its location on the site.

Site Elements

The mechanical equipment for this structure is located on the side of the building using 4x4 posts and horizontal slats. Refuse collection for this building will be located on TMS# 243-12-07-059 (screening will be discussed in the next section).

Building B&C

Site design

Buildings B and C are situated and addressing Highway 52. Each building is two stories and provides pedestrian flow via a central courtyard. This will connect to the proposed path that will tie into the existing sidewalk out to the parking lot. Additionally, a path at the front of both buildings will connect to Building A. The location of refuse collection is so that is not the focal point of the development and is behind all structures.

Architectural theme

The proposed structure elevates the existing built environment by using a mix of building materials including brick veneer, painted wood roof brackets, aluminum, metal canopies, metal roof slopes, fiber cement ship lap, and simulated wood. The wide range of building materials is used across the entire development and establishes a modern architectural theme. While compatible with other buildings in this development, these two buildings differ in their architectural theme by differing in proportion and layout.

Architectural interest

Architectural interest is provided through the variation of roof lines, color, building materials, and canopies. There is a defined body and cap of each building, and the base will be defined with landscaping. The structures will have metal roofing with simulated wood soffits that will be visible to pedestrians. Additionally, the landscaping shown in the shared covered patio (six palm trees) will add more interest to the area.

Building design

The buildings are designed so that each building mirrors the other's roof line. The two buildings will have three amenities between them including a central covered patio between B & C, a covered patio near the rear of Building C, and a patio at the front Building B. The scale and proportion of each building are compatible with each other and with the overall development. The building design incorporates a definite body and cap; the base will be defined with landscaping. The mechanical equipment for each building will be placed in the center on the section with the lowest, flat roofline. The units will be screened with 2x6 horizontal slats. The color expressed on the elevation appears to be gray; the applicant should confirm that that the color of the screening is matching that section of the building and that the entirety of the mechanical units will be screened in a way that adds architectural interest.

Site Elements

The refuse collection on the site is not the focal point of the development and will be screened with wood slats. The color is not provided in the plans. Renderings provided show amenities such as patio seating, please confirm if this will be the responsibility of tenet or property owner. If responsibility of property owner, please work with staff to ensure these items are of a durable, high-quality material. Renderings show a fence adjacent to the patio on Building B. This is not indicated on the site plan and materials and colors are not provided.

Building D

Site design

The orientation of the building on this parcel is so that entrances face a parking lot and the rear of the building faces the existing C.R. Hipp Building. Parking is located along Carolina Avenue. The parking should be screened with either heavy landscaping or a low seat wall.

Architectural theme

The proposed structure elevates the existing built environment by using a mix of building materials including brick veneer, painted wood roof brackets, aluminum, metal canopies, metal roof slopes, and fiber cement ship lap. This building slightly differs from the other three in the development, while still keeping the same architectural theme through the use of buildout.

Architectural interest

The applicant provides architectural interest on the south elevation of the building through the use of canopies, mechanical equipment screening, and through the use of windows. The north elevation mirrors the south elevation with the exception of two roll-up doors. This building mimics the others but is scaled back due to the intended use of the potential tenants. The applicant does make changes in roofline, materials, and colors, and other architectural details. The two roll-up doors included on the plan should be discussed further.

Building design

The scale and proportion of this building is comparable to the existing C.R. Hipp Building. The building design incorporates a definite body and cap, the base should be defined through landscaping at the building foundation. All sides of the building are architecturally similar to the primary elevation.

Site Elements

The color that will be used on the horizontal slats for mechanical screening will need to be called out. Refuse collection is located on site and is not the focal point of the development and is properly screened.

Additional comments

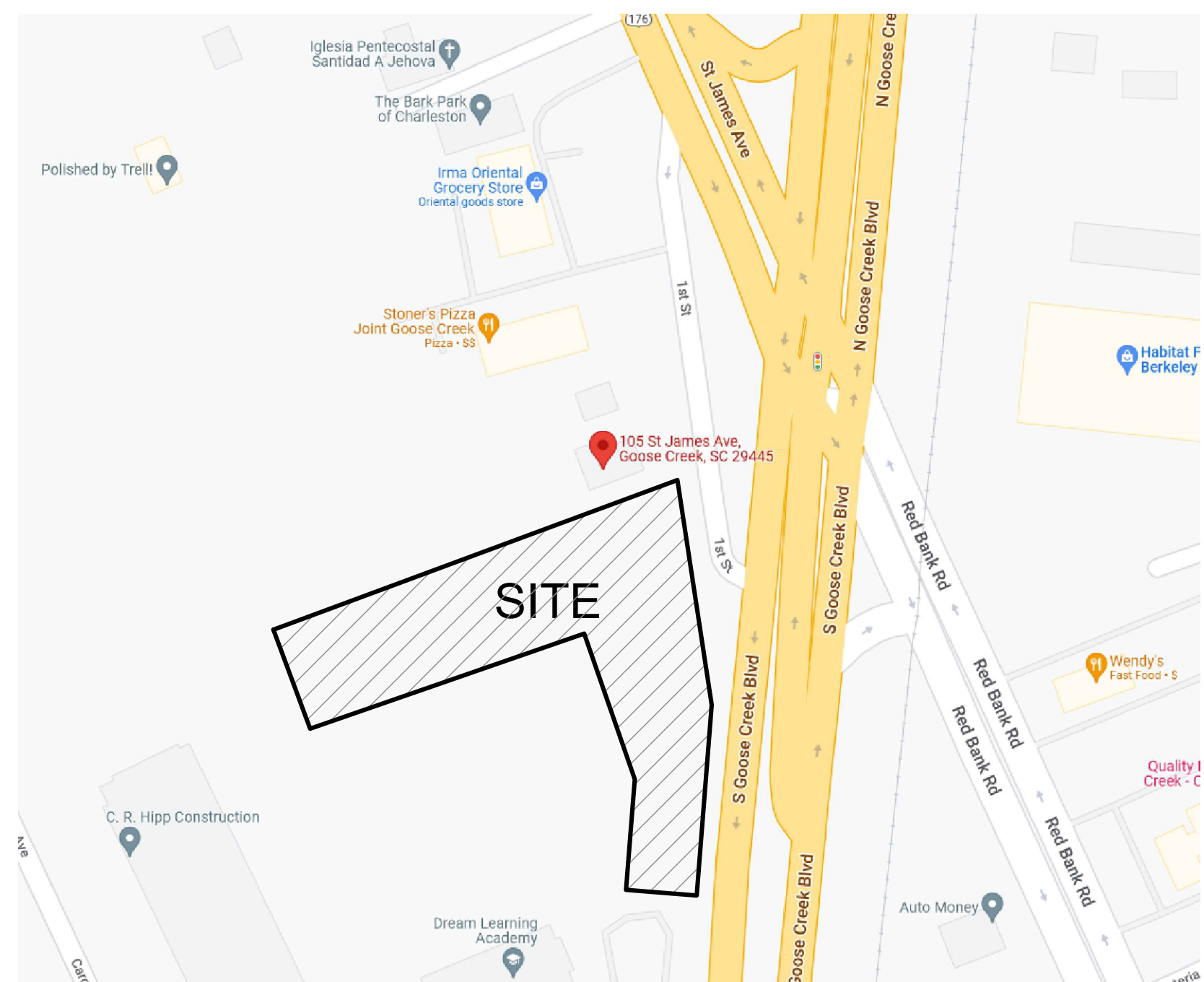
Staff has worked with the applicant for over a year to achieve this site layout and architectural design given the site and access constraints of the development. The cohesiveness of architectural details and building materials across the development ties in each building even though there are different proposed uses across the site.

Please note that tree mitigation, landscaping, buffer, and parking requirements will be verified during the site plan review process before building permits are issued.

Staff Recommendation

Staff asks the Architectural Review Board to approve the application with the following conditions:

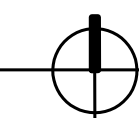
- Work with staff to determine location of light poles in and around the parking areas and along the property line of the development, and
- Work with staff to determine a comparable replacement to the roll-up doors so not to deter architectural interest from the north elevation of the building.



LOCATOR MAP

NOT TO SCALE (LOCATION MAP PER GOOGLE MAPS)

TRUE NORTH

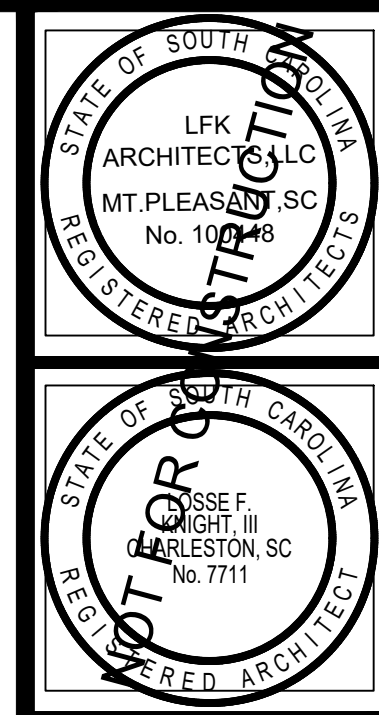


CAROLINA AVENUE COMMERCIAL VILLAGE

100 S GOOSE CREEK BLVD (TMS#: 243-12-07-046)
AND
121 CAROLINA AVE (TMS#: 243-12-07-035,059)

ARCHITECTURAL REVIEW BOARD
02.20.23

FINAL REVIEW



LFK ARCHITECTS
Land Planning + Feasibility Studies
Commercial + Residential Design
www.lfkarchitect.com
LFK ARCHITECTS, LLC
886 JOHNNIE DODDS BLVD
SUITE 200
MOUNT PLEASANT, SC 29464
LOSSE F. KNIGHT III, AIA
losse@lfkarchitect.com
phone: 843-330-8940

JOB NUMBER:	
DRAWN:	
CHECKED:	

PROJECT TEAM:

ARCHITECT:
(PRIMARY CONTACT)

LFK ARCHITECTS, LLC
886 JOHNNIE DODDS BLVD
SUITE 200
MOUNT PLEASANT, SC 29464

LOSSE F. KNIGHT III, AIA
losse@lfkarchitect.com
843-330-8940

CIVIL:

EARTHSOURCE ENGINEERING
962 HOUSTON NORTHCUTT BLVD #200
CHARLESTON, SC 29464

DRAWING INDEX:

G001 COVER SHEET, INDEX, AND PROJECT NOTES

CONTEXT AERIAL
EXISTING STREETScape IMAGES

CIVIL

COLOR EXHIBIT
OVERALL
BUILDING A
BUILDING B/C
BUILDING D

GOOSE CREEK BLVD RETAIL COVER
C-100 EXISTING CONDITIONS, DEMOLITION, INITIAL SWPPP
C-200 SITE LAYOUT PLAN
C-300 GRADING, PAVING, & INTERMEDIATE SWPPP
C-301 DRAINAGE & FINAL STABILIZATION
L-100 PLANT SCHEDULE & LANDSCAPE PLAN
L-101 PLANT SCHEDULE & LANDSCAPE PLAN

CAROLINA AVENUE COVER
C-100 EXISTING CONDITIONS, DEMOLITION, INITIAL SWPPP
C-200 SITE LAYOUT PLAN
C-300 GRADING, PAVING, & INTERMEDIATE SWPPP
C-301 DRAINAGE & FINAL STABILIZATION
L-100 PLANT SCHEDULE & LANDSCAPE PLAN

PROJECT DATA:

PROJECT NAME: CAROLINA AVENUE COMMERCIAL VILLAGE
ADDRESS: 100 S GOOSE CREEK BLVD (TMS#: 243-12-07-046)
121 CAROLINA AVE (TMS#: 243-12-07-035,059)

COUNTY: BERKELEY
CITY: GOOSE CREEK

GENERAL NOTES:

- DRAWINGS ARE NOT INTENDED TO BE SCALED.
- EXISTING CONDITIONS TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- THE ARCHITECT IS TO BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWING SPECIFICATIONS.
- ALL STRUCTURAL DRAWINGS AND SPECIFICATIONS INCLUDED IN THIS DRAWING SET ARE SPECIFIC TO THIS PARTICULAR SITE LOCATION/BUILDING ONLY AND ARE PROPERTY OF LFK ARCHITECTS, LLC. ANY UNAUTHORIZED USE OR REPRODUCTION OF THIS INFORMATION IS SUBJECT TO LEGAL PROSECUTION.

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ARCHITECTURAL

ARCHITECTURAL SITE PLAN

COMMERCIAL VILLAGE 3D BIRD'S EYES
PROPOSED VILLAGE 3D STREETSCAPES

BUILDING A
ENLARGED AERIAL
FIRST FLOOR PLAN A
SECOND FLOOR PLAN A
ROOF PLAN
EXTERIOR MATERIAL PALETTE
3D PERSPECTIVES

BUILDING B/C
ENLARGED AERIAL
FIRST FLOOR PLAN
SECOND FLOOR PLAN
ROOF PLAN
EXTERIOR MATERIAL PALETTE
3D PERSPECTIVES

BUILDING D
ENLARGED AERIAL
FIRST FLOOR PLAN
ROOF PLAN
EXTERIOR MATERIAL PALETTE
3D PERSPECTIVES

ELEVATIONS A
SECTIONS A

ELEVATIONS B/C
SECTIONS B/C

ELEVATIONS D
SECTIONS D

ATTACHMENTS

- PREMANUFACTURED ENTRY CANOPIES
- EXTERIOR LIGHT FIXTURES
- UNDER CANOPY LIGHT FIXTURES
- GROUND UPLIGHTS
- PREMANUFACTURED LOUVERS
- ROLLUP DOORS

REVISION NOTES:

CAROLINA AVE COMMERCIAL VILLAGE
CAROLINA AVENUE AND GOOSE CREEK BLVD
GOOSE CREEK, SC
COVER SHEET & INDEX

SHEET NUMBER & TITLE:

G001

FINAL ARB
01.18.23

NO.	DATE	BY	REVISIONS

DRAWN: JRU
CHECKED: ERL
DATE: 01.18.23
JOB NO.
22-113

**FINAL
ARB
01.18.23**

SHEET NUMBER
CAROLINA

TMS 243-12-07-055
N/F JAY DURGA, LLC
DB 9067 PG 229
ZONED: GC (GENERAL COMMERCIAL)

TREE PROTECTION (TYP)
(SEE NOTE SHEET C-100)

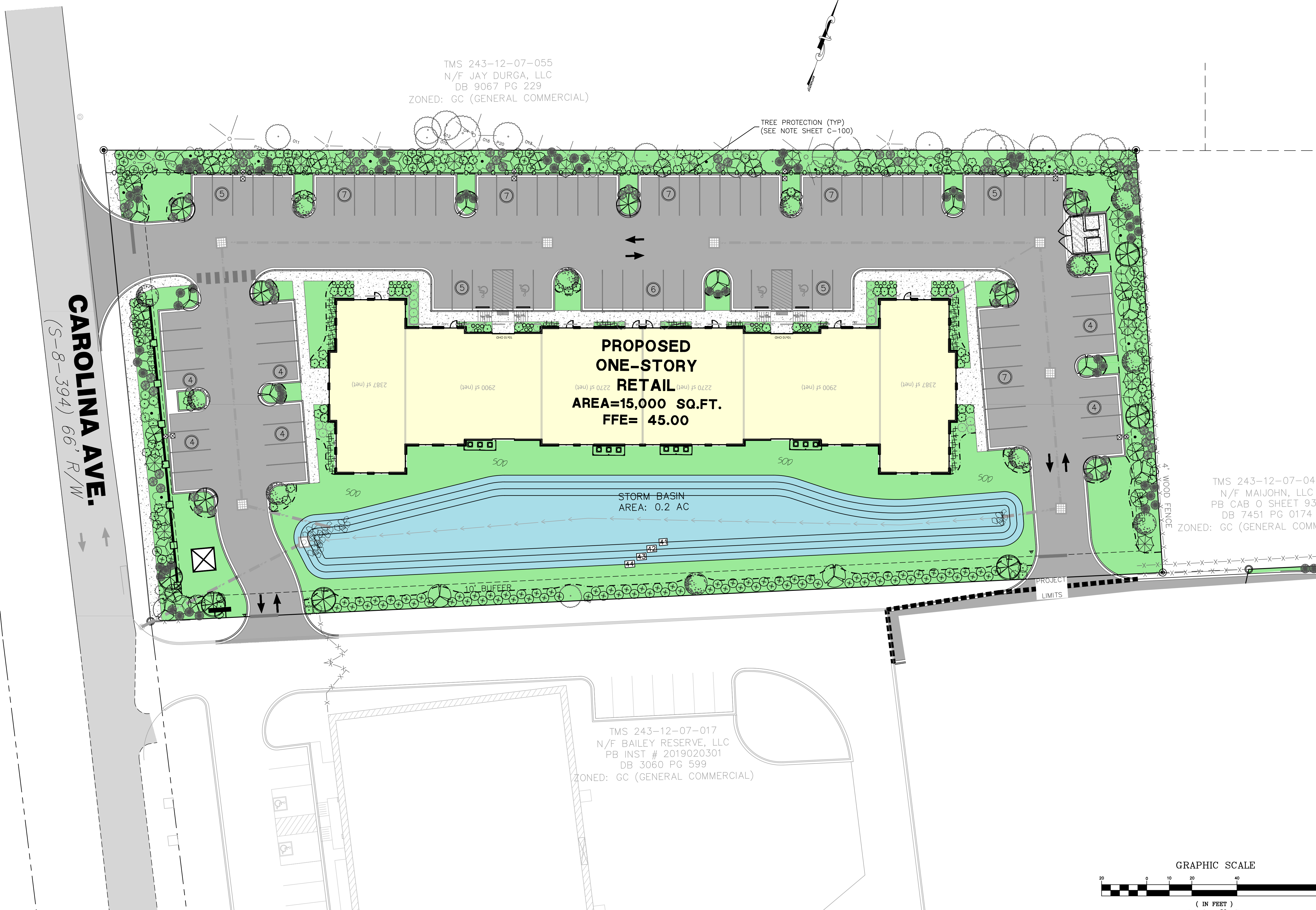
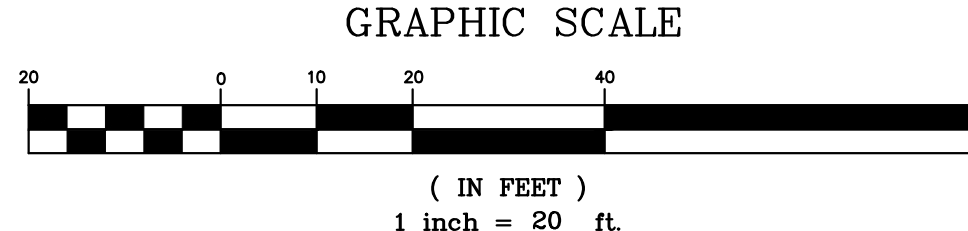
CAROLINA AVE.
(S-8-394) 66' R/W

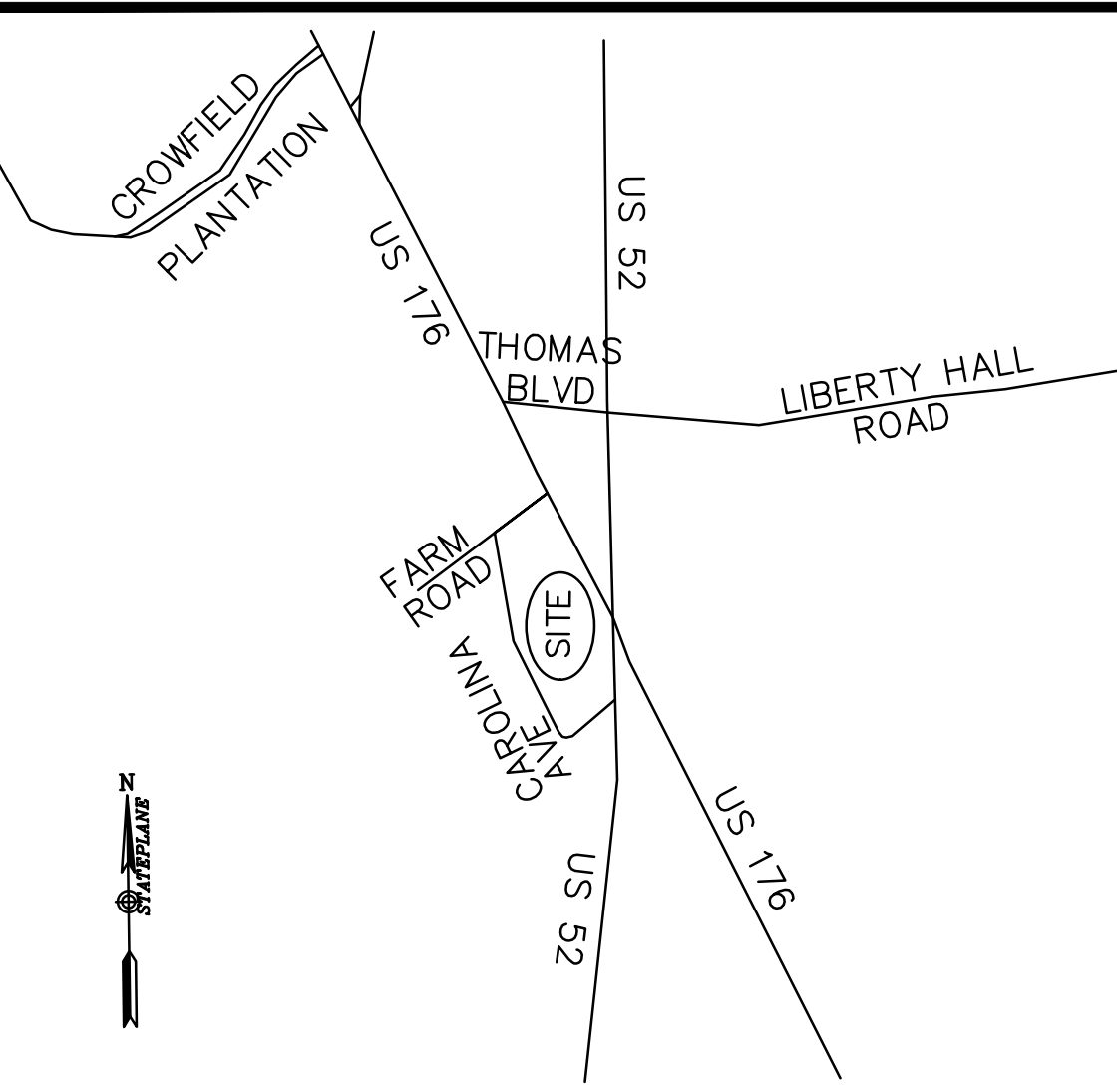
**PROPOSED
ONE-STORY
RETAIL**
AREA=15,000 SQ.FT.
FFE= 45.00

STORM BASIN
AREA: 0.2 AC

TMS 243-12-07-047
N/F MAIJOHN, LLC
PB CAB 0 SHEET 93C
DB 7451 PG 0174
ZONED: GC (GENERAL COMMERCIAL)

TMS 243-12-07-017
N/F BAILEY RESERVE, LLC
PB INST # 2019020301
DB 3060 PG 599
ZONED: GC (GENERAL COMMERCIAL)





LOCATION MAP (NTS)

PROJECT NARRATIVE:
 THE OWNER OF THE SUBJECT LOT PROPOSES TO CONSTRUCT (2) RETAIL BUILDINGS CONSISTING OF 35,080 SQ. FT.. THE SITE WILL HAVE SUPPORTING PARKING SPACES, SIDEWALKS, DRIVE AISLES, UTILITY, AND DRAINAGE SYSTEMS. THE PARCEL IS LOCATED AT 100 S. GOOSE CREEK BLVD., GOOSE CREEK, 29445.

- ADA NOTES:**
- THE PUBLIC R/W MUST REMAIN ADA COMPLIANT DURING CONSTRUCTION OR AN ALTERNATIVE ROUTE MUST BE PROVIDED.
 - IT IS THE OWNER'S RESPONSIBILITY TO REPAIR ALL DAMAGED SIDEWALKS TO REINSTATE AN ADA ACCESSIBLE ROUTE.
 - MINIMUM 98-INCH VERTICAL CLEARANCE MUST BE PROVIDED AT ADA VAN PARKING SPACE, ACCESS AISLE, AND ON VEHICULAR ROUTE TO AND FROM VAN SPACE.
 - ALL ADA ROUTES MUST MEET MINIMUM REQUIREMENTS OF THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN INCLUDING MAX 2% CROSS-SLOPE AND MAX 5% UP-SLOPE.

SITE DATA:
 TMS#: 243-12-07-035 & 059
 LOT SIZE: 3.48 ACRES
 LIMITS OF DISTURBANCE: 2.80 ACRES
 FLOOD ZONE: 'X'
 FIRM PANEL#: 45015C0685E
 DATE: 12/07/2018
 ZONED: GC (GENERAL COMMERCIAL)
 BUFFERS:
 FRONT: 15'
 SIDE: 10'
 SIDE: 10'
 REAR: 10'
 SETBACKS:
 FRONT: 20'
 REAR: 20'
 BUILDING AREA:
 BLDG 'A'
 RETAIL: 7000 SQ.FT.
 OFFICE: 2000 SQ.FT.
 BLDG 'B'
 RETAIL: 9000 SQ.FT.
 OFFICE: 2000 SQ.FT.
 FUTURE BLDG 'C' RETAIL: 6000 SQ.FT.
 TOTAL BUILDING AREA: 26000 SQ.FT.
 PROPOSED BUILDING HEIGHT: TBD
 PARKING REQUIRED:
 RETAIL: 1 SPACE/200 SQ.FT.: 110 SPACES
 OFFICE: 1 SPACE/300 SQ.FT.: 14 SPACES
 DAY-CARE PARKING: 1 SPACE/CLASSROOM: 8 SPACES
 TOTAL REQUIRED: 132 SPACES
 PARKING PROVIDED:
 REGULAR: 100 SPACES
 HANDICAP: 07 SPACES
 EXISTING: 69 SPACES
 TOTAL: 176 SPACES

BENCH MARK DATA:
 TBM PK NAIL FOUND IN ASPHALT
 ELEVATION=41.78' DATUM: NAVD 88

GOOSE CREEK BLVD. RETAIL

100 S. GOOSE CREEK BLVD
 GOOSE CREEK, 29445



SHEET INDEX SITE AND CIVIL DRAWINGS

DESCRIPTION	SHEET NUMBER
COVER SHEET	1 OF 1
SURVEY	C-001
GENERAL NOTES	C-100
EXISTING CONDITIONS, DEMOLITION & INITIAL SWPPP	C-200
SITE LAYOUT PLAN	C-300
GRADING, PAVING & INTERMEDIATE SWPPP	C-301
DRAINAGE & FINAL STABILIZATION PLAN	C-400
UTILITY LAYOUT PLAN	C-500
CONSTRUCTION & UTILITY DETAILS (SITE)	C-501
CONSTRUCTION DETAILS (DRAINAGE & SWPPP)	C-502
CONSTRUCTION DETAILS (UTILITY)	C-502
LANDSCAPE DRAWINGS	
LANDSCAPE PLAN & PLANT SCHEDULE	L-100-101

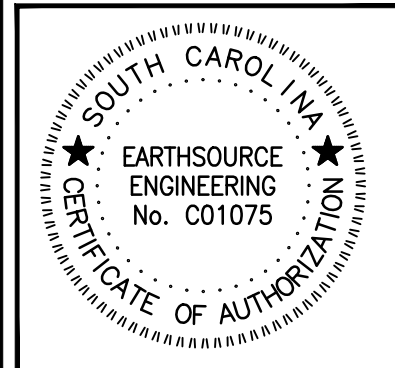
OWNER:
 GRESCON DEVELOPMENT LLC
 PO BOX 1967
 SUMMERVILLE, SC 29484
 CONTACT: BILLY GRESSETTE
 BGRESSETTE@GRESSETTE.NET

SURVEYOR:
 MICHAEL S. SHULSE, SC. P.L.S.
 1210 RIVERS REACH DR.
 WANDO, SC 29492
 PHONE: 843.296.1607

ARCHITECT:
 LFK ARCHITECTS, LLC
 802 COLEMAN BLVD, SUITE 100
 MOUNT PLEASANT, SC 29464
 CONTACT: LOSSE F. KNIGHT
 PHONE: 843.330.8940

CONTACTS:
 CITY OF GOOSE CREEK PLANNING, DIRECTOR
 MS. BRENDA MONEER
 BERKELEY COUNTY ENGINEERING
 MR. JAMES WATKINS
 CITY OF GOOSE CREEK PUBLIC WORKS
 MR. CHUCK DENSON, PE
 BERKELEY COUNTY WATER & SANITATION
 MR. DAVID PARKER

TELEPHONE:
 (843) 797-6220
 (843) 719-4098
 (843) 824-2200
 (843) 719-2331



GOOSE CREEK BLVD. RETAIL
 100 S. GOOSE CREEK BLVD
 GOOSE CREEK, SC 29445
 COVER

NO.	DATE	REVISIONS

DRAWN: JRJ
 CHECKED: ERL
 DATE: 08.02.22
 JOB NO.: 22-161

PRELIMINARY PERMIT DOCUMENTS

SHEET NUMBER
Cover

- LEGEND:**
- PROPERTY LINE
 - ADJACENT PROPERTY
 - EDGE OF PAVEMENT
 - BUFFER LINE
 - LOD — LIMITS OF CONSTRUCTION/SILT FENCE
 - IRON PIPE FOUND
 - IRON PIPE SET
 - EX WTR — EXISTING WATER MAIN
 - EX SWR — EXISTING 15" RCP DRAINLINE
 - EX SMH — EXISTING SEWER MANHOLE
 - EX WTR V — EXISTING WATER VAULT
 - EX WTR M — EXISTING WATER METER
 - EX COMM V — EXISTING COMMUNICATIONS VAULT
 - EX ELEC V — EXISTING ELECTRIC VAULT
 - EX TRAFFIC V — EXISTING TRAFFIC SIGNAL VAULT
 - EX ELEC P — EXISTING ELECTRIC PANEL
 - EX GAS V — EXISTING GAS VALVE
 - EX TEL C — EXISTING TEL CABINET
 - EX STORM V — EXISTING STORM VAULT
 - EX STORM I — EXISTING STORM INLET
 - EX LIGHT P — EXISTING LIGHT POLE
 - EX CONTOUR — EXISTING CONTOUR
 - EX SPOT E — EXISTING SPOT ELEVATION
 - EX DRAIN P — EXISTING DRAINAGE FLOW PATTERN
 - EX TREE R — EXISTING TREE TO BE REMOVED
 - EX TREE P — TREES TO BE PROTECTED
 - EX ASPHALT
 - EX CONCRETE
 - EX ASPHALT R — EXISTING ASPHALT TO BE REMOVED
 - EX CONCRETE R — EXISTING CONCRETE TO BE REMOVED
 - EX GRAVEL R — EXISTING GRAVEL TO BE REMOVED

- SWPPP LEGEND:**
- CONCRETE WASHOUT
 - TYPE 'A' INLET PROTECTION
 - CONSTRUCTION ENTRANCE/EXIT
 - SILT FENCE/SEDIMENT TUBES
 - TYPE 'F' INLET PROTECTION

SITE SURFACES: TMS#:243-12-07-059

PRE-DEVELOPED (EXISTING CONDITIONS):

PERVIOUS SURFACE AREAS:	1.85 ACRES	91% OF SITE
WOODED/GRASS/DRY POND	0.00 ACRES	
GRAVEL/PERMEABLE PAVERS	1.85 ACRES	
TOTAL PERVIOUS SURFACE AREA:	1.85 ACRES	
IMPERVIOUS SURFACE AREAS:	0.00 ACRES	09% OF SITE
BUILDING	0.00 ACRES	
ASPHALT/CONCRETE	0.17 ACRES	
WET POND	0.00 ACRES	
TOTAL IMPERVIOUS SURFACE AREA:	0.17 ACRES	
TOTAL SITE AREA:	2.02 ACRES	

SITE SURFACES: TMS#:243-12-07-035

PRE-DEVELOPED (EXISTING CONDITIONS):

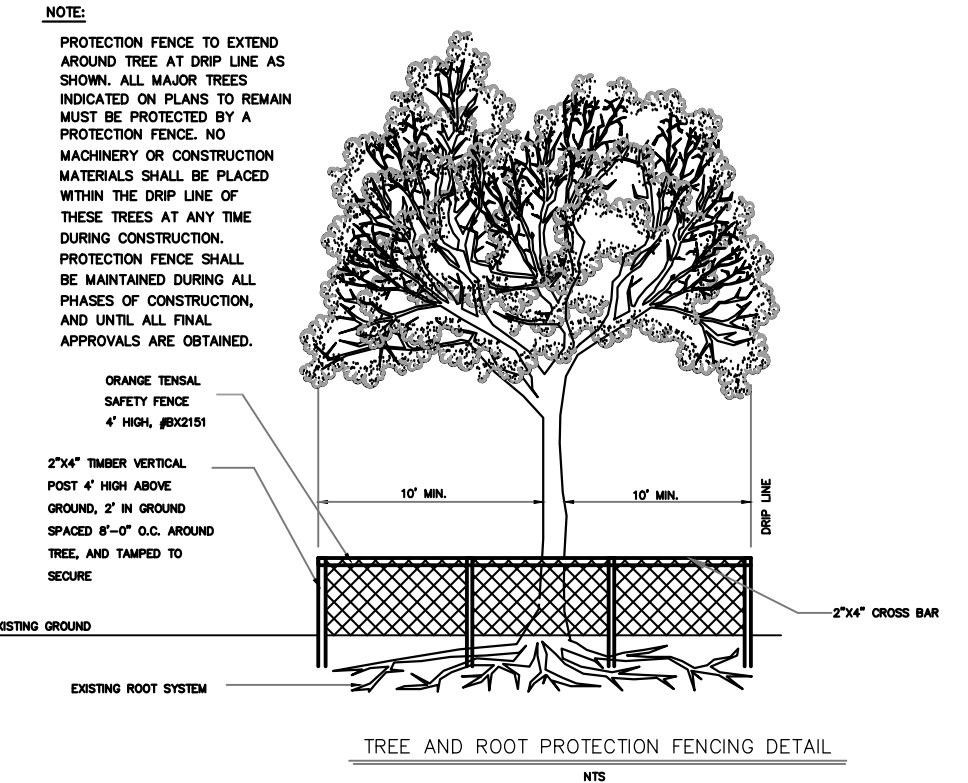
PERVIOUS SURFACE AREAS:	0.34 ACRES	49% OF SITE
WOODED/GRASS/DRY POND	0.00 ACRES	
GRAVEL/PERMEABLE PAVERS	0.34 ACRES	
TOTAL PERVIOUS SURFACE AREA:	0.34 ACRES	
IMPERVIOUS SURFACE AREAS:	0.16 ACRES	51% OF SITE
BUILDING	0.06 ACRES	
ASPHALT/CONCRETE	0.00 ACRES	
WET POND	1.12 ACRES	
TOTAL IMPERVIOUS SURFACE AREA:	1.46 ACRES	
TOTAL SITE AREA:	1.46 ACRES	

SITE DATA:

TMS#: 243-12-07-035 & 059
 LOT SIZE: 3.48 ACRES
 LIMITS OF DISTURBANCE: 2.80 ACRES
 FLOOD ZONE: 'X'
 FIRM PANEL#: 45015C0685E
 DATE: 12/07/2018
 ZONED: GC (GENERAL COMMERCIAL)
 BUFFERS:
 FRONT: 15'
 SIDE: 10'
 REAR: 10'
 SETBACKS:
 FRONT: 20'
 REAR: 20'
 EX. DAY CARE BUILDING AREA: 7,400 SQ.FT.
 PARKING REQUIRED:
 1/CLASSROOM: 10 SPACES
 1/EMPLOYEE: 10 SPACES
 TOTAL PARKING REQUIRED: 20 SPACES
 EX. PARKING REMOVED: 28 SPACES
 EX. PARKING REMAINING: 69 SPACES
 BENCH MARK DATA:
 TBM PK NAIL FOUND IN ASPHALT
 ELEVATION=41.78' DATUM: NAVD 88

TREE TABULATION

EXISTING	TOTAL
PROTECTED TREES (8"-23")	18 (285" DBH)
GRAND TREES (24")	7 (217" DBH)
TOTAL TREES	25 (502" DBH)
PROTECTED TREES DBH REMAINING	6 (113" DBH)
GRAND TREES DBH REMAINING	1 (29" DBH)
TOTAL TREES	7 (142" DBH)
TREES DBH REQUIRED	(INCH/INCH)=360" DBH
MITIGATION REQUIRED	360" DBH



CONSTRUCTION ADJACENT TO GRAND TREES:

- CONTRACTOR TO CONTACT ISA CERTIFIED ARBORIST PRIOR TO BEGINNING CONSTRUCTION. PRE- AND POST-CONSTRUCTION TREE TREATMENT PLAN, AS OBTAINED BY NATURAL DIRECTIONS, SHALL BE FOLLOWED THROUGHOUT CONSTRUCTION.
- CONTRACTOR/ARBORIST TO CONTACT LOCAL MUNICIPALITY AUTHORITY IF ROOT PRUNING IS DEEMED NECESSARY WITHIN THE PROTECTED ZONE OF THE GRAND TREE. INSTALL AND MAINTAIN TREE PROTECTION ZONES, AS SHOWN, TO PROTECT TREE ROOT SYSTEMS.
- AT ALL TIMES DURING CONSTRUCTION, WORK WITHIN THE TREE PROTECTION ZONES SHOULD BE PERFORMED BY HAND ONLY WITH NO VEHICLES OF ANY TYPE ENTERING THE PROTECTION ZONE.
- TREE PROTECTION ZONES SHALL NOT BE USED FOR STORAGE OF ANY MATERIAL AT ANY TIME DURING CONSTRUCTION.
- APPLY SPECIFIED VOLUME OF FERTILIZER TO GRAND TREE BEFORE & AFTER CONSTRUCTION TO STIMULATE ROOT GROWTH AND PROVIDE SOIL AMENDMENTS TO HELP THE TREE DEAL WITH STRESS FROM ANY ROOT LOSS DUE TO PRUNING.
- APPLY A 3" LAYER OF UNTREATED WOOD MULCH TO TREE PROTECTION ZONES. NO SOD SHALL BE INSTALLED IN THIS AREA.
- CANOPY PRUNING FOR BUILDING CLEARANCE SHALL BE COMPLETED WHERE NECESSARY. NO MORE THAN 5% OF THE CANOPY SHALL BE PRUNED.
- DEAD WOOD GREATER THAN 2" AND VINES SHALL BE REMOVED FROM GRAND TREES.

INITIAL LAND DISTURBANCE PHASE NOTES

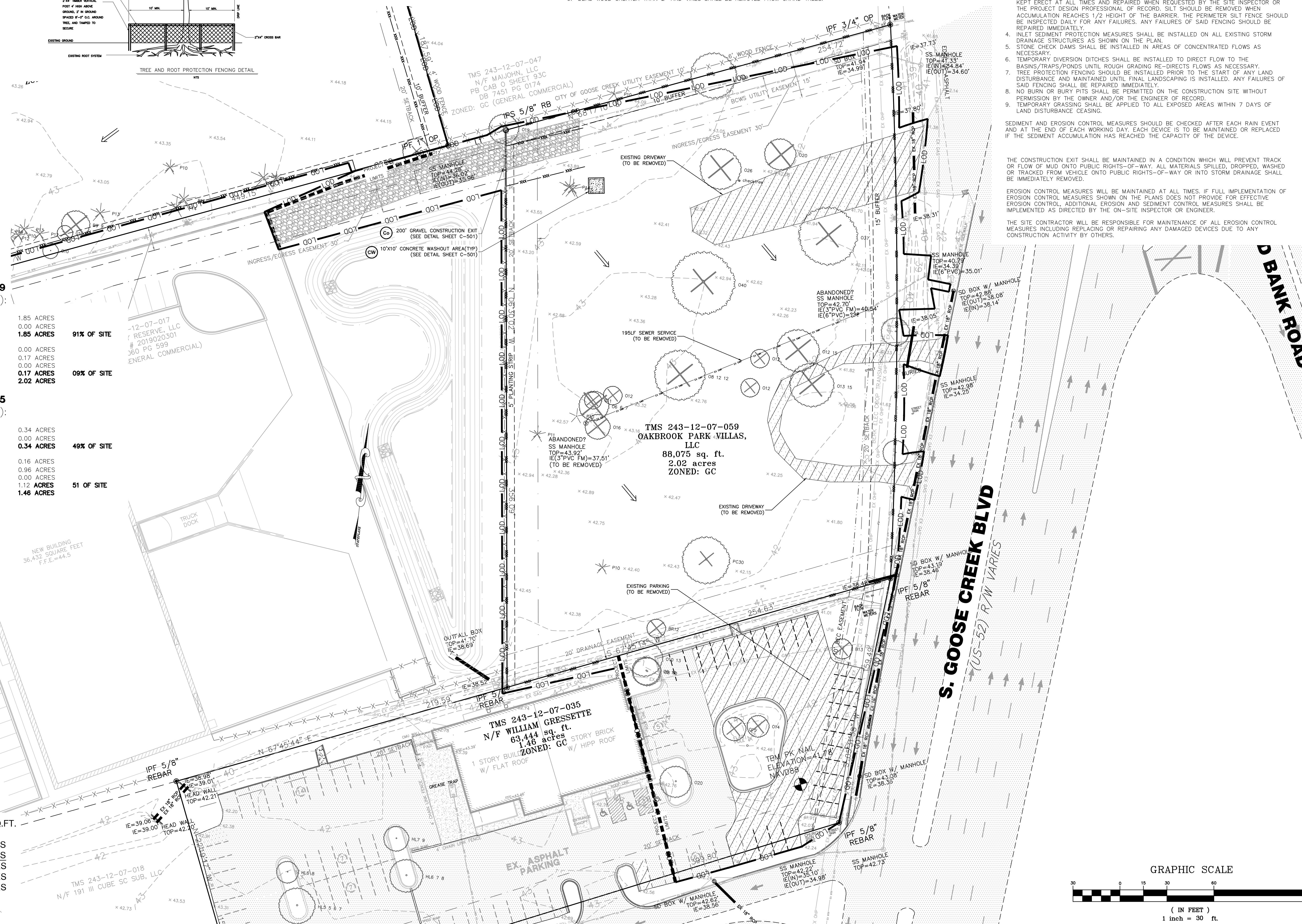
- THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE INITIAL LAND DISTURBANCE PHASE.
- THE CONSTRUCTION ENTRANCE SHALL BE PLACED AS SHOWN ON THE PLANS.
 - IMMEDIATELY AFTER THE ESTABLISHMENT OF THE CONSTRUCTION ENTRANCE, ALL PERIMETER EROSION CONTROL AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE INITIAL PHASE OF CONSTRUCTION PLANS.
 - SILT FENCE, WHETHER REGULAR, REINFORCED, OR DOUBLE ROW OF EITHER SHALL BE INSTALLED AT THE PERIMETER OF THE LAND DISTURBANCE. THE SILT FENCE SHOULD BE KEPT ERECT AT ALL TIMES AND REPAIRED WHEN REQUESTED BY THE SITE INSPECTOR OR THE PROJECT DESIGN PROFESSIONAL OF RECORD. SILT SHOULD BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF THE BARRIER. THE PERIMETER SILT FENCE SHOULD BE INSPECTED DAILY FOR ANY FAILURES. ANY FAILURES OF SAID FENCING SHOULD BE REPAIRED IMMEDIATELY.
 - INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL EXISTING STORM DRAINAGE STRUCTURES AS SHOWN ON THE PLAN.
 - STONE CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS NECESSARY.
 - TEMPORARY DIVERSION DITCHES SHALL BE INSTALLED TO DIRECT FLOW TO THE BASINS/TRAPS/PONDS UNTIL ROUGH GRADING RE-DIRECTS FLOWS AS NECESSARY.
 - TREE PROTECTION FENCING SHOULD BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. ANY FAILURES OF SAID FENCING SHALL BE REPAIRED IMMEDIATELY.
 - NO BURN OR BURY PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE WITHOUT PERMISSION BY THE OWNER AND/OR THE ENGINEER OF RECORD.
 - TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 7 DAYS OF LAND DISTURBANCE CEASING.

SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT AND AT THE END OF EACH WORKING DAY. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF THE SEDIMENT ACCUMULATION HAS REACHED THE CAPACITY OF THE DEVICE.

THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLE ONTO PUBLIC RIGHTS-OF-WAY OR INTO STORM DRAINAGE SHALL BE IMMEDIATELY REMOVED.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF EROSION CONTROL MEASURES SHOWN ON THE PLANS DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS DIRECTED BY THE ON-SITE INSPECTOR OR ENGINEER.

THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES DUE TO ANY CONSTRUCTION ACTIVITY BY OTHERS.



South Carolina 811
 CALL 811 BEFORE YOU DIG

EARTHSOURCE
 ENGINEERING

SOUTH CAROLINA PROFESSIONAL ENGINEERING NO. 001075

SOUTH CAROLINA PROFESSIONAL ENGINEERING NO. 26148 06-28-2022
 GILES, N. BRANCH

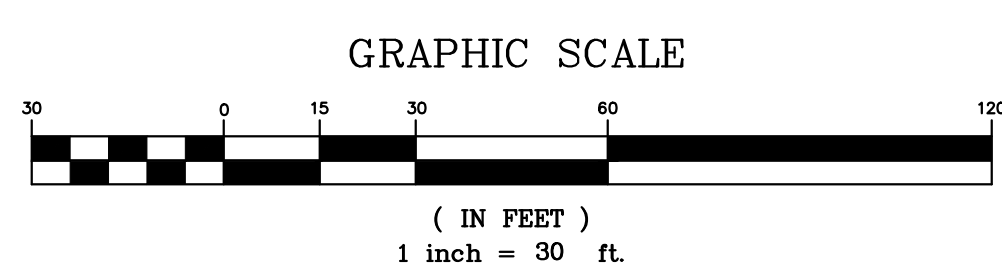
GOOSE CREEK BLVD. RETAIL
 100 S. GOOSE CREEK BLVD
 GOOSE CREEK, SC 29445

EXISTING CONDITIONS, DEMOLITION & INITIAL SWPPP

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN: JRU
 CHECKED: ERL
 DATE: 08.02.22
 JOB NO. 22-161
PRELIMINARY PERMIT DOCUMENTS
 SHEET NUMBER C-100



LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY
- EDGE OF PAVEMENT
- BUFFER LINE
- IRON PIPE FOUND
- IRON PIPE SET
- EX WTR EXISTING WATER MAIN
- EX SWR EXISTING SEWER MAIN
- EX 18" RCP EXISTING 18" RCP DRAINLINE
- EX SMH EXISTING SEWER MANHOLE
- EXISTING WATER VAULT
- EXISTING WATER METER
- EXISTING COMMUNICATIONS VAULT
- EXISTING ELECTRIC VAULT
- EXISTING TRAFFIC SIGNAL VAULT
- EXISTING ELECTRIC PANEL
- EXISTING GAS VALVE
- EXISTING TEL. CABINET
- EXISTING STORM VAULT
- EXISTING STORM INLET
- EXISTING LIGHT POLE
- EXISTING CONTOUR
- 43.50 PROPOSED SPOT ELEVATION TOP OF PAVEMENT (TYP)
- 44.00 PROPOSED SPOT ELEVATION TO MATCH EXISTING PAVEMENT
- 45.45(TS) PROPOSED SPOT ELEVATION TOP OF SIDEWALK (TYP)
- (LP)/(HP) LOW POINT/HIGH POINT IN PAVEMENT SCTN. (TYP)
- PROPOSED DRAINAGE FLOW

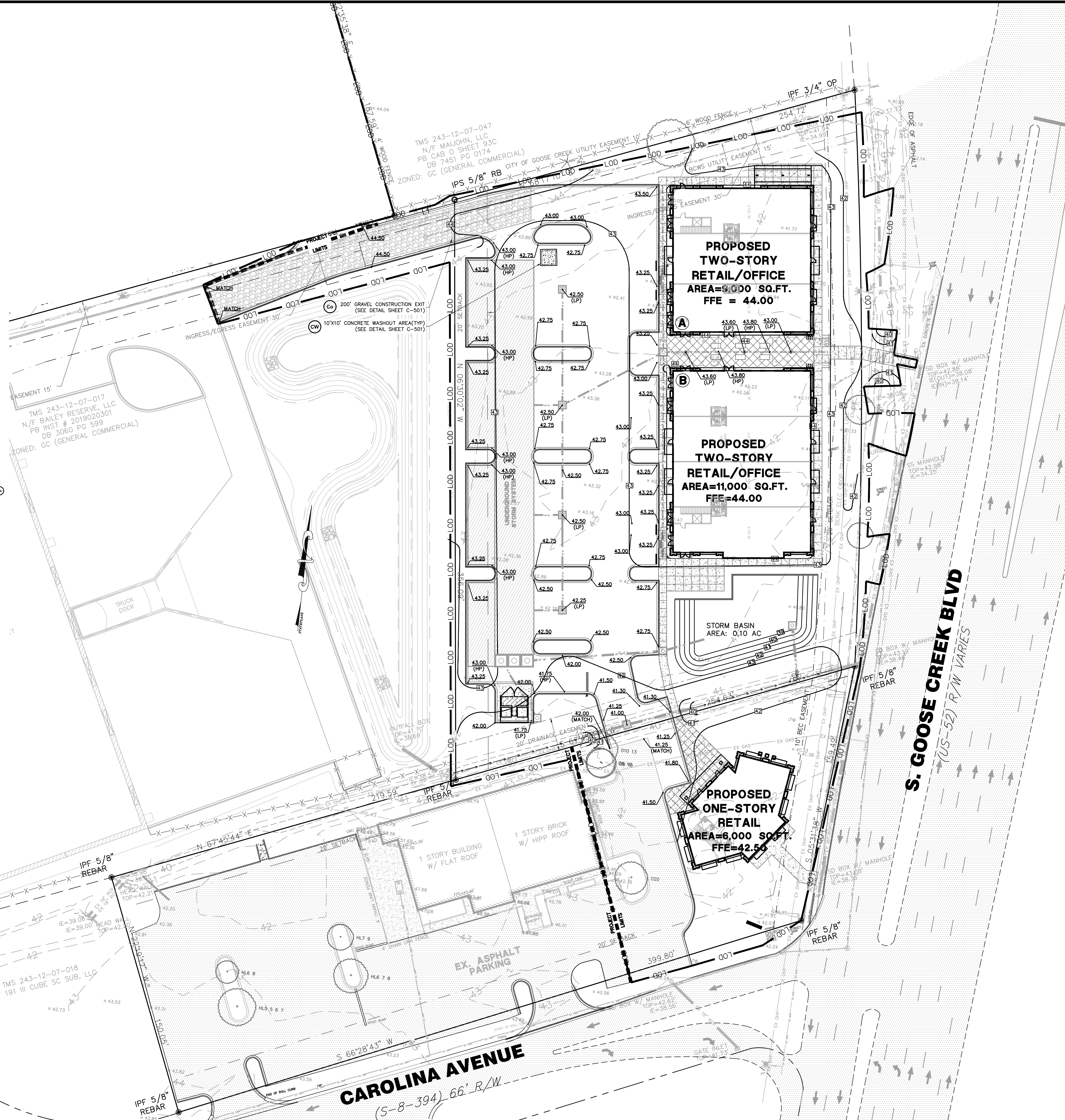
SWPPP LEGEND:

- LOD LIMITS OF CONSTRUCTION/SILT FENCE
- CONCRETE WASHOUT
- TYPE 'A' INLET PROTECTION
- CONSTRUCTION ENTRANCE/EXIT
- SILT FENCE
- TYPE 'F' INLET PROTECTION

GRADING NOTES

1. CONTRACTOR TO VERIFY ALL ADA ACCESS POINTS TO BUILDING WITH ARCHITECT PRIOR TO FINE GRADING & INSTALLATION OF CONCRETE FORMS TO ENSURE ALL ACCESSIBLE ROUTES MEET CODE REQUIREMENTS FOR BOTH HORIZONTAL & VERTICAL. ALL CROSS SLOPES IN THE ADA ROUTE MAY NOT EXCEED 2% SLOPE. IF ANY ROUTE EXCEEDS 2% SLOPE PLEASE CONTACT CIVIL ENGINEER TO DISCUSS PRIOR TO INSTALLATION OF LANDSCAPE.
2. CONTRACTOR TO VERIFY REQUIRED DROP AROUND BUILDING EXTERIOR FACADE AT FOUNDATION WHICH MAY VARY BETWEEN 4" - 8" WHERE PEDESTRIAN WALK DOES NOT ABUT BUILDING ENTRY. IN ADDITION TO REQUIRED DROP AT THE FOUNDATION CONTRACTOR TO SLOPE FINISH GRADE AWAY FROM BUILDING 6" IN THE FIRST 6' (PER BUILDING CODE (BC 2918) CONTRACTOR TO COORDINATE WITH CIVIL ENGINEER IF PLANS DON'T CLEARLY DEFINE OR PROVIDE THIS SLOPE

BENCH MARK DATA:
TBM#: PK NAIL FOUND IN ASPHALT
ELEV.=41.78 DATUM: NAVD 88'



TEMPORARY MAINTENANCE PLAN AND SCHEDULE:

DRY SEDIMENT BASIN

1. THE KEY TO A FUNCTIONAL SEDIMENT BASIN IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
2. ATTENTION TO SEDIMENT ACCUMULATIONS WITHIN THE BASIN IS EXTREMELY IMPORTANT. ACCUMULATED SEDIMENT DEPOSITION SHOULD BE CONTINUALLY CHECKED AND REMOVED WHEN NECESSARY.
3. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 50% OF THE DESIGN SEDIMENT STORAGE VOLUME OR 1/3 THE HEIGHT OF THE RISER STRUCTURE, WHICHEVER IS REACHED FIRST.
4. REMOVED SEDIMENT FROM THE BASIN SHALL BE PLACED IN STOCKPILE STORAGE AREAS OR SPREAD THINLY ACROSS THE DISTURBED AREA. STABILIZE THE REMOVED SEDIMENT AFTER IT IS RELOCATED.
5. INSPECTIONS OF SEDIMENT BASINS SHOULD BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24-HOURS OF EACH RAINFALL EVENT THAT PRODUCES 1/2-INCH OR MORE OF PRECIPITATION.
6. ALL TEMPORARY SEDIMENT BASINS, WHICH ARE NOT TO BE CONVERTED TO A DETENTION BASIN POST CONSTRUCTION, SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED.
7. DISTURBED AREA RESULTING FROM THE REMOVAL OF THE SEDIMENT BASIN SHOULD BE PERMANENTLY STABILIZED AND ADDITIONAL BMPs, SUCH AS SILT FENCE, SHOULD BE UTILIZED TO ACCEPT STORM WATER RUNOFF FROM THIS DISTURBED AREA UNTIL FINAL STABILIZATION IS REACHED.

SILT FENCE

1. THE KEY TO FUNCTIONAL SILT FENCE IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
2. REGULAR INSPECTIONS OF SILT FENCE SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2-INCH OR MORE OF PRECIPITATION.
3. ATTENTION TO SEDIMENT ACCUMULATIONS ALONG THE SILT FENCE IS EXTREMELY IMPORTANT. ACCUMULATED SEDIMENT SHOULD BE CONTINUALLY MONITORED AND REMOVED WHEN NECESSARY.
4. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE SILT FENCE.
5. REMOVED SEDIMENT SHALL BE PLACED IN STOCKPILE STORAGE AREAS OR SPREAD THINLY ACROSS DISTURBED AREA. STABILIZE THE REMOVED SEDIMENT AFTER IT IS RELOCATED.
6. CHECK FOR AREAS WHERE STORMWATER RUNOFF HAS ERODED A CHANNEL BENEATH THE SILT FENCE, OR WHERE THE FENCE HAS SAGGED OR COLLAPSED DUE TO RUNOFF OVERTOPPING THE SILT FENCE. INSTALL CHECKS/TIE-BACKS AND/OR REINSTALL SILT FENCE, AS NECESSARY.
7. CHECK FOR TEARS WITHIN THE SILT FENCE. AREAS WHERE SILT FENCE HAS BEGUN TO DECOMPOSE, AND FOR ANY OTHER CIRCUMSTANCE THAT MAY RENDER THE SILT FENCE INEFFECTIVE, REMOVE DAMAGED SILT FENCE AND REINSTALL NEW SILT FENCE IMMEDIATELY.
8. SILT FENCE SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED AND ONCE IT IS REMOVED, THE RESULTING DISTURBED AREA SHALL BE PERMANENTLY STABILIZED.

CONSTRUCTION ENTRANCE

1. THE KEY TO FUNCTIONAL CONSTRUCTION ENTRANCES IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
2. REGULAR INSPECTIONS OF CONSTRUCTION ENTRANCES SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2-INCH OR MORE OF PRECIPITATION.
3. DURING REGULAR INSPECTIONS, CHECK FOR MUD AND SEDIMENT BUILDUP AND PAD INTEGRITY. INSPECTION FREQUENCIES MAY NEED TO BE MORE FREQUENT DURING LONG PERIODS OF WET WEATHER.
4. RESHAPE THE STONE PAD AS NECESSARY FOR DRAINAGE AND RUNOFF CONTROL. WASH OR REPLACE STONES AS NEEDED AND AS DIRECTED BY SITE INSPECTOR. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE THE AMOUNT OF MUD BEING CARRIED OFF-SITE BY VEHICLES. FREQUENT WASHING WILL EXTEND THE USEFUL LIFE OF STONE PAD.
5. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO ADJACENT IMPERVIOUS SURFACES BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED WHEN THE WATER CAN BE DISCHARGED TO A SEDIMENT TRAP OR BASIN.
6. DURING MAINTENANCE ACTIVITIES, ANY BROKEN PAVEMENT SHOULD BE REPAIRED IMMEDIATELY.
7. CONSTRUCTION ENTRANCES SHOULD BE REMOVED AFTER THE SITE HAS REACHED FINAL STABILIZATION. PERMANENT VEGETATION SHOULD REPLACE AREAS FROM WHICH CONSTRUCTION ENTRANCES HAVE BEEN REMOVED, UNLESS AREA WILL BE CONVERTED TO AN IMPERVIOUS SURFACE TO SERVE POST-CONSTRUCTION.

INLET FILTERS

INSTALLATION INSTRUCTIONS:

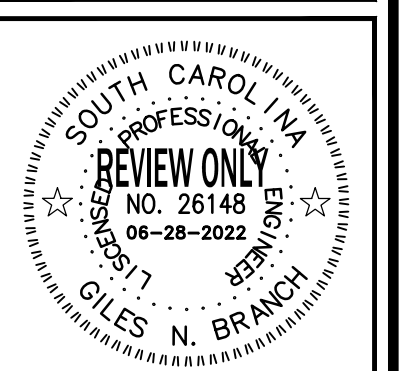
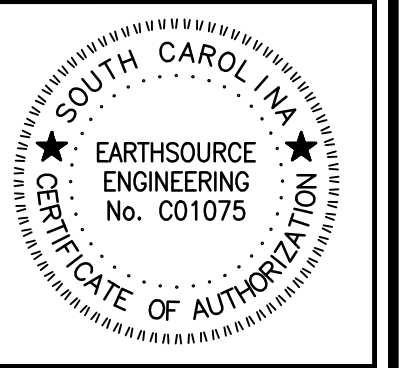
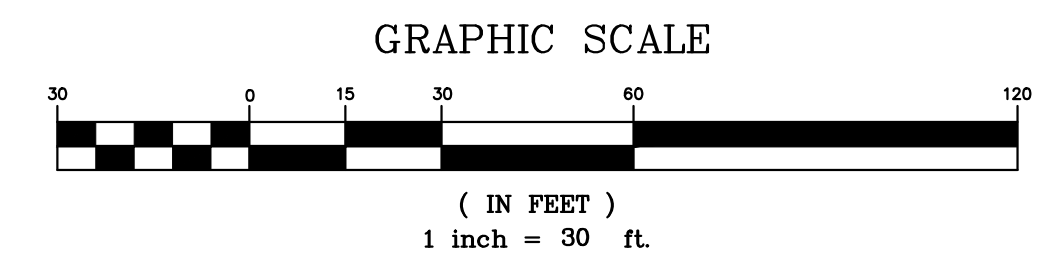
1. REMOVE GRATE FROM THE DRAINAGE STRUCTURE.
2. CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE.
3. DROP THE FLEXSTORM INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE.
4. REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8", THE THICKNESS OF THE STEEL HANGERS.

FREQUENCY OF INSPECTIONS:

1. INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT >1/2".
2. POST CONSTRUCTION INSPECTIONS SHOULD OCCUR 4 TIMES PER YEAR. IN SNOWFALL AFFECTED REGIONS ADDITIONAL INSPECTIONS SHOULD TAKE PLACE BEFORE AND AFTER SNOWFALL SEASON.
3. INDUSTRIAL APPLICATION SITE INSPECTIONS (LOADING RAMP, WASH RACKS, MAINTENANCE FACILITIES) SHOULD OCCUR ON A REGULARLY SCHEDULED BASIS NO LESS THAN 3 TIMES/YEAR.

MAINTENANCE GUIDELINE:

1. EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS, OR AS DIRECTED.
2. REMOVE THE GRATE, ENGAGE THE LIFTING BARS WITH THE FLEXSTORM REMOVAL TOOL, AND LIFT FROM DRAINAGE STRUCTURE.
3. DISPOSE OF SEDIMENT OR DEBRIS AS DIRECTED BY THE ENGINEER OR MAINTENANCE CONTRACTOR.
4. AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT.
5. REMOVE CAKED ON SILT FROM SEDIMENT BAG AND FLUSH WITH MEDIUM SPRAY WITH OPTIMAL FILTRATION.
6. REPLACE BAG IS TORN OR PUNCTURED TO >1/2" DIAMETER ON LOWER HALF OF BAG.



GOOSE CREEK RETAIL BLVD. RETAIL
100 S. GOOSE CREEK BLVD
GOOSE CREEK, SC 29445

GRADING, PAVING & INTERMEDIATE SWPPP

NO.	DATE	BY	REVISIONS

DRAWN: JRU
CHECKED: ERL
DATE: 08.02.22
JOB NO. 22-161
PRELIMINARY PERMIT DOCUMENTS
SHEET NUMBER C-300