



**CITY OF GOOSE CREEK ARCHITECTURAL REVIEW BOARD  
MONDAY, MAY 16, 2022 • REGULAR MEETING AT 6:00PM**

City Hall Council Chambers • 519 N. Goose Creek Blvd • Goose Creek, South Carolina 29445

**Board Members**

Chairperson Jen Wise • Vice Chairperson Mary Kay Soto  
Doug Dickerson • Jordan Pace • Armando Solarana • Robert Smith • Teri Victor

IN ACCORDANCE WITH THE FREEDOM OF INFORMATION ACT, THE ELECTRONIC AND PRINT MEDIA WERE DULY NOTIFIED, ALONG WITH A HARD COPY POSTED AT CITY HALL. • SHOULD YOU HAVE QUESTIONS OR COMMENTS, PLEASE CONTACT PLANNING AT (843)797-6220 EXTENSION 1116

**I. CALL TO ORDER & ROLL CALL**

**II. APPROVAL OF MINUTES**

A. APRIL 18, 2022

**III. OLD BUSINESS**

A. 2022-008SIG: **NY VAPE AND TOBACCO**: 216 ST. JAMES AVE-SIGNAGE

B. 2022-020SIG: **MAMA'S BAKERY**: 209 ST. JAMES AVE-SIGNAGE

C. 2022-007NBLD: **COBBLESTONE COMMERCIAL**: TMS 243-04-00-004 (NO ADDRESS) – NEW BUILD

**IV. NEW BUSINESS**

A. 2022-015SIG: **7ELEVEN**: 915 ST. JAMES AVE -SIGNAGE

B. 2022-023SIG: **CITI TRENDS INC**: 205 N. GOOSE CREEK BLVD SUITE 113-SIGNAGE

C. 2022-024SIG: **THE BARK PARK**: 109 ST. JAMES AVE-SIGNAGE

D. 2022-026PT: **DESTINY PROPERTIES GROUP**: 513 RED BANK ROAD - PAINT

E. 2022-027EMOD: **CROWFIELD BAPTIST CHURCH**: 100 HUNTERS LANE – EXTERIOR MODIFICATION

F. 2022-028EMOD: **SYNOVUS BANK**: 305 N. GOOSE CREEK BLVD – EXTERIOR MODIFICATION

**V. CLOSING REMARKS & ADJOURNMENT**



**CREEK  
COMPASS**  
City of Goose Creek

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# **ARCHITECTURAL REVIEW BOARD**

May 16, 2022

Regular Meeting 6:00PM

**City Hall Council Chambers**

519 N. Goose Creek Blvd

Goose Creek, SC 29445



**TO:** MEMBERS OF THE PLANNING COMMISSION

**FROM:** LILI ORTIZ-LUDLUM, ADMINISTRATIVE ASSISTANT

**DATE:** MAY 12, 2022

**SUBJECT:** NOTIFICATION OF ARCHITECTURAL REVIEW BOARD

This is to remind everyone that the next meeting of the ARB is scheduled for Monday, May 16, 2022, at 6:00 p.m. This meeting will take place at City Hall in Council Chambers.

Should you have any questions or comments prior to Tuesday's meeting, please do not hesitate to contact the Planning Department at 843-797-6220 or via e-mail at [planning-zoning@cityofgoosecreek.com](mailto:planning-zoning@cityofgoosecreek.com).

**MINUTES  
CITY OF GOOSE CREEK  
ARCHITECTURAL REVIEW BOARD MEETING  
MONDAY, APRIL 18, 2022, 6:00 P.M.  
MARGUERITE H. BROWN MUNICIPAL CENTER  
519 N. GOOSE CREEK BOULEVARD**

**I. CALL TO ORDER AND ROLL CALL**

Chairperson Wise called the meeting to order at 6:00 p.m. and Mr. Cook initiated roll call.

**Present:** Doug Dickerson; Jordan Pace; Armando Solarana; Robert Smith; Mary Kay Soto; Terri Victor; Jen Wise

**Absent:** None

**Staff Present:** Assistant City Administrator Brian Cook; Planning and Zoning Director Kendra Wise; Assistant to the City Administrator Alexis Kiser

**II. APPROVAL OF MINUTES - MARCH 21, 2022**

**Motion:** A motion was made to accept the minutes as submitted. **Moved by** Board Member Smith, **Seconded by** Board Member Victor.

**Discussion:** None.

**Vote:** All voted in favor (7-0). Motion carried.

**III. OLD BUSINESS**

**A. 2022-008SIG: NY VAPE AND TOBACCO: 216 ST. JAMES AVE-SIGNAGE**

The owner, Sam Aldailam, attended the meeting instead of his sign company. Mr. Aldailam was confused as to why he had to be there. Board Member Soto explained the process to Mr. Aldailam. Chairperson Wise stated since Mr. Aldailam is at maximum for the building sign, he is not allowed to have any more window signage. The board stated flag and yard signs are not permitted in the city limits.

**Motion:** A motion was made to defer the project until appropriate materials are provided from the sign company. **Moved by** Board Member Smith, **Seconded by** Board Member Pace.

**Discussion:** None

**Vote:** All in favor. Motion carried (7-0).



**IV. NEW BUSINESS**

**A. 2022-012SIG: CHIPOTLE MEXICAN GRILL: 220 ST. JAMES AVE-SIGNAGE**

The applicant presented color samples to the board. She stated they are proposing adding three wall signs, directional and monument signage. Discussion ensued regarding the amount of square footage allowed for signage. Chairperson Wise stated she would prefer if the monument sign matched the other signs with the opaque background. Chairperson Wise wanted to make sure that all the signs had opaque backgrounds instead of white. The applicant stated they were.

Chairperson Wise summarized the application stating they have exceeded their maximum square footage and will need to come down to 98.3 square feet. She stated the board also requests using opaque background on all signage and not white.

**Motion:** A motion was made to accept the application contingent on reducing the maximum square footage for signage to 98.3 square feet and all signage have opaque background. **Moved by** Board Member Soto, **Seconded by** Board Member Solarana.

**Discussion:** None

**Vote:** All in favor. Motion carried (7-0).

**B. 2022-014SIG: BP: 215 RED BANK ROAD-SIGNAGE**

The applicant presented the application. He stated they are rebranding the existing Circle K to BP. He stated they are trying to upgrade to an LED sign. He stated there are no structural changes just a face change.

**Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Victor, **Seconded by** Board Member Smith.

**Discussion:** None

**Vote:** All in favor. Motion carried (7-0).

**C. 2022-015SIG: 7ELEVEN: 915 ST. JAMES AVE -SIGNAGE**

Planning Director Kendra Wise stated 7Eleven will be moved to May's ARB meeting. No action was taken.

**D. 2022-019SIG: SKYMARKET: 117 S. GOOSE CREEK BLVD-SIGNAGE**

The applicant was not present. The board revisited this application at the end of the meeting.

**E. 2022-020SIG: MAMA'S BAKERY: 209 ST. JAMES AVE-SIGNAGE**

The applicant was not present. The board revisited this application at the end of the meeting.

**F. 2022-017RENO: PET REST: 132 RED BANK ROAD – RENOVATION**

The applicant presented the application. This proposal is to demolish the second floor of a duplex structure and upfit the remaining structure. The parcel is zoned General Commercial, and the proposed use is an approved use by right for the zoning classification.

The application is for a renovation to the rear structure. The applicant stated at one time this was used as a rental property on top of a garage. The owner now desires to put a low-profile pitch roof after the second floor is demoed. This structure will house a new piece of cremation equipment. The applicant stated new windows, doors, and painting of the inside and outside will be done.

**Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Smith, **Seconded by** Board Member Pace.

**Discussion:** None

**Vote:** All in favor. Motion carried (7-0).

**G. 2022-016NBLD:MOD CAR WASH: TMS# 252-01-03-053(NO ADDRESS)-NEW BUILD**

The proposal is for the construction of a new automatic car wash on TMS# 252-01-03-053 totaling 1.82 acres with 1.66 acres of disturbed area. The parcel is zoned General Commercial (GC), and this is an approved use by right for the zoning classification. The site of this development has some street frontage along Red Bank Road, but the majority of the street frontage is on Old State Road with access through the lot with Parker's Kitchen. The proposed site plan appears to meet all standards by zone for the GC zoning district as outlined in Appendix D of the Zoning and Land Use Ordinance. Ms. Kiser stated new plans were provided to staff late Friday which was given to the board on the day of the meeting. They are not the same plans that were submitted in the packet.

The applicant stated this site is located next to Parkers Kitchen and is currently wooded. The driveway would be off the current Parkers driveway, no new curb cuts will be made. Retention pond will be close to Red Bank Road to control storm water. It was stated there is a forty-eight (48) inch oak tree on the site and the applicant proposes to take it down. The board stated they would prefer to save it. It was stated the new trees going in will take a couple of years to fully grow.

The applicant presented material samples to the board. Discussion regarding fencing ensued. Discussion regarding topiary ensued.

Chairperson Wise summarized the application. She stated per the new site plans, not the one in the packet, the board request that fuchsia not be used other than in the signage. The board requests that the great tree be saved, if at all possible. The board requests the applicant to work with staff about their privacy fence on the church side and the fuchsia structure be replaced with silver. The board also request hardy plank be added on the north tunnel elevation.

**Motion:** A motion was made to accept the application that was submitted today, not the plans that are in the packet with the following conditions: Fuchsia only be used on signage, save the existing tree, to work with staff regarding the privacy fence, hardy plank be added to the north tunnel elevation, and add a goose topiary in the front. **Moved by** Board Member Soto, **Seconded by** Board Member Victor.

**Discussion:** None

**Vote:** All in favor. Motion carried (7-0).

#### **H. 2022-018NBLD: SPECULATIVE WAREHOUSE: 4 ALLIANCE DRIVE- NEW BUILD**

The proposal is for the construction of a new 225,073 square foot speculative warehouse/distribution warehouse with office space located on TMS# 234-00-00-095. The parcel is 22.82 acres on a cleared lot and is zoned Light Industrial (LI). The proposed use is an approved use by right for the zoning classification.

The applicant presented the application. It is a concrete tilt up building. The materials are concrete, glass and garage doors. The applicant provided photos of projects they have done in the past. Chairperson Wise stated the applicant is limited to plantings on one side of the property due to wetlands; she asked that those plantings be moved to the North side as it is next to Berkeley County residential properties. The applicant answered questions from the board.

**Motion:** A motion was made to accept the application as submitted. **Moved by** Board Member Smith, **Seconded by** Board Member Soto.

**Discussion:** None

**Vote:** All in favor. Motion carried (7-0).

The board revisited **SkyMarket** Application. The applicant did not show. Chairperson Wise stated they do not meet the ordinance as submitted as they have asked for a hundred and fifty-six (156) square feet and are only allowed seventy-one (71) square feet.

**Motion:** A motion was made to deny the application as submitted until they meet the allowable signage limit. **Moved by** Board Member Soto, **Seconded by** Board Member Solarana.

**Discussion:** None

**Vote:** All in favor. Motion carried (7-0).

The board revisited **Mama's Bakery**. The applicant did not show.

**Motion:** A motion was made to defer the application until next month. **Moved by** Board Member Pace, **Seconded by** Board Member Victor.

**Discussion:** None

**Vote:** All in favor. Motion carried (7-0).

V. **CLOSING REMARKS AND ADJOURNMENT**

Ms. Kiser stated this is the first-time staff has included staff reports for ARB. She stated the process may change a bit as we figure out how this may work best. It was stated the new sign code will be brought to the May City Council workshop. Mr. Cook stated Multifamily projects will be coming before the board and information will be provided.

**Motion:** A motion was made to adjourn (7:11p.m.) **Moved By:** Board Member Pace, **Seconded By:** Board Member Victor.

**Discussion:** There was none.

**Vote:** All voted in favor (7-0). Motion carried.

\_\_\_\_\_ Date \_\_\_\_\_  
Jen Wise, Chairperson



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2022-008SIG  
NY VAPE AND TOBACCO

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**PAID**

OFFICE USE ONLY	
PERMIT #:	045124
AMOUNT DUE: \$	75.00
DATE PAID:	1/10/2022

### CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

Today's Date: 10/4/21

Permit Fee: \$75.00

1. Business Owner Sami Altari Business Phone \_\_\_\_\_  
 Name of Business NY Vape and Tobacco Alternate Phone [REDACTED]  
 Street Address of Business 216 St. James Ave Goose Creek SC, 29445  
 Landlord/Lessor GS & GG LLC Landlord's Phone [REDACTED]  
 Sign Company Absolute Sign Works Sign Co. Phone [REDACTED]  
 Sign Co. Contact Chris Berning Sign Co. Address [REDACTED]

2. Cost of Sign(s) \$ [REDACTED] Sign Installation Cost \$ [REDACTED] Total Cost \$ [REDACTED]

3. How many signs are you applying for? 2 How many signs does this business already have? 0

4. What kind of signs does this business already have? \_\_\_\_\_  None

5. What type of business is applying for this sign permit:  
 A. A stand alone business?  Yes  No  
 B. A part of a shopping center?  Yes  No If yes, shopping center name: \_\_\_\_\_

6. What is the TMS number for this property? 243 - 04 - 00 - 044

7. What is the front setback of the business in feet? 70+/- (The distance from the front property line to the front of business)  
 A. For corner lots only, what is the front setback for second street frontage in feet? \_\_\_\_\_

8. What is the width of the business in feet? 20 (The distance from wall to wall)  
 A. For corner lots only, what is the width of the business for second street frontage in feet? \_\_\_\_\_

9. What is the property's road frontage in feet? \_\_\_\_\_ (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:  
 A. The storefront in relation to adjacent businesses;  
 B. The specific location of proposed sign(s) on the property or building; and  
 C. The actual sign if it already exists.

OFFICE USE ONLY	
MAX. NO. OF ALLOWED SIGNS:	<u>2</u>
MAX ALLOWED SIGN AREA:	<u>20sf</u>

11. Please attach drawings of each proposed sign showing (drawn to scale) :  
 A. The completed sign as it will actually appear on the building  
 B. All dimensions;  
 C. Where the colors will appear;  
 D. The location on the property (on a plat) of proposed & existing freestanding signs  
 E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.

- Please submit this application by the 1<sup>st</sup> Monday of the month for consideration that month by the ARB.
- The ARB meets on the 3<sup>rd</sup> Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

Note: This application contains multiple pages



**SIGN INFORMATION TABLE**

<b>Required Information</b>	<b>Channel Letters Sign 1</b>	<b>Tenant Panels Sign 2</b>	<b>Sign 3</b>
Materials: (metal, plastic, wood, etc.)	Metal, Plastic, Acrylic	Acrylic, vinyl	
Illumination: Exterior, interior or not lighted	Interior	not lighted	
Type of Sign:	Channel Letters	Replacement Vinyl for tenant panels	
Height (FEET)	1.6		
Width (feet)	14		
Area (square feet)	19.43		
All colors used on sign	White, Black, Tan		
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	N/A		
Projection from building or cabinet width (thickness)	8"		
Number of styles of lettering	1		
Height of letters (if channel letters)	20"		
If mounting individual letters, space between letters	1" average		
If mounting individual letters, space between words	7.75"/6.5"		
If window sign, size of window			
If changeable copy sign (reader board), number of lines			
If freestanding sign, distance between sign and street curb (ft)			
If freestanding sign, total height above grade (ft)			
If freestanding sign, landscaping materials to be planted at base of sign			

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.

C. Berring  
Signature of Applicant

10/4/21  
Date

<b>OFFICE USE ONLY</b>	
Remarks: _____	_____
Approval: Zoning Administrator _____	Issued by: _____ Date: _____



**Channel Letter Dimensions**

measurements	11.456 x 19.341	12.637 x 20	11.273 x 19.341	13.277 x 19.341	11.863 x 20	11.863 x 20	12.637 x 20	13.178 x 19.987	13.219 x 19.341	13.277 x 19.341	10.349 x 19.341	10.283 x 19.341
square feet	1.53	1.75	1.50	1.76	1.63	1.63	1.75	1.81	1.86	1.5	1.38	1.36

**19.46 total sqft**

**Acrylic Panel Replacement**







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2022-020SIG  
MAMA'S BAKERY

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# CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

PERMIT #: 045538	OFFICE USE ONLY
AMOUNT DUE: \$ 75.00	DATE PAID: 3 / 23 2022
LICENSE#: _____	DATE PAID: ____ / ____ / ____

**PAID**

Permit Fee: \$75.00

Today's Date: 3-21-22

- Business Owner \_\_\_\_\_ Business Phone \_\_\_\_\_  
 Name of Business MAMA'S BAKERY Alternate Phone \_\_\_\_\_  
 Street Address of Business 209 ST. JAMES AVE.  
 Landlord/Lessor \_\_\_\_\_ Landlord's Phone \_\_\_\_\_  
 Sign Company PUBLICITY SIGNS Sign Co. Phone \_\_\_\_\_  
 Sign Co. Contact RICHARD LOHIZIT Sign Co. Address \_\_\_\_\_
- Cost of Sign(s) \$ \_\_\_\_\_ Sign Installation Cost \$ \_\_\_\_\_ Total Cost \$ \_\_\_\_\_
- How many signs are you applying for? 1 How many signs does this business already have? \_\_\_\_\_
- What kind of signs does this business already have? \_\_\_\_\_  None
- What type of business is applying for this sign permit:  
 A. A stand alone business?  Yes  No  
 B. A part of a shopping center?  Yes  No If yes, shopping center name: THE CREEK PLAZA.
- What is the TMS number for this property? \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_
- What is the front setback of the business in feet? 13' (The distance from the front property line to the front of business)  
 A. For corner lots only, what is the front setback for second street frontage in feet? \_\_\_\_\_
- What is the width of the business in feet? 20' (The distance from wall to wall)  
 A. For corner lots only, what is the width of the business for second street frontage in feet? \_\_\_\_\_
- What is the property's road frontage in feet? 260' (This only applies to shopping centers erecting a freestanding sign)
- Please attach photos showing:  
 A. The storefront in relation to adjacent businesses;  
 B. The specific location of proposed sign(s) on the property or building; and  
 C. The actual sign if it already exists.
- Please attach drawings of each proposed sign showing (drawn to scale) :  
 A. The completed sign as it will actually appear on the building  
 B. All dimensions;  
 C. Where the colors will appear;  
 D. The location on the property (on a plat) of proposed & existing freestanding signs  
 E. The location on the building of proposed & existing building signs
- Please attach swatches, samples, and/or paint chips of all proposed colors to the application.
- Please complete the Sign Information Table located on the following page.
- You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
  - The ARB meets on the 3<sup>rd</sup> Monday of each month. (Please see ARB schedule for application deadlines and meetings.)

OFFICE USE ONLY
MAX. NO. OF ALLOWED SIGNS: <u>2</u>
MAX ALLOWED SIGN AREA: <u>20sf</u>

**NOTE:** Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

**SIGN INFORMATION TABLE**

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	STAINLESS STEEL	Acrylic	
Illumination: Exterior, interior or not lighted	INTERNAL		
Type of Sign:	CHANNEL LETTERS	Pylon Face	
Height (FEET)	3' x		
Width (feet)	8'		
Area (square feet)	24 #	Yellow white BLACK	
All colors used on sign	YELLOW BLACK WHITE		
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	N/A	N/A	
Projection from building or cabinet width (thickness)	3"		
Number of styles of lettering	<del>2</del> " 2	2	
Height of letters (if channel letters)	27"		
If mounting individual letters, space between letters	2-3"		
If mounting individual letters, space between words	5-6"		
If window sign, size of window			
If changeable copy sign (reader board), number of lines			
If freestanding sign, distance between sign and street curb (ft)			
If freestanding sign, total height above grade (ft)			
If freestanding sign, landscaping materials to be planted at base of sign			

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

OFFICE USE ONLY

Remarks: \_\_\_\_\_

Approval: Zoning Administrator \_\_\_\_\_

Issued by: \_\_\_\_\_

Date: \_\_\_\_\_



**publicity**  
SIGN AND PRINTING

**SIGN**



**MAMA'S BAKERY  
AND RESTAURANT**





# MAMA'S BAKERY AND RESTAURANT

209 St James Ave Suite B1, Goose Creek, SC 29445, USA

## REQUIREMENTS

### SIGN

<b>TYPE</b>	<b>CHANNELS LETTERS</b>
<b>ILLUMINATION</b>	<b>LED</b>
<b>MEASURES</b>	<b>8 x 3 ft</b>

## STREET VIEW - PHOTO REFERENCE



SIGN

The following diagram has been created for the sole purpose of being a visual support for our client, the ideas presented are original and unique to the client. Any reproduction not approved by the Publicity Sign and Printing team is strictly prohibited

REVISION

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# MAMA'S BAKERY AND RESTAURANT

209 St James Ave Suite B1, Goose Creek, SC 29445, USA

## IMPOSED IMAGE

SIGN

TYPE	CHANNELS LETTERS
ILLUMINATION	LED
MEASURES	8 x 3 ft

## MEASURES

### FRONT VIEW

8 ft



### UPSIDE VIEW



The following diagram has been created for the sole purpose of being a visual support for our client, the ideas presented are original and unique to the client. Any reproduction not approved by the Publicity Sign and Printing team is strictly prohibited

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# MAMA'S BAKERY AND RESTAURANT

209 St James Ave Suite B1, Goose Creek, SC 29445, USA

## IMPOSED IMAGE

### SIGN

TYPE	CHANNELS LETTERS
ILLUMINATION	LED
MEASURES	8 x 3 ft

## MEASURES

### SIDE VIEW



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# MAMA'S BAKERY AND RESTAURANT

209 St James Ave Suite B1, Goose Creek, SC 29445, USA

## IMPOSED IMAGE

SIGN

TYPE	CHANNELS LETTERS
ILLUMINATION	LED
MEASURES	8 x 3 ft

## PERSPECTIVE

### PERSPECTIVE VIEW



The following diagram has been created for the sole purpose of being a visual support for our client, the ideas presented are original and unique to the client. Any reproduction not approved by the Publicity Sign and Printing team is strictly prohibited

REVISION

20 of 100





# MAMA'S BAKERY AND RESTAURANT

209 St James Ave Suite B1, Goose Creek, SC 29445, USA

## IMPOSED IMAGE

### SIGN

TYPE	CHANNELS LETTERS
ILLUMINATION	LED
MEASURES	8 x 3 ft

## MOCKUP



## RELATIVE POSITION

The following diagram has been created for the sole purpose of being a visual support for our client, the ideas presented are original and unique to the client. Any reproduction not approved by the Publicity Sign and Printing team is strictly prohibited

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## STREET SIGN



### MAMA'S BAKERY AND RESTAURANT





# MAMA'S BAKERY AND RESTAURANT

209 St James Ave Suite B1, Goose Creek, SC 29445, USA

## REQUIREMENTS

### SIGN

<b>TYPE</b>	<b>PYLON FACE</b>
<b>ILLUMINATION</b>	<b>NON ILLUMINATED</b>
<b>MEASURES</b>	<b>120 x 30 in</b>

## STREET VIEW - PHOTO REFERENCE



SIGN

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REVISION

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# MAMA'S BAKERY AND RESTAURANT

209 St James Ave Suite B1, Goose Creek, SC 29445, USA

## IMPOSED IMAGE

SIGN

TYPE	PYLON FACE
ILLUMINATION	NON ILLUMINATED
MEASURES	120 x 30 in

## MEASURES

### FRONT VIEW



### PERSPECTIVE VIEW



The following diagram has been created for the purpose of being a visual support for our client, the presented are original and unique to the client. Any reproduction not approved by the Publicity Sign and team is strictly prohibited





# MAMA'S BAKERY AND RESTAURANT

209 St James Ave Suite B1, Goose Creek, SC 29445, USA

## IMPOSED IMAGE

### SIGN

TYPE	PYLON FACE
ILLUMINATION	NON ILLUMINATED
MEASURES	120 x 30 in

## MOCKUP



## RELATIVE POSITION

The following diagram has been created for the sole purpose of being a visual support for our client, the ideas presented are original and unique to the client. Any reproduction not approved by the Publicity Sign and Printing team is strictly prohibited

REVISION

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SIGN AND PRINTING





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2022-007NBLD  
COBBLESTONE  
COMMERCIAL

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**MEMORANDUM**

**TO:** City of Goose Creek Architectural Review Board  
**FROM:** Alexis Kiser, Assistant to City Administrator  
**RE:** Cobblestone Commercial Development (TMS# 222-00-00-164)  
**DATE:** 4/25/2022

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Staff has reviewed the submittal to the Architectural Review Board (ARB) and offers the following commentary:

**General Conformance Analysis**

1. The applicant is proposing a new commercial development along St. James Avenue (TMS# 222-00-00-164) on 3.4 acres. The development will consist of four (4) buildings providing more than 24,000 SF of commercial space. This parcel is zoned Planned Development (PD).
2. The parcel is not cleared and has a number of existing trees on the property. A tree survey was not provided to staff.
3. For the purposes of this review the buildings have been labeled 1, 2, 3, and 4 on page C1-03 to aid in conversation. These were labeled by staff for discussion and the applicant may refer to these buildings differently.

**Architectural Review Design Guidelines Analysis**Site design

The site consists of four (4) proposed commercial buildings. Buildings 1 and 2 façades will face St. James Avenue. Building 2 will have two rooftops on either side of the structure appearing to be for the “dining” labeled on the first floor. Building 1 will have two pitched roofs alongside a raised center roof line. The entrances for Building 1 and 2 will face the interior of the development towards the parking lot. Buildings 3 and 4 at the rear of the property will be one. The space between building 3 and 4 appears to be a courtyard. The landscape plan provided for this development does not include canopy trees in this area, the rendering shows canopy trees. Trees in this area will be an added value for the development. The addition of stand-alone planters in this area would also add to the site design. To the side of Building 4 a patio area is shown. This area provides the development an opportunity for unique landscaping and placemaking design. A tree survey was not provided to staff for this site and it is unclear how many, and the species of existing trees will remain. Finally, the conceptual site plan shows a crosswalk in the middle of the development made of pervious pavers, this will connect both sides of the development leading to the courtyard area between Buildings 3 and 4. Additionally, please see the excerpted section from §151.083 Landscaping Requirements below, these items were not provided in submitted application and require attention.

**§151.083 Landscaping Requirements****(A) Design Principles**

- (5) Landscaping shall be required between buildings and sidewalks and/or buildings and curbing, and between parking lots and driveways.

**(C) Commercial, institutional, industrial, and/or multi-family residential design requirements**





(3) In addition, the site plan for the development detailing the proposed building footprint(s) and parking arrangements shall include an overlay of the tree survey at the same scale showing the location of any protected trees and grand trees as defined in §151.080 Use of Land or Building.

(5) A strong emphasis shall be placed on the appearance of the streetscape. Three canopy trees of a minimum of two- and one-half inch caliper shall be required for each 100 linear feet of street frontage using species approved during the Design Review Process. Such tree types shall be consistent with each block and evenly spaced, with exceptions made for curb cuts, utilities, and other obstructions.

(E) Landscaping for parking lot

(2) To provide a canopy, a planted island or break at least five feet wide with at least one tree and two shrubberies, or two trees shall be installed for every ten spaces of parking area.

(G) Landscaping for building foundations

(2) Planters may be required as a design element to soften the building exterior and enhance the streetscape appearance.

(H) Landscaping for retention areas

(1) Retention ponds shall be landscaped with appropriate plants and materials as recommended by best management practices for bioretention areas.

#### Architectural theme

The higher elevation buildings being set closer to the public right-of-way while the one-story buildings set towards the rear provides a cohesive development. The HVAC systems for Buildings 1 and 2 face the public right-of-way but are shielded from view in the center of the roof. The conceptual design of each building appears to show a mix of building materials that create variation between and among each building. Specific building materials were not provided in this conceptual design.

#### Architectural interest

There are several points of architectural interest that adds to the overall theme of the development. First, Buildings 1 and 2 not being identical provides variation from within the development and from St. James Avenue. Both feature a raised center roofline with mixed building materials. Building 1 shows a large window below the center roofline providing variation in each level and with Building 2. Interest to the development is shown in Building 2 with the opportunity for rooftop dining. Buildings 3 and 4 are identical which provides continuity to the development while still providing architectural interest. These building façades show variation every 24' – 7 ¼" with raised parapets for each single shop. The windows are recessed and distinguish themselves as different from that of the building, including them along the side of the building as well.

#### Building design

The height, width, and general proportions of all buildings within this development complement each other and the built environment around it. The façade of the building walls are proportioned using a variety of architectural features including, different building materials, windows, raised roof lines, all reducing monotonous façade walls. All primary entrances of each building face the parking lot at the interior of the development. The rear elevations of Buildings 3 and 4 shield HVAC units from view. All rooftop mechanical equipment in Buildings 1 and 2 are shielded from public view.



---

### Site Elements

The refuse collector is located in the parking lot, near the back of Building 4. According to plans previously, dated 8/27/2021, the refuse enclosure will be 8' tall wood fence, in the color "dover gray". The patio area adjacent to Building 4 is next to the parking area. This could benefit from some decorative fencing or landscaping around the perimeter to define the area.

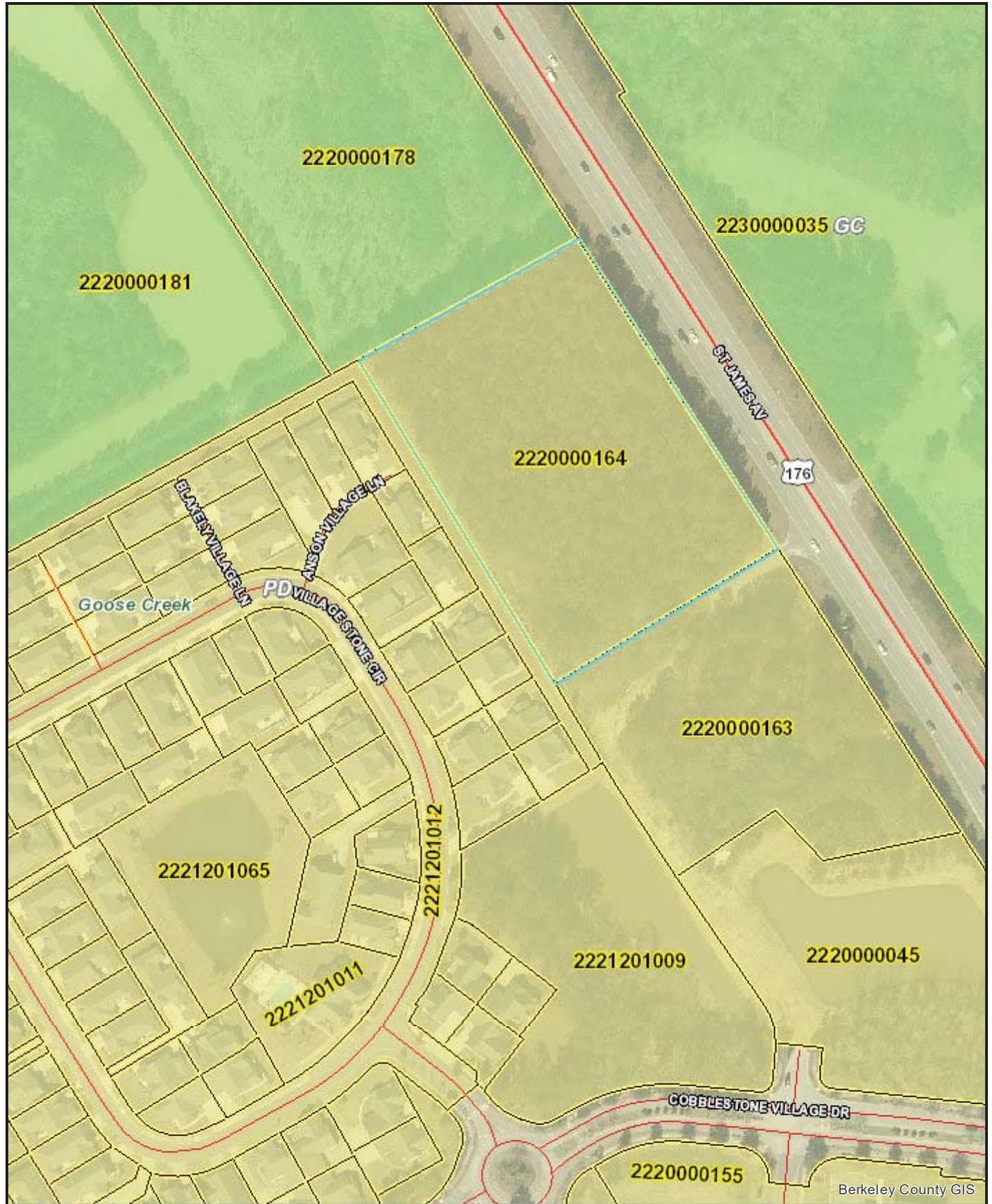
### **Staff Recommendation**

To supplement the applicant's submission, the general conformance analysis, and the architectural review design analysis, staff asks the Architectural Review Board to consider the following staff recommendations.

- Ask the applicant to work with staff to formulate a landscape plan for the entire development that not only meets the minimum requirements but that adds architectural interest. The landscape plan should meet all requirements stated in §151.083 Landscaping Requirements including:
  - Landscaping for building foundations
  - Landscaping for retention areas
  - Landscaping for parking areas
- Require landscaping between Buildings 3 and 4
- Require landscaping and/or fencing within and around the patio area adjacent to Building 4 and the parking lot.
- The current submission only shows one species type per canopy tree, understory tree, and shrub in the buffer to the back of the property. Species diversification is important to maintain the health of plantings in the buffer. Staff asks the ARB to require applicant to diversify species in the buffer.

Approval of this application by the ARB at this time does not denote approval of the number, size, color, or location of signs. The development of the site must meet all minimum zoning requirements, which will be verified by staff, after ARB approval. The development of the site must meet all minimum zoning requirements, which will be verified by staff, after ARB approval.

# Berkeley County GIS Online Mapping



Berkeley County GIS



1 inch = 167 feet



Date: 5/10/2022

Berkeley County GIS



The county of Berkeley and its GIS Department disclaims accountability for this product and makes no warranty express or implied concerning the accuracy thereof. Responsibility for interpretation and application of this product lies with the user.





**ARB SCOPE OF WORK FORM/**

**APPLICATION / INFORMATION SUMMARY**

**DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1116**

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

<b>Property Address:</b> St. James Avenue, Summerville, SC 29486		<b>TMS No.:</b> 222-00-00-164
<b>Review request:</b>	<b>For:</b>	<b>Preliminary meeting date requested:</b> 12/20/2021
<input checked="" type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other	

<b>Property Owner:</b> Oaks Country Club Apartments, LLC	<b>Daytime phone:</b> [REDACTED]
<b>Applicant:</b> Bilal Rehman	<b>Daytime phone:</b> [REDACTED]
<b>ARB Meeting Representative:</b> Tim Hazelbaker, AIA and Live Oak Consultants, LLC c/o Jake Serrano	<b>Contact Information:</b> [REDACTED] jserrano@liveoakconsultants.com
<b>Applicant's mailing address:</b> [REDACTED]	
<b>City:</b> [REDACTED]	<b>State:</b> [REDACTED] <b>Zip:</b> [REDACTED]
<b>Applicant's e-mail address:</b> [REDACTED]	
<b>Applicant's relationship:</b> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

**Materials/Colors Used:** (specific color(s)/manufacture #'s listed: samples must be presented to Board  attached)  
 (Example: Building Materials, Exterior Colors, Landscaping, Lighting)

The scope of materials and colors used are repetitive on each building. Nichia Fiber Cement is the product specified with acceptable alternatives allowed. The architectural wall panels where brick is detailed is to be VintageBrick; white wash. Other manufactures are being considered for a whiter look. The architectural wall panels where white planking is detailed is to be Miraia; snow with a 9" repeat pattern. Trim in moldings and window-wall trim is to be by the manufacturer or shall be PVC. Trim will be in both black and white in Kynar factory finished metal for wall copings. A contrasting horizontal ribbed panel occurs over doorways. It is to be a ribbed panel with Kynar factory finished metal in a dark charcoal color. The storefront system is to be gray glazing in black anodized frames. Several egress doors are shown in a natural wood tone, but these are meant to be colored differently for each shop tenant for variety.

**Scope of Work:** (please give a detailed description)

Proposed commercial development of a vacant site on St. James Avenue. The site improvements will consist of clearing and grubbing the existing wooded land, grading of the existing contours, construction of four (4) new buildings, new asphalt and concrete pavement, utilities, and landscaping.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

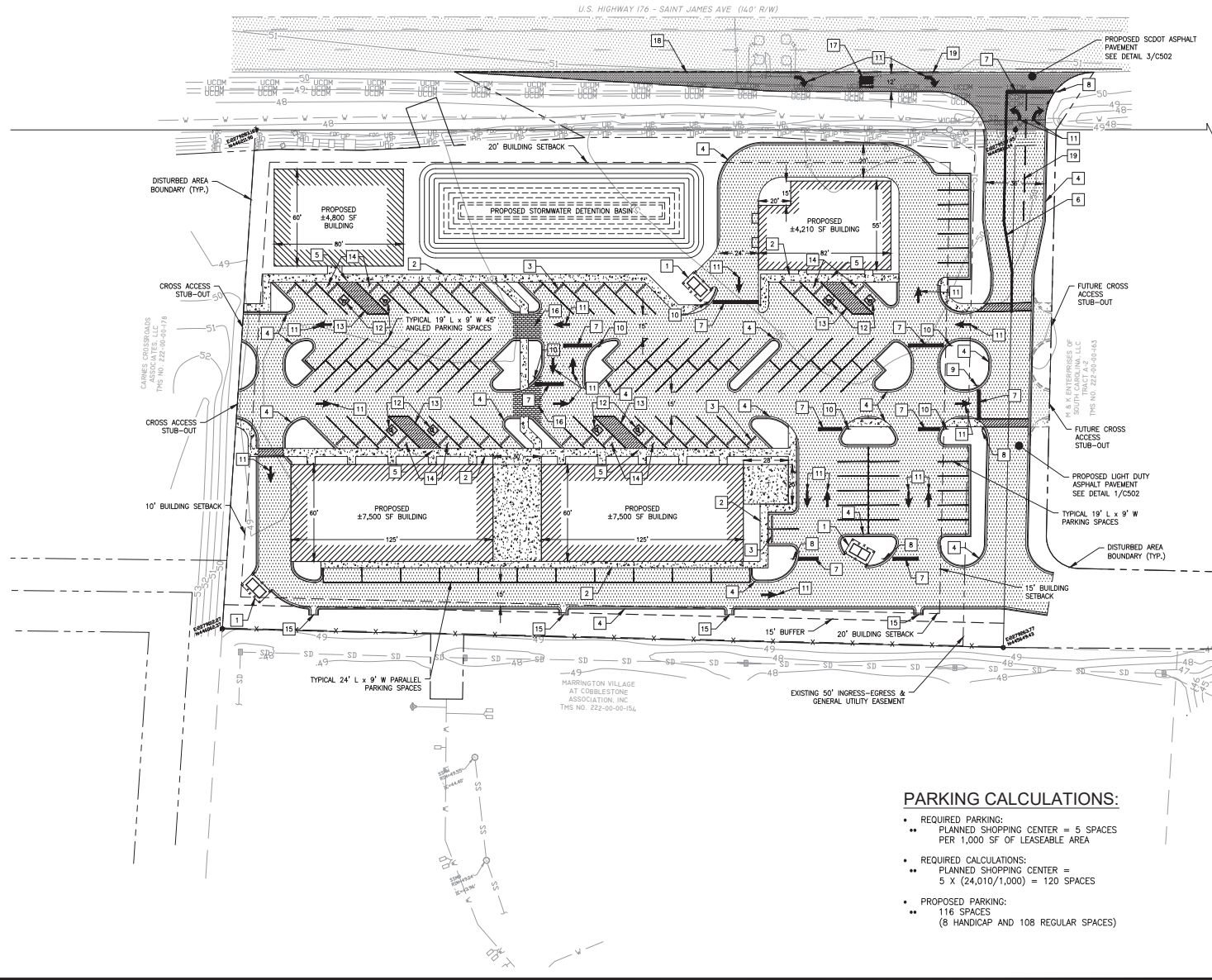
**Applicant's signature:** Bilal Rehman **Date:** 12/06/2021

**Print name legibly:** Bilal Rehman

11.30.2021



FILE NAME: 202100061-03.dwg  
 USER NAME: Anne Shimp  
 LAST UPDATE: 4/7/2022 8:49 AM  
 PLOTTED: 4/7/2022 8:49 AM  
 PLOT: P:\BID\Rehman\20210006 - 3.4 Acres St. James Ave\Drawing.dwg



**PARKING CALCULATIONS:**

- REQUIRED PARKING:  
 \*\* PLANNED SHOPPING CENTER = 5 SPACES PER 1,000 SF OF LEASEABLE AREA
- REQUIRED CALCULATIONS:  
 \*\* PLANNED SHOPPING CENTER = 5 X (24,010/1,000) = 120 SPACES
- PROPOSED PARKING:  
 \*\* 116 SPACES  
 (8 HANDICAP AND 108 REGULAR SPACES)

**REFERENCE DRAWINGS:**

1. SEE DRAWING C0-01 FOR CIVIL ABBREVIATIONS AND LEGEND.
2. SEE DRAWING C0-02 FOR CIVIL GENERAL NOTES.
3. SEE DRAWING C1-01 FOR EXISTING CONDITIONS PLAN.
4. SEE DRAWING C1-02 FOR DEMOLITION PLAN.
5. SEE DRAWING C1-03 FOR LAYOUT AND PAVING PLAN.
6. SEE DRAWING C1-04 FOR EROSION AND SEDIMENT CONTROL PLAN.
7. SEE DRAWING C1-05 FOR GRADING AND DRAINAGE PLAN.
8. SEE DRAWING C1-06 FOR UNDERGROUND UTILITIES PLAN.

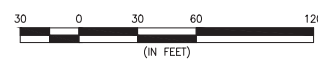
**CONSTRUCTION NOTES:**

1. SIGHT DISTANCE VISIBILITY AT ALL EXITS AND/OR INTERSECTIONS SHALL BE MAINTAINED IN ACCORDANCE WITH SCODOT ACCESS AND ROADSIDE MANAGEMENT STANDARDS MANUAL.
2. ALL TRAFFIC CONTROL DEVICES SHALL BE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) COMPLIANT.
3. PROVIDE WHEEL STOPS AT ALL PARKING SPACES ADJACENT TO SIDEWALK.
4. ALL PAVEMENT WITHIN THE SCODOT RIGHT OF WAY SHALL MEET SCODOT MINIMUM SPECIFICATIONS. SEE DETAIL 3/C5-02 FOR PAVEMENT SECTION.

**KEY NOTES:**

1. DUMPSTER ENCLOSURE (SEE DETAIL 1/C5-01)
2. 5" CONCRETE TURNDOWN SIDEWALK (SEE DETAILS 6/C5-01 AND 7/C5-01)
3. PRECAST CONCRETE WHEEL STOP (SEE DETAIL 5/C5-01)
4. CONCRETE CURB AND GUTTER (SEE DETAIL 2/C5-03)
5. FLARED SIDEWALK RAMP (SEE DETAIL 8/C5-01)
6. 4" DOUBLE YELLOW CENTERLINE STRIPING (SEE DETAIL 1/C5-03)
7. 24" SOLID WHITE STOP BAR (SEE DETAIL 2/C5-03)
8. 36" STOP SIGN (SEE DETAIL 3/C5-03)
9. ONE WAY SIGN (SEE DETAIL 3/C5-03)
10. STOP/ONE WAY COMBINATION SIGN (SEE DETAIL 3/C5-03)
11. DIRECTIONAL ARROW PAVEMENT MARKING (SEE DETAIL 4/C5-03)
12. ACCESSIBILITY PARKING SYMBOL (SEE DETAIL 5/C5-03)
13. ACCESSIBLE PARKING AISLE STRIPING (SEE DETAIL 6/C5-03)
14. ADA VAN ACCESSIBLE PARKING SIGN (SEE DETAIL 7/C5-03)
15. CONCRETE FLUME (SEE DETAIL 3/C5-01)
16. PERVIOUS PAVEMENT (SEE DETAIL 5/C5-02)
17. "ONLY" TEXT PAVEMENT MARKING (SEE DETAIL 8/C5-03)
18. 4" WHITE SKIP (2"-5") LINES (SEE DETAIL 9/C5-03)
19. 4" WHITE BROKEN (10"-30") LINES (SEE DETAIL 10/C5-03)

**LAYOUT AND PAVING PLAN**



**LOC**  
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 www.LiveOakConsultants.com  
 Email: info@LiveOakConsultants.com

Professional Engineer Seal for Bilal Rehman, License No. 3886, State of South Carolina, Exp. 07/23.

CLIENT:  
**BILAL REHMAN**


B	04/07/22	KWS
ISSUED FOR PERMITTING		
A	08/27/21	KWS
ISSUED FOR PERMITTING		
REV.	DATE	REV. BY

REVISION INFORMATION

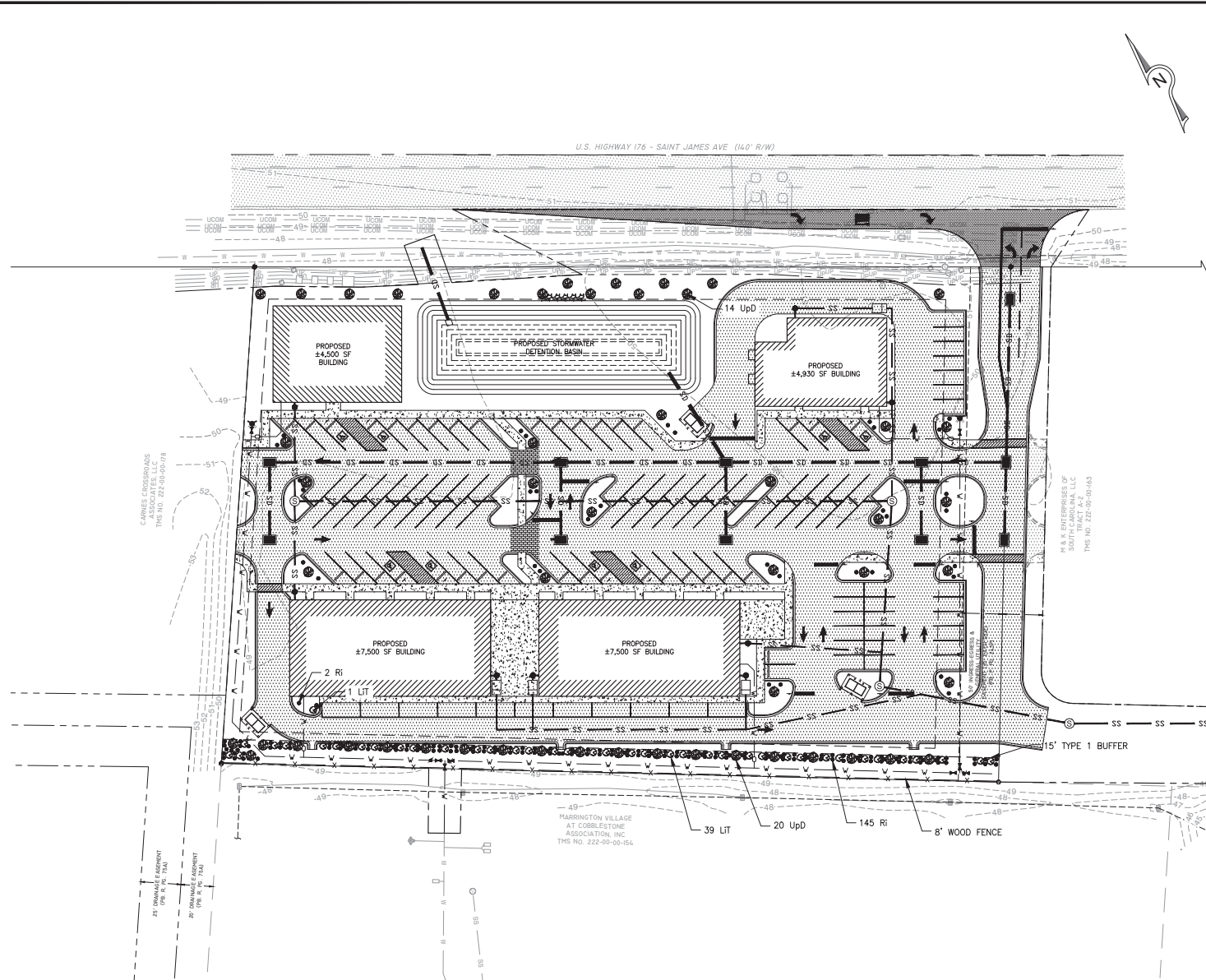
PROJ. MANAGER:	J. SERRANO
DESIGNED BY:	K. STILLINGS
DRAWN BY:	J. SERRANO
SCALE:	GRAPHIC
PROJ. NUMBER:	20210006
CAD FILE:	20210006C1-03.DWG

DRAWING TITLE:  
**3.4 ACRE  
 COMMERCIAL DEVELOPMENT  
 GOOSE CREEK, SC  
 CIVIL  
 LAYOUT AND  
 PAVING PLAN**

DRAWING NO.:  
**C1-03**



FILE NAME: 20210006L1-01.dwg  
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 PLOTTED: 4/17/2022 11:16 AM  
 PLOTTER: Ricoh Remote 30210006 - 3.4 Acres St. James Ave (Drawing) Color



**REFERENCE DRAWINGS:**

1. SEE DRAWING C0-01 FOR CIVIL ABBREVIATIONS AND LEGEND.
2. SEE DRAWING C0-02 FOR CIVIL GENERAL NOTES.
3. SEE DRAWING C1-01 FOR EXISTING CONDITIONS PLAN.
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7. SEE DRAWING C1-05 FOR GRADING AND DRAINAGE PLAN.
8. SEE DRAWING C1-06 FOR UNDERGROUND UTILITIES PLAN.

**LANDSCAPING NOTES:**

1. PARKING ISLAND LANDSCAPING SHALL CONSIST OF ONE (1) CANOPY TREE (Upd) AND TWO (2) SHRUBS (Ri) UNLESS OTHERWISE NOTED.

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CLIENT:  
**OAKS COUNTRY CLUB APARTMENTS, LLC**

B	04/07/22	KWS
ISSUED FOR PERMITTING		
A	08/27/21	KWS
ISSUED FOR PERMITTING		
REV.	DATE	REV. BY
REVISION INFORMATION		

PROJ. MANAGER: J. SERRANO  
 DESIGNED BY: K. STILLINGS  
 DRAWN BY: K. STILLINGS  
 APPROVED BY: J. SERRANO  
 SCALE: GRAPHIC  
 PROJ. NUMBER: 20210006  
 CAD FILE: 20210006L1-01.DWG

DRAWING TITLE:  
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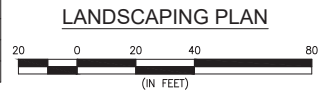
DRAWING NO.:  
**L1-01**

**ROADWAY LANDSCAPING (ST. JAMES AVE)**

STREETSCAPE	LENGTH	CANOPY TREE QUANTITY	UNDERSTORY TREE QUANTITY	SHRUB QUANTITY
ORDINANCE	PER 100 LF	3	N/A	N/A
REQUIRED	452 LF	14	N/A	N/A
PROPOSED	452 LF	14	N/A	N/A

**BUFFER LANDSCAPING**

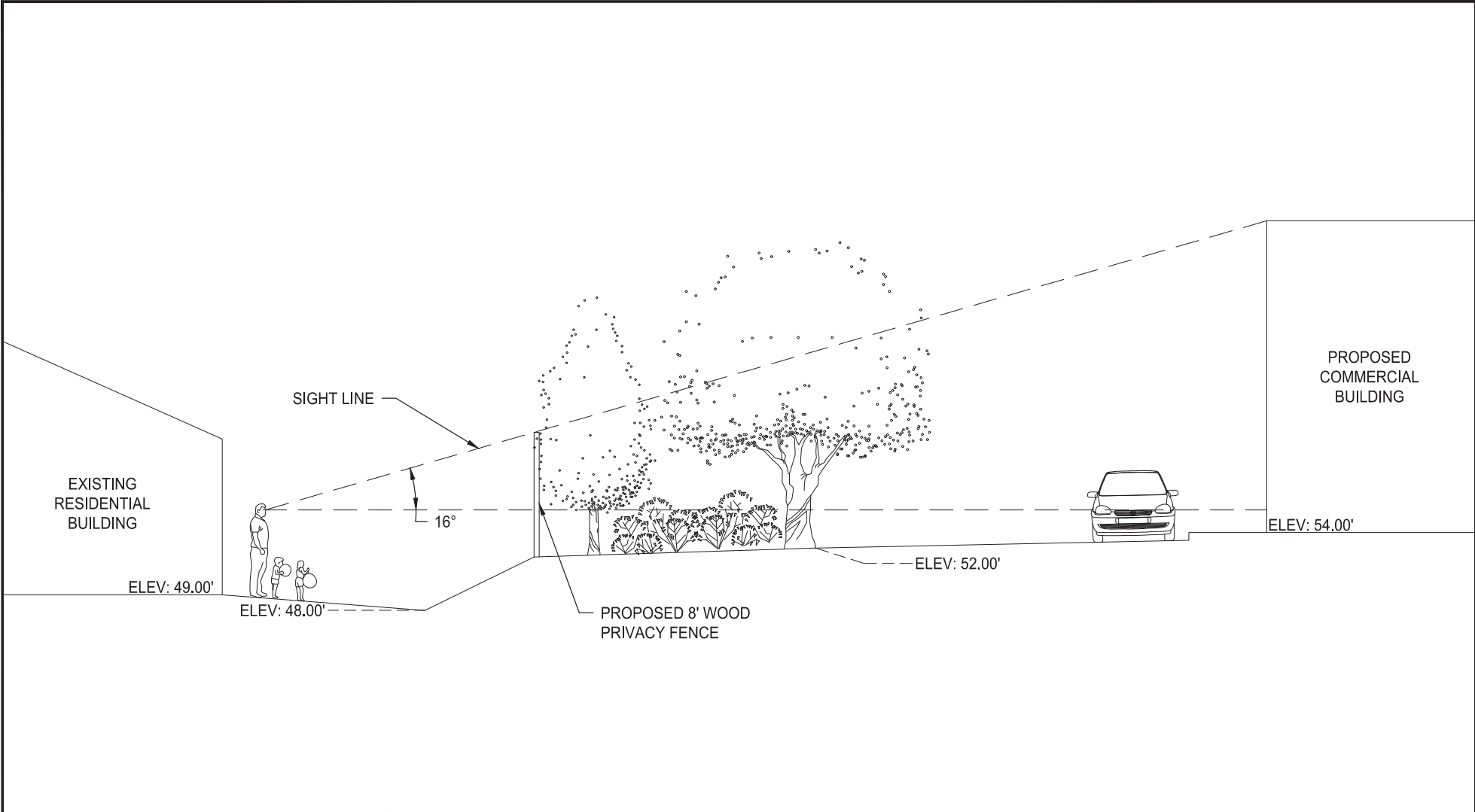
15' TYPE 1 BUFFER	LENGTH	CANOPY TREE QUANTITY	UNDERSTORY TREE QUANTITY	SHRUB QUANTITY
ORDINANCE	PER 100 LF	4	8	30
REQUIRED	483 LF	20	39	145
PROPOSED	483 LF	20	39	145







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 LAST UPDATE: 4/7/2022 3:12 PM  
 PLOTTED: 4/7/2022 3:13 PM  
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**NOT FOR  
CONSTRUCTION**

CLIENT:  
**OAKS COUNTRY  
CLUB APARTMENTS,  
LLC**

**LOC**  
 Live Oak Consultants, LLC  
 Engineers, Project Managers & Planners  
 NORTH CHARLESTON, SC  
 www.LiveOakConsultants.com  
 Email: Info@LiveOakConsultants.com



PROJECT MANAGER: J.SERRANO  
 DSGN. BY: K.STILLINGS  
 DRAWN BY: K.STILLINGS  
 APPROVED BY: J.SERRANO  
 SCALE: 1"=6'  
 PROJECT NUMBER: 20210006  
 CAD FILE: SIGHT\_EXHIBIT.DWG

DRAWING TITLE:  
**3.4 ACRE COMMERCIAL  
DEVELOPMENT  
ST. JAMES AVENUE  
RESIDENTIAL SIGHT EXHIBIT**

REV.	DATE	REV. BY	REVISION INFORMATION
A	04/07/22	KWS	ISSUED FOR INFORMATION

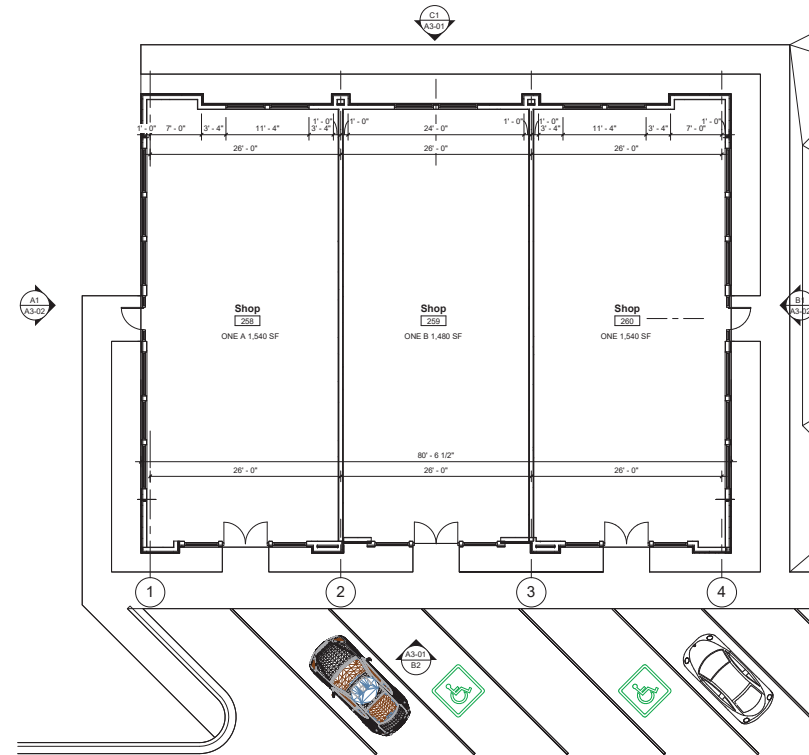
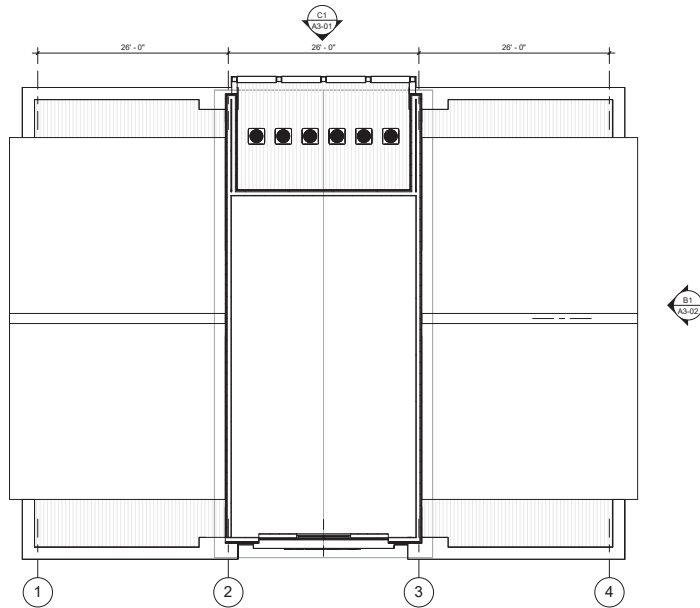
DRAWING NUMBER:  
**X3**

Tim Mac Hazelbaker, AIA  
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 thazelbaker@gmail.com

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 Email: info@LiveOakConsultants.com



COBBLESTONE PARCEL  
 TRACT A3



A	12/06/2021	TMH
ISSUED FOR PERMIT		
REV.	DATE	REV. BY
DESIGNER INFORMATION		
PROJ. MANAGER:	JAKE M SERRANO	
DESIGNED BY:	TIM MAC HAZELBAKER	
DRAWN BY:	TMH	
APPROVED BY:	TMH	
SCALE:	1/8" = 1'-0"	
PROJ. NUMBER:	210101	
CAD FILE:	200102 C.C. #1.RVT	

COBBLESTONE PARCEL  
 TRACT A3  
 GOOSE CREEK, SC  
 ARCHITECTURAL

FLOOR PLAN - ROOF PLAN - ONE

A1-01

A1 ROOF - ONE  
 1/8" = 1'-0" A3-03

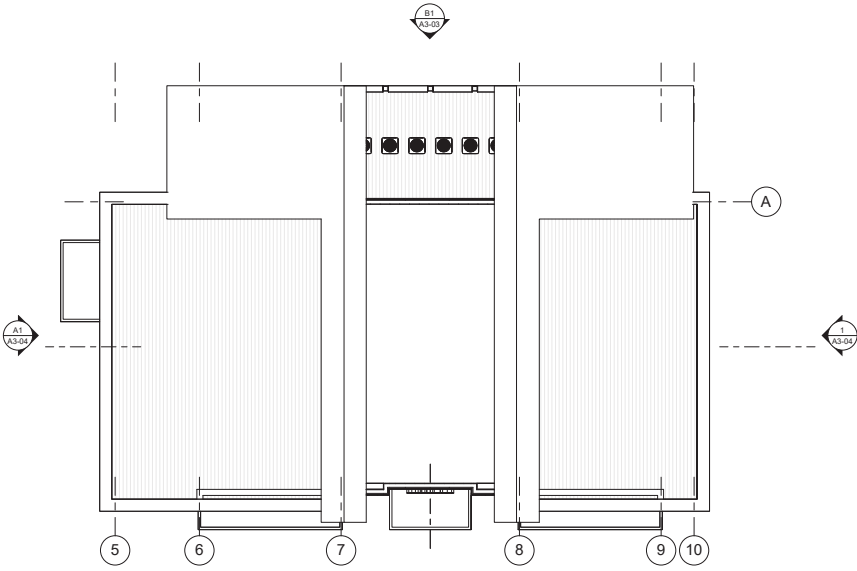
A2 MAIN LEVEL ONE  
 1/8" = 1'-0" A3-02

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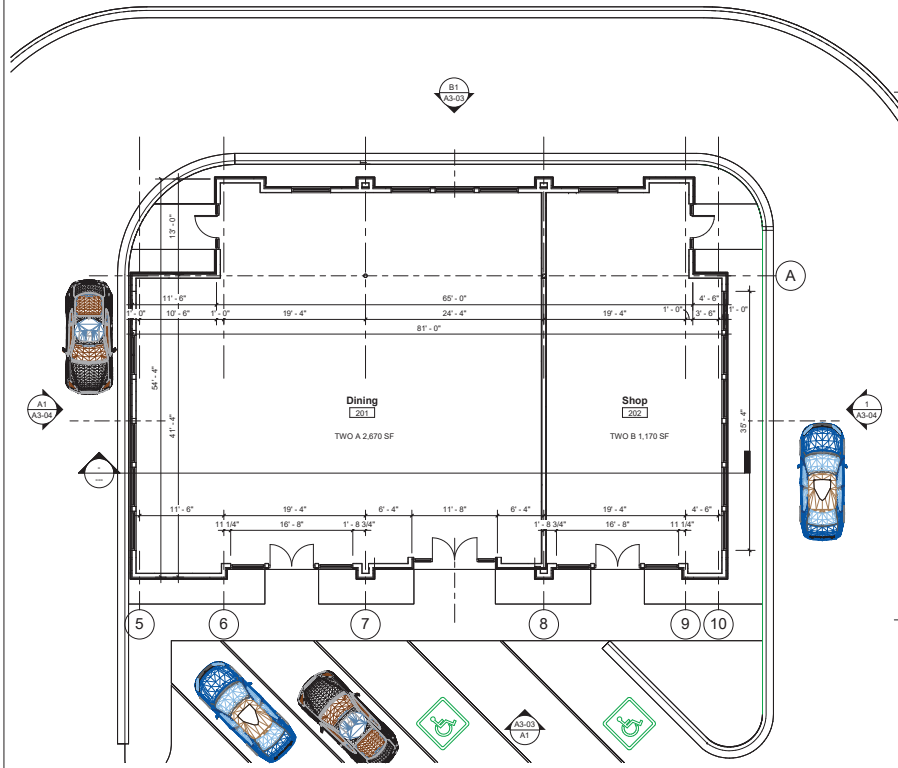
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COBBLESTONE PARCEL  
 TRACT A3



A1 ROOF - TWO  
 1/8" = 1'-0"  
 A3-03



A2 MAIN LEVEL EAST PLAN  
 1/8" = 1'-0"  
 A3-02

REV.	DATE	REV. BY
A	12/06/2021	TMH
ISSUED FOR PERMIT		
DESIGNER INFORMATION		
PROJ. MANAGER:	JAKE M SERRANO	
DESIGNED BY:	TIM MAC HAZELBAKER	
DRAWN BY:	TMH	
APPROVED BY:	TMH	
SCALE:	1/8" = 1'-0"	
PROJ. NUMBER:	210101	
CAD FILE:	200102 C.C. #1.RVT	
PROJECT NAME:		
COBBLESTONE PARCEL TRACT A3 GOOSE CREEK, SC ARCHITECTURAL		
FLOOR PLAN - ROOF PLAN - TWO		
Drawing No.:		
A1-02		

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 thazelbaker@gmail.com

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 Email: Info@LiveOakConsultants.com




C1 ONE NORTH  
 1/4" = 1'-0" A1-01



B2 ONE SOUTH  
 1/4" = 1'-0" A1-01

COBBLESTONE PARCEL  
 TRACT A3

A	12/06/21	TMH
ISSUED FOR PERMIT		
REV.	DATE	REV. BY
REVISION INFORMATION		
PROJ. MANAGER	JAKE M SERRANO	
DESIGNED BY	TIM MAC HAZELBAKER	
DRAWN BY	TMH	
APPROVED BY	TMH	
SCALE	1/4" = 1'-0"	
PROJ. NUMBER	210101	
CAD. FILE	200102 C.C. #1.RVT	

COBBLESTONE PARCEL  
 TRACT A3  
 GOOSE CREEK, SC  
 ARCHITECTURAL  
 EXTERIOR ELEVATIONS - ONE

A3-01

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 Email: Info@LiveOakConsultants.com




COBBLESTONE PARCEL  
 TRACT A3



B1 ONE EAST - ONE WEST SIM  
 1/4" = 1'-0" A1-01



A1 ONE WEST  
 1/4" = 1'-0" A1-01

A	12/06/2021	TMH
ISSUED FOR PERMIT		
REV.	DATE	REV. BY
DESIGNED INFORMATION		
PROJ. MANAGER	JAKE M SERRANO	
DESIGNED BY	TIM MAC HAZELBAKER	
DRAWN BY	TMH	
APPROVED BY	TMH	
SCALE	1/4" = 1'-0"	
PROJ. NUMBER	210101	
CAD. FILE	200102 C.C. #1.RVT	
COBBLESTONE PARCEL TRACT A3 GOOSE CREEK, SC ARCHITECTURAL EXTERIOR ELEVATIONS - ONE		
Drawing No.: <b>A3-02</b>		

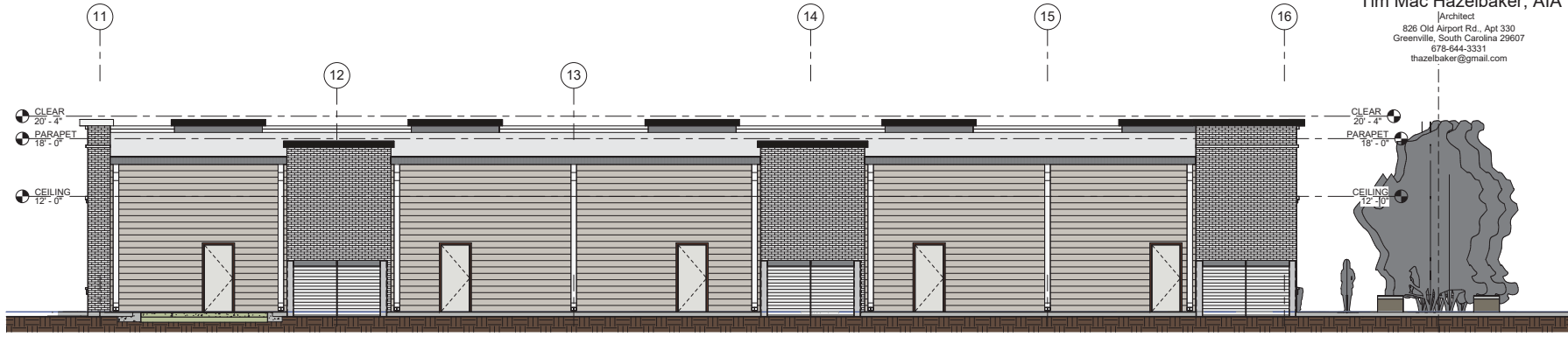






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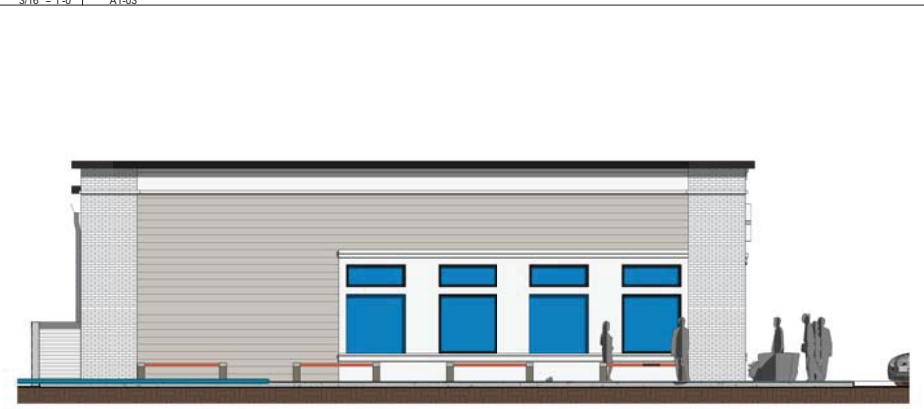
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 Email: info@LiveOakConsultants.com

C1 THREE SOUTH  
 3/16" = 1'-0" A1-03



B1 THREE NORTH  
 3/16" = 1'-0" A1-03



A1 THREE EAST  
 3/16" = 1'-0" A1-03



A2 THREE NORTH - SINGLE SHOP  
 1/4" = 1'-0" A3-05

COBBLESTONE PARCEL  
 TRACT A3

A	12/06/2021	TMH
ISSUED FOR PERMIT		
REV.	DATE	REV. BY
DESIGNER INFORMATION		
PROJ. MANAGER	JAKE M SERRANO	
DESIGNED BY	TIM MAC HAZELBAKER	
DRAWN BY	TMH	
APPROVED BY	TMH	
SCALE	As Indicated	
PROJ. NUMBER	210101	
CAD FILE		
Drawing Title		
GOOSE CREEK, SC ARCHITECTURAL		
EXTERIOR ELEVATIONS - THREE		
Drawing No.:		
A3-05		





B2 ONE SOUTHWEST



B1 ONE SOUTHEAST



A1 ONE SOUTHEAST COLOR







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 thazelbaker@gmail.com

**LOC**  
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 FAX: (803) 915-0341  
 www.LiveOakConsultants.com  
 Email: info@LiveOakConsultants.com





B1 | ENTRANCE - NORTHEAST



A1 | ONE & TWO FROM THREE

COBBLESTONE PARCEL  
 TRACT A3

A	12/06/2021	TMH
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REV.	DATE	REV. BY

DESIGN INFORMATION	
PROJ. MANAGER	JAKE M SERRANO
DESIGNED BY	TIM MAC HAZELBAKER
DRAWN BY	TMH
APPROVED BY	TMH
SCALE	
PROJ. NUMBER	210101
CAD FILE	

COBBLESTONE PARCEL  
 TRACT A3  
 GOOSE CREEK, SC  
 ARCHITECTURAL  
 VIEWS - SITE

A7-04









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COBBLESTONE PARCEL  
 TRACT A3



A1 ONE SOUTHEAST 1

A	12/06/2021	TMH
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REV.	DATE	REV. BY

REVISION INFORMATION

PROJ. MANAGER: JAKE M SERRANO  
 DESIGNED BY: TIM MAC HAZELBAKER  
 DRAWN BY: TMH  
 APPROVED BY: TMH  
 SCALE: 1/2" = 1'-0"  
 PROJ. NUMBER: 210101  
 CAD FILE:

PROJECT:  
 COBBLESTONE PARCEL  
 TRACT A3  
 GOOSE CREEK, SC  
 ARCHITECTURAL  
 ONE RENDERING

PLANNING NO.:  
 A7-08









