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MAJOR APPLICATION: NEW BUSINESS

**ALDI**

205 ST JAMES AVE

**SITE, LANDSCAPING, ELEVATIONS, MATERIALS, COLOR, SIGNAGE**

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**ARB SCOPE OF WORK FORM/**

**APPLICATION / INFORMATION SUMMARY**

**DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118**

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

<b>Property Address:</b>		<b>TMS No.:</b> 243-04-00-049
<b>Review request:</b>	<b>For:</b>	<b>Preliminary meeting date requested:</b>
<input checked="" type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	

Property Owner: <b>North Area Auto Parts, Inc.</b>	Daytime phone:	
Applicant: <b>Aldi (NC) LLC</b>	Daytime phone: <b>704-642-0023 ext. 122</b>	
ARB Meeting Representative: <b>Todd Bonnett</b>	Contact Information: <b>Director of Real Estate</b>	
Applicant's mailing address: <b>1985 Old Union Church Rd.</b>		
City: <b>Salisbury</b>	State: <b>NC</b>	Zip: <b>28146</b>
Applicant's e-mail address: <b>Todd.Bonnett@aldi.us</b>		
Applicant's relationship: <input type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input checked="" type="checkbox"/> Other		

**Materials/Colors Used:** *(specific color(s)/manufacture #'s listed: samples must be presented to Board  attached)*  
*(Example: Building Materials, Exterior Colors, Landscaping, Lighting)*

**See exterior building elevations & materials schedule prepared by MS Consultants, Inc.**

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**Scope of Work:** *(please give a detailed description)*

**Redevelopment of 205 St. James Avenue to construct a new Aldi grocery store.**

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature:  Date: **11-16-2020**

Print name legibly: **Todd Bonnett**, Director of Real Estate

OFFICE USE ONLY

PERMIT #: \_\_\_\_\_  
AMOUNT DUE: \$ \_\_\_\_\_  
DATE PAID: \_\_\_\_\_

CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

Today's Date: 16 Nov. 2020

Permit Fee: \$75.00

1. Business Owner Aldi (NC) LLC Business Phone 704-642-0023  
Name of Business Aldi Alternate Phone \_\_\_\_\_  
Street Address of Business 205 St. James Ave. Goose Creek, SC 29445  
Landlord/Lessor North Area Auto Parts, Inc. Landlord's Phone \_\_\_\_\_  
Sign Company Allen Industries Sign Co. Phone 567-408-7518  
Sign Co. Contact Holly Schwartz Sign Co. Address 7844 W. Central Ave. Toledo, OH 43617

2. Cost of Sign(s) \$ 11,000.00 Sign Installation Cost \$ \_\_\_\_\_ Total Cost \$ \_\_\_\_\_

3. How many signs are you applying for? 1 How many signs does this business already have? 1

4. What kind of signs does this business already have? shopping center sign  None

5. What type of business is applying for this sign permit:  
A. A stand alone business?  Yes  No  
B. A part of a shopping center?  Yes  No If yes, shopping center name: \_\_\_\_\_

6. What is the TMS number for this property? 243 - 04 - 00 - 013

7. What is the front setback of the business in feet? 200' (The distance from the front property line to the front of business)  
A. For corner lots only, what is the front setback for second street frontage in feet? \_\_\_\_\_

8. What is the width of the business in feet? 144' (The distance from wall to wall)  
A. For corner lots only, what is the width of the business for second street frontage in feet? \_\_\_\_\_

9. What is the property's road frontage in feet? 260.73' (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:  
A. The storefront in relation to adjacent businesses;  
B. The specific location of proposed sign(s) on the property or building; and  
C. The actual sign if it already exists.

11. Please attach drawings of each proposed sign showing (drawn to scale) :  
A. The completed sign as it will actually appear on the building  
B. All dimensions;  
C. Where the colors will appear;  
D. The location on the property (on a plat) of proposed & existing freestanding signs  
E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.  
• Please submit this application by the 1<sup>st</sup> Monday of the month for consideration that month by the ARB.  
• The ARB meets on the 3<sup>rd</sup> Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

OFFICE USE ONLY  
MAX. NO. OF ALLOWED SIGNS: \_\_\_\_\_  
MAX ALLOWED SIGN AREA: \_\_\_\_\_

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

### SIGN INFORMATION TABLE

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	Aluminum	Aluminum	Aluminum
Illumination: Exterior, interior or not lighted	Internal LED	Internal LED	Internal LED
Type of Sign:	Wall	Wall	Monument
Height (FEET)	9'5-1/2"H	9'5-1/2"H	Sign 7'5-1/2"H OAH of monument is 10'
Width (feet)	7'11-1/4"W	7'11-1/4"W	6'8-3/8"
Area (square feet)	75	75	50
All colors used on sign	see color specs chart on drawings		
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	Y- see drawing		
Projection from building or cabinet width (thickness)	Projects 3-1/8"	Projects 3-1/8"	cabinet thickness 2'2"D
Number of styles of lettering	1	1	1
Height of letters (if channel letters)	NA	NA	NA
If mounting individual letters, space between letters	NA	NA	NA
If mounting individual letters, space between words	NA	NA	NA
If window sign, size of window			
If changeable copy sign (reader board), number of lines	NA	NA	NA
If freestanding sign, distance between sign and street curb (ft)			16'
If freestanding sign, total height above grade (ft)			10'
If freestanding sign, landscaping materials to be planted at base of sign			yes. see landscape plan

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.

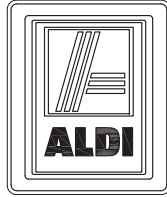
ALDI (NC) LLC by  , Director of Real Estate      11-16-2020  
 Signature of Applicant      Date

<b>OFFICE USE ONLY</b>		
Remarks: _____		
Approval: Zoning Administrator _____ Issued by: _____ Date: _____		



FOR ARCHITECTURAL REVIEW BOARD REVIEW

THE REDEVELOPMENT OF: 205 ST. JAMES AVE.  
GOOSE CREEK, SC 29445  
TMS #243-04-00-013



**ALDI (N.C.) LLC**

1985 Old Union Church Road  
Salisbury, NC 28146  
(704) 642-0023  
(704) 642-0078 Fax

APPLICANT

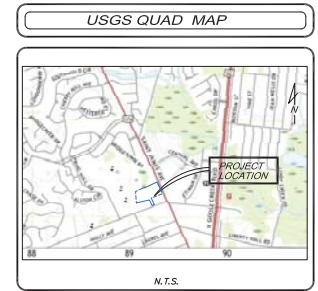
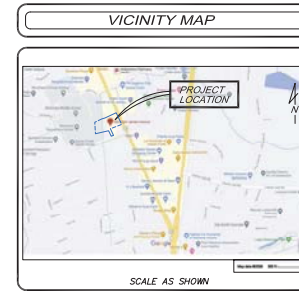
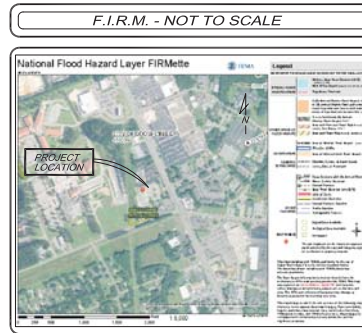
CONTACT: MR. TODD BONNETT - DIRECTOR OF REAL ESTATE  
email - todd.bonnett@aldi.us

OWNER

NORTH AREA AUTO PARTS, INC.  
1601 OCEANIC STREET  
CHARLESTON, SC 29405  
CONTACT: MR. ROBERT CLEMENT  
email - rclement@cctre.com

ENGINEERS

HAINES, GIPSON & ASSOCIATES, INC.  
1550 NORTH BROWN ROAD, SUITE 100  
LAWRENCEVILLE, GA 30043  
CONTACT: MR. JEFF STRICKLAND, P.E. @ (770) 491-7550  
email - jeffs@hainesgipson.com



PROJECT NARRATIVE

- LOCATION OF SITE: ST. JAMES AVENUE, GOOSE CREEK, SC.
- DESCRIPTION OF PROJECT: GRADING & RELATED SITE IMPROVEMENTS REQUIRED TO CONSTRUCT AN ALDI GROCERY STORE.  
PRE DEVELOPED CONDITIONS - PREVIOUSLY-DEVELOPED COMMERCIAL SHOPPING CENTER.  
POST DEVELOPED CONDITIONS - ALDI GROCERY STORE WITH PARKING AND DRIVES.
- ALDI TRACT AREA: 3.14 ACRES.  
DISTURBED AREA: 2.9 ACRES.
- SITE ZONING CLASSIFICATION: GC - GENERAL COMMERCIAL
- LOCATION, NATURE, & SIZE OF DEVELOPMENT: PROJECT WILL BE BUILT IN ONE PHASE. PROPOSED BUILDING S.F. = 19,209 S.F.
- SIZE, TYPE OF STRUCTURAL UNITS, PAVED AREAS AND GREEN BELT AREAS: AREAS OF VEGETATION WILL BE PROVIDED AND/OR MAINTAINED AT THE PERIMETER AREAS OF THE SITE. RUN-OFF FROM PARKING AND BUILDING AREAS WILL DRAIN TO AN EXISTING, OFF-SITE, STORMWATER MANAGEMENT SYSTEM. SEE LANDSCAPE PLAN FOR ADDITIONAL PLANTING AND STABILIZATION INFO.
- STARTING AND COMPLETION DATES: THE INSTALLATION OF EROSION CONTROL MEASURES WILL BEGIN WITHIN 6 MONTHS OF OBTAINING LAND DISTURBANCE PERMITS. PROJECT COMPLETION IS ANTICIPATED IN 6 TO 9 MONTHS.
- EXISTING AND PROPOSED EROSION AND SEDIMENT CONTROL PROBLEMS: NO EXISTING EROSION AND SEDIMENT CONTROL PROBLEMS ARE EVIDENT ON-SITE. ANTICIPATED PROBLEMS INCLUDE THE TRANSPORT OF SEDIMENT DURING INITIAL CLEARING AND GRUBBING OPERATIONS.
- PURPOSE, NATURE AND EXTENT OF PROPOSED EROSION AND SEDIMENT CONTROL PROGRAM: ALL ON-SITE EROSION AND SEDIMENTATION CONTROL MEASURES ARE DESIGNED TO PREVENT THE LOSS OF SEDIMENTS FROM THE SITE. DURING INITIAL CLEARING OPERATIONS, NEW PERIMETER SILT FENCING WILL BE UTILIZED TO PROTECT DOWNSTREAM AREAS. DURING LATER PHASES OF CONSTRUCTION, TEMPORARY SEDIMENT TRAPS AND DISTURBED AREA STABILIZATION (GRASSING) WILL PREVENT THE TRANSPORT OF SEDIMENTS BY RUN-OFF.
- PROPOSED STORM WATER MANAGEMENT SYSTEM: THE REDEVELOPED BUILT UPON AREA IS LESS THAN EXISTING. STORMWATER RUN-OFF FROM THE REDEVELOPED SITE WILL BE LESS THAN OR EQUAL TO EXISTING.
- MAJOR TOPOGRAPHIC FEATURES, STREAMS, SOIL TYPES & VEGETATION: RUN-OFF FROM THE EXISTING SITE EXISTS THE PROPERTY VIA OVERLAND FLOW TO THE SOUTH AND WEST. THE PROJECT SITE IS UNDERLAIN BY BETHERA LOAM AND LENOIR FINE SANDY LOAM. NO EXISTING FLOODING PROBLEMS ARE READILY APPARENT IN THE SURROUNDING AREAS.
- MAINTENANCE PROGRAM: SEE SEDIMENT & EROSION CONTROL DETAIL SHEETS FOR MAINTENANCE AND INSPECTION REQUIREMENTS.
- TREE SAVE REQUIREMENTS: TREE SAVE AREAS ARE PROPOSED ON-SITE. SEE DEMOLITION, EROSION CONTROL AND LANDSCAPE PLANS.
- DOWN SLOPE DRAINS WITH EROSION CONTROL MATTING CAN BE REQUIRED PER ON-SITE INSPECTION.

SITE DATA:

BUILDING AREA = 19,209 S.F. MAX. HT. OF BLDG. = 28'-10"  
CONSTRUCTION TYPE = VB  
PER GOOSE CREEK ZONING REQUIREMENTS:  
PARKING REQUIRED = 1 SPACES PER 200 S.F. OF FLOOR AREA EXCLUDING STORAGE (3 SPACE MIN.)  
= (1 / 200 S.F.) X 12,541 S.F.  
= 63 SPACES  
PARKING PROVIDED = .83 SPACES INCLUDING 4 HANDICAP SPACES

GENERAL NOTES:

- APPLICANT/DEVELOPER: ALDI (N.C.) LLC  
1985 Old Union Church Rd.  
Salisbury, NC 28146  
CONTACT: Mr. Todd Bonnett  
704-642-0023
- 24 HR. PHONE: HAINES, GIPSON & ASSOCIATES, INC.  
1550 NORTH BROWN ROAD, SUITE 100  
LAWRENCEVILLE, GEORGIA 30043  
(770) 491-7550
- CONSULTING ENGINEERS: MR. JEFF STRICKLAND, P.E.  
THE CITY OF GOOSE CREEK, BERKELEY COUNTY, S.C.  
THIS PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS PER FEMA COMMUNITY PANEL # 45015C 0595 D, MAP DATED OCT. 16, 2003.
- PROJECT SITE AREA = 3.14 ACRES.
- SITE IS ZONED GC - GENERAL COMMERCIAL.
- PROPOSED USE OF SITE IS COMMERCIAL - GROCERY STORE.
- ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
- PARKING PROVIDED: 93 TOTAL SPACES INCLUDING 4 HANDICAP.
- NOTIFY CITY OF GOOSE CREEK INSPECTOR 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION.
- EXISTING TOPO, AND BOUNDARY INFORMATION TAKEN FROM SURVEY BY: ASHLEY LAND SURVEYING, INC.  
308 SANDGARE PARKWAY  
SUMMERVILLE, SC 29483  
PHONE: (843) 971-4416 SURVEY DATED: JUNE 30, 2016
- ALL CONSTRUCTION MUST CONFORM TO CITY OF GOOSE CREEK STANDARDS AND SPECIFICATIONS.
- MAXIMUM CUT/FILL SLOPES = 2 HOR. TO 1 VERT.
- RETENTION FACILITIES AND EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- EXISTING UTILITIES IN AREA OF CONSTRUCTION TO BE FIELD LOCATED AND VERIFIED BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR TO CLEAN OUT ACCUMULATED SILT IN RETENTION DEVICES AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.

SHEET INDEX

NO.	TITLE	DATED	REVISION
		NO.	DATE
C-1	COVER SHEET (SCALE: N/A)	11/24/20	
C-6	SITE LAYOUT PLAN	11/24/20	
L-1	LANDSCAPE PLAN	11/24/20	
L-2	LANDSCAPE DETAILS	11/24/20	
A-131	BUILDING OPERATIONS PLAN	6/4/20	11/13/20
A-201	EXTERIOR ELEVATIONS	11/5/20	11/13/20
A-202	EXTERIOR ELEVATION MATERIALS SCHEDULE	11/5/20	11/13/20
SL-1	SITE LIGHTING PLAN	11/23/20	
	ALTA/NPS LAND TITLE SURVEY 1 OF 3	6/30/16	
	ALTA/NPS LAND TITLE SURVEY 2 OF 3	6/30/16	
	ALTA/NPS LAND TITLE SURVEY 3 OF 3	6/30/16	
	SIGN DRAWINGS	11/18/20	



NO.	BY	DESCRIPTION	DATE

ALDI #141

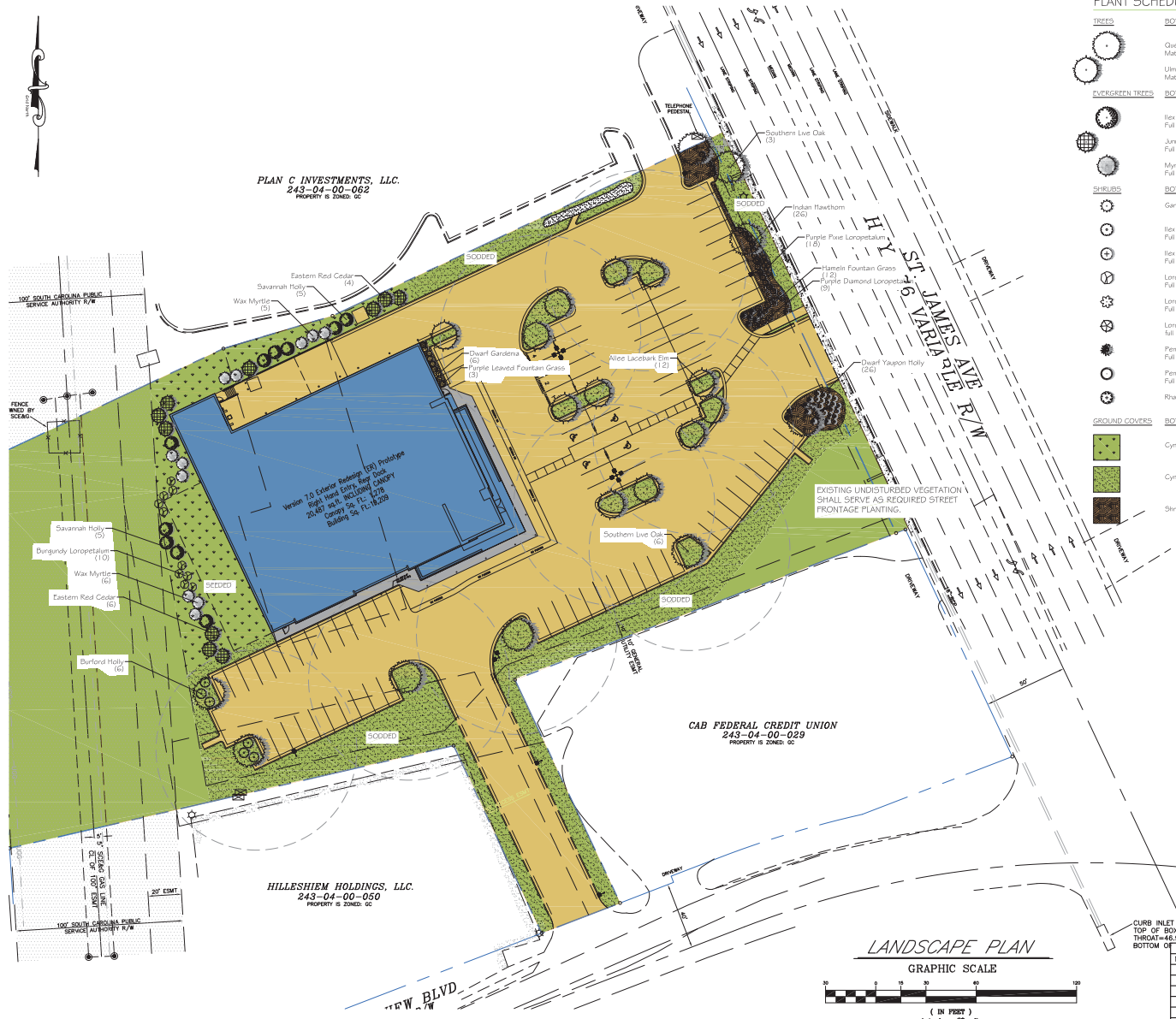
HAINES, GIPSON & ASSOCIATES, INC.  
CONSULTING ENGINEERS  
1550 NORTH BROWN RD., SUITE 100  
LAWRENCEVILLE, GEORGIA 30043  
PHONE: (770) 491-7550 FAX: (770) 491-7550







PLAN C INVESTMENTS, LLC.  
243-04-00-062  
PROPERTY IS ZONED: GC



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Quercus virginiana / Southern Live Oak Matching Specimens	D 4 D	2.5' cal./12' Ht.	9
	Ulmus parviflora 'Alice' / Alice Lacebark Elm Matching Specimens	D 4 D	2.5' cal./12' Ht.	12
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Ilex attenuata 'Savannah' / Savannah Holly Full to the ground	D 4 B	2.5' cal./8' Ht.	10
	Juniperus virginiana / Eastern Red Cedar Full to the ground	B 4 B	2.5' cal./8' Ht.	10
	Mycna cerifera / Wax Myrtle Full to the ground	B 4 B	2.5' cal./8' Ht.	11
SHRUBS	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY
	Gardenia radicans / Dwarf Gardenia	3 gal./10' sp.		6
	Ilex cornuta 'Durfordii' / Durford Holly Full	DWD4' Ht.		6
	Ilex vomitoria 'Nana' / Dwarf Yaupon Holly Full	3 gal.		26
	Loropetalum chinense rubrum 'Burgundy' / Burgundy Loropetalum Full	5 gal./24" Ht.		10
	Loropetalum chinense 'Purple Pace' / Purple Pace Loropetalum Full	5 gal.		9
	Loropetalum chinense 'Shang-hi' / Purple Diamond Loropetalum Full	3 gal./10' Ht.		9
	Platanus alpestris 'Tiamin' / Hamelin Fountain Grass Full	5 gal.		12
	Platanus setaceum 'Rubrum' / Purple Leaved Fountain Grass Full	5 gal.		3
	Rhaphidophora indica / Indian Hawthorn Full	5 gal./10' Ht.		10
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY
	Cynodon dactylon / Bermuda	seed		7,947 sf
	Cynodon dactylon 'Tilt 419' / Tilt 419 Hybrid Bermuda	sod		17,664 sf
	Shredded Hardwood Bark	mulch		2,153 sf

EXISTING UNDISTURBED VEGETATION SHALL SERVE AS REQUIRED STREET FRONTAGE PLANTING.

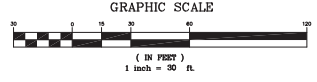
LANDSCAPE CALCULATIONS:

<b>SITE LANDSCAPED AREA:</b>	
TOTAL SITE AREA	= 136,656 s.f.
REQUIRED LANDSCAPE AREA	= 14,024 s.f. (1.2%)
PROVIDED LANDSCAPE AREA	= 43,502 s.f. (32%)
<b>TREES PER ACRE FOR BUILDABLE AREA:</b>	
TOTAL SITE AREA	= 136,656 s.f.
BUILDABLE AREA	= 82,751 s.f. (1.9 ACRES)
TREES REQUIRED (11.9 x 12)	= 23
TREES PROVIDED	= 52
<b>PARKING LOT LANDSCAPE AREA:</b>	
PARKING LOT AREA	= 41,558 s.f.
REQUIRED LANDSCAPE AREA	= 4,136 s.f. (1.0%)
PROVIDED LANDSCAPE AREA	= 4,392 s.f. (10.5%)
<b>PARKING LOT TREES:</b>	
PARKING SPACES	= 92
REQUIRED TREES (92 / 10 x 2)	= 18
PROVIDED TREES	= 10
<b>STREETSCAPE TREES:</b>	
LENGTH OF STREETSCAPE	= 132 ft.
(Less Access Drive & Existing Vegetation)	
REQUIRED TREES (132 / 100 x 3)	= 3
PROVIDED TREES	= 3
<b>TREE REMOVAL MITIGATION:</b>	
TREES REMOVED: (See Chart Below)	
4 (10" DBH) TREES @ 270" = 1080"	
1 (10" DBH) TREE @ 100" = 100"	
TOTAL INCHES TO BE MITIGATED	= 1180"
TREE REPLACEMENT (31 - 2.5" CAL TREES)	= 77.5"
TREE REPLACEMENT (31 - 2.5" CAL TREES)	= 77.5"

CAB FEDERAL CREDIT UNION  
243-04-00-029  
PROPERTY IS ZONED: GC

HILLESHEM HOLDINGS, LLC.  
243-04-00-050  
PROPERTY IS ZONED: GC

LANDSCAPE PLAN



CURB INLET  
TOP OF BOX=47.77  
THROAT=46.93  
BOTTOM OF BOX=43.98

L-1 OF 2

NO.	BY	REVISIONS DESCRIPTION	DATE

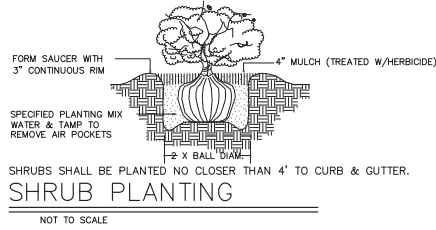
DAVID ALBRIGHT & ASSOCIATES, INC.  
PLANNERS & LANDSCAPE ARCHITECTS  
78 LAKRANGE STREET  
NEWMAN, GEORGIA 30263  
TEL: (404) 882-0300 E-MAIL: DAVID@ALBRIGHT.COM

**ALDI, Inc.**  
1885 Old Union Church Road  
Salisbury, NC 28146  
Store located at field location

Score Creek, South Carolina

Drn. DFA | Des. DFA | Chk. DFA | Date 11/24/20 | Sheet 2020-241

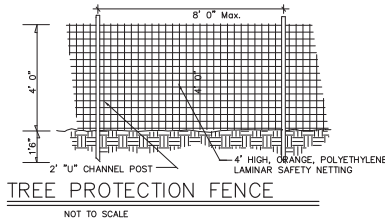
FOR ARCHITECTURAL REVIEW BOARD REVIEW



SHRUBS SHALL BE PLANTED NO CLOSER THAN 4' TO CURB & GUTTER.

### SHRUB PLANTING

NOT TO SCALE



### TREE PROTECTION FENCE

NOT TO SCALE

#### LANDSCAPE PLANTING:

The landscape contractor shall familiarize himself with the site conditions and verify them to his satisfaction. The landscape contractor shall accept the site conditions and do the work specified without additional compensation for possible variation from grades and conditions shown.

Prior to construction the landscape contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during construction. Should the landscape contractor cause damage to any utilities, he shall make necessary repairs as quickly as practicable without additional compensation.

All plant material sizes and measurements, including trunk, head and spread sizes, container and rootball sizes, quality and condition shall conform to the standards set forth in the current issue of "American Standards for Nursery Stock" (ANSI Z60.1).

All plant material are subject to the approval by the owner, and may be inspected at the place of growth or at site before planting.

The landscape contractor shall be responsible for maintaining, in full, all landscape planting work (including watering, spraying for insects and diseases, mulching, mowing, fertilizing, cultivating, edging and weeding) during installation and until acceptance by the owner.

The landscape contractor shall completely guarantee all landscape planting work and materials for a period of one (1) full year from the date the work has been approved by the owner as installed. All plant material not in a healthy growing condition shall be removed immediately and replaced as soon as practicable with like kind at no charge to the owner. All plantings needing replacement will be guaranteed from time of replacement if after final acceptance.

The landscape contractor shall be responsible for obtaining soil samples from top soil and native or fill soils at the site and submitting them to an approved soil testing laboratory, and obtain analyses and recommendations for amending these soils and fertilization of specified plant material.

All planting areas, shrub beds and trees shall be mulched with a minimum compacted depth of four (4) inches of mulch as specified. Prior to mulching apply a pre-emergent herbicide (approved by the owner) as recommended by the manufacturer, to prevent recurring weed and grass growth.

All disturbed areas of the site shall be either grassed or planted immediately after grading in order to prevent soil erosion. A permanent vegetation cover shall be provided throughout all unpaved areas of the site, adjacent disturbed areas and right-of-way (R.O.W.). All work within any R.O.W. shall conform to standards and specifications of local and/or state jurisdictions.

#### NOTES:

- STAKING AS REQUIRED
- PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE
- STAKE ABOVE FIRST BRANCHES OR AS NECESSARY FOR FIRM SUPPORT
- WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES
- 4" MULCH (TREATED W/HERBICIDE)
- FORM SAUCER WITH 3" CONTINUOUS RIM
- SPECIFIED PLANTING MIX WATER & TAMP TO REMOVE AIR POCKETS
- 2 X BALL DIAM.
- 3-2" X 2" HARDWOOD STAKES DRIVEN FIRMLY A MINIMUM OF 18" INTO THE SUBGRADE PRIOR TO BACKFILLING
- 2 STRAND 12 GAUGE GALV. WIRE TWISTED AND ENCASED IN 1" DIAM. RUBBER HOSE 6 - 2" FROM TOP OF STAKE
- 2 WIRE SUPPORTS SHALL BE USED ON MAIN TRUNK
- UNDISTURBED SUBGRADE



### TREE PLANTING/STAKING

NOT TO SCALE

#### GRASSING:

All disturbed areas shall receive 4" minimum of topsoil (compacted) and grassed with sod as indicated on lawn areas on the plan.

Sodded areas shall be grassed with "Tif 419" Hybrid Bermuda sod. Sod shall be laid with close, tight fitting joints, which shall be laid in rows parallel to the contour lines. All sodded areas shall be rolled to achieve a smooth, uniform lawn, and top dressed with sand.

All slopes equal to or greater than 2:1 shall be covered with jute mesh, staked, and may be hydroseeded for proper stabilization.

Fertilization and soil amendments for all grassed areas shall be as per laboratory analysis. Hydroseeding may be substituted for mechanical seeding by mixing seed, fertilizer and pulverized mulch in water, using equipment specifically designed for hydroseed application. Mix until uniformly blended into homogeneous slurry suitable for hydraulic application. Apply uniformly at a rate as required to obtain specified seeding rate.

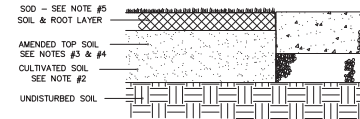
#### SHRUBS AND TREES:

All trees located in grassed areas shall be planted as per detail and mulched with at least a four (4) foot diameter ring of shredded hardwood mulch.

Shrub beds shall be mounded with topsoil 6" - 12" in height. Shrub beds shall be mulched with shredded hardwood.

Shredded hardwood mulch shall be treated with herbicide before installation.

Trees & shrubs shall be planted no closer than four (4) feet from back-of-curb.



#### SODDING PROCEDURE:

1. THE GENERAL CONTRACTOR WILL PROVIDE GRADES TO 2" OF A FOOT OF PROPOSED GRADES. SMOOTH SURFACE.
2. SPREAD 4" OF TOPSOIL. CULTIVATE ENTIRE AREA TO 4-6" DEPTH AND HAND RAKE TO ACHIEVE SMOOTH FINISHED GRADE.
3. APPLY LIME AND FERTILIZER TO TOPSOIL (AS PER SPECIFICATIONS) AND SPREAD OVER CULTIVATED SOIL AREA. HAND RAKE TO SMOOTH FINISHED GRADE.
4. THOROUGHLY WATER AREA TO BE SODDED PRIOR TO INSTALLATION.
5. LAY SOD, ROLL AND WATER THOROUGHLY.

### SOD INSTALLATION DETAIL

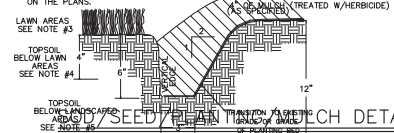
NOT TO SCALE

#### ALDI Landscape Notes:

1. Landscaping and trees shall be located in a manner that does not obstruct sight lines of the pylon or building signs.
2. Minimum topsoil depth in lawn areas shall be four (4) inches.
3. Minimum topsoil depth in landscaped areas shall be twelve (12) inches.
4. Slope protection shall be provided in seeded areas with slopes greater than three (3) feet horizontal to one (1) foot vertical (i.e. 3H:1V).

#### NOTES:

TRENCH EDGER DETAIL SHALL BE USED AT ALL LAWN & PLANT BED EDGES. TRENCH EDGER SHALL CREATE A CLEAN CONTINUOUS SEPARATION BETWEEN AREAS AS INDICATED ON THE PLANS.



NOT TO SCALE

REVISIONS		
NO.	BY	DATE

DAVID ALBRIGHT & ASSOCIATES, INC.  
 PLANNERS & LANDSCAPE ARCHITECTS  
 78 LAGRANGE STREET  
 NEWNAN, GEORGIA 30263  
 TEL: (404) 862-0390 E-MAIL: DWA@DALBRIGHT.COM

Drw. DFA Des. DFA Cbk. DFA Date 11/24/20 Sheet 2020-241

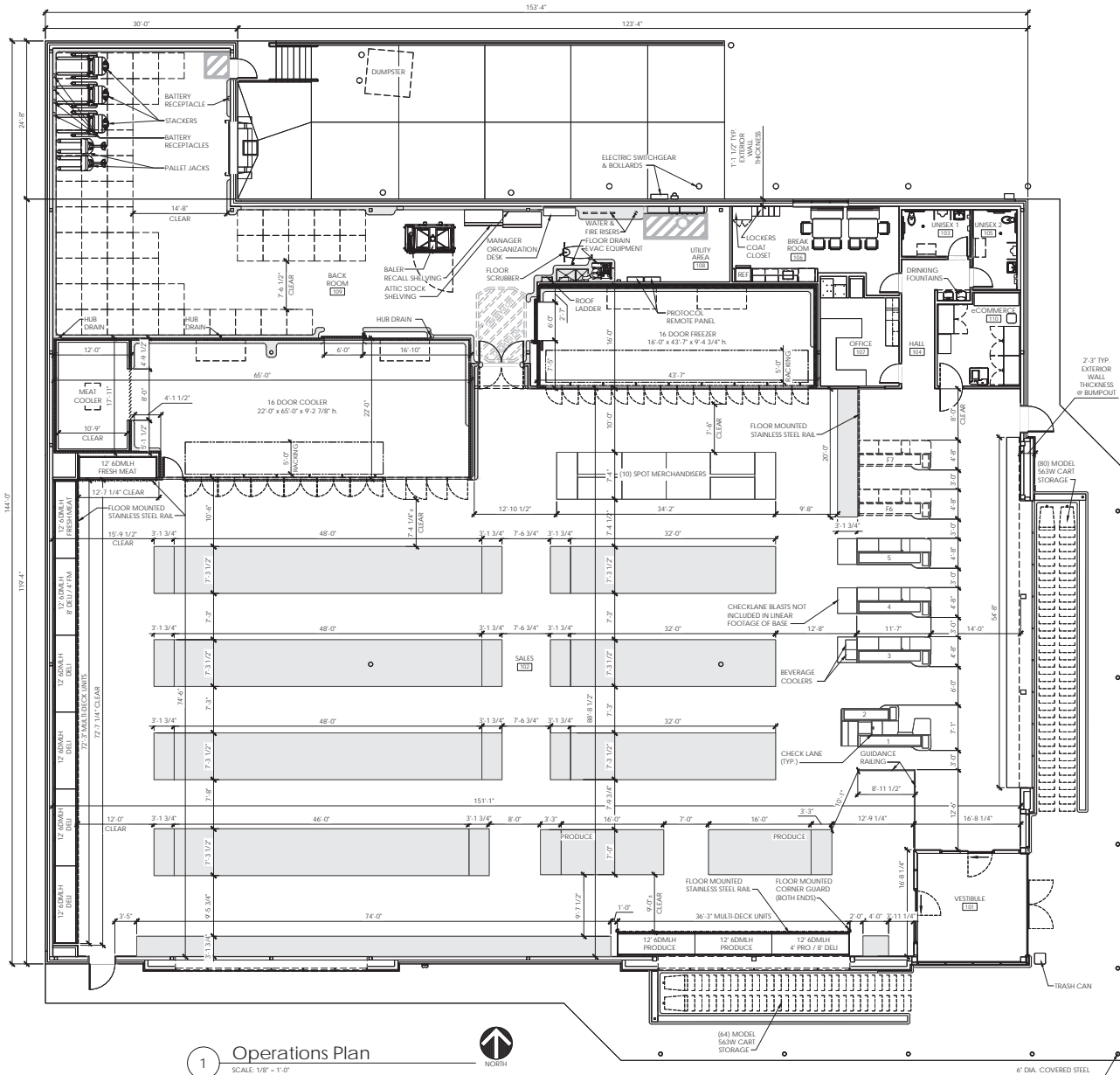
### LANDSCAPE DETAILS

SCALE: AS NOTED

FOR ARCHITECTURAL REVIEW BOARD REVIEW



REAR DOCK AREA SUMMARY		
OCCUPANCY USE	ROOM NAME	SQUARE FOOTAGE
MERCANTILE (M)	SALES / VESTIBULE	12,541
	UNISEX 2	84
	UNISEX 1	76
	HALL	137
SUBTOTAL (MERCANTILE)		12,838
BUSINESS (B)	OFFICE	190
	BREAK ROOM	305
	4C-COMMERCE	175
SUBTOTAL (BUSINESS)		670
STORAGE / STOCK (S-1)	BACKROOM	2,627
	COOLER	1,313
	FREEZER	648
SUBTOTAL (STORAGE / STOCK)		4,588
SUBTOTAL (OCCUPANCIES)		18,096
EXTERIOR INTERIOR WALLS / UNOCCUPIED SPACE		1,113
BUILDING SQUARE FOOTAGE		19,209
EXTERIOR CANOPY		1,253
TOTAL SQUARE FOOTAGE (INCLUDING CANOPY)		20,462



REAR DOCK OPERATIONS DATA	
ITEM	V.I.6 PROTOTYPE
TERRACE FOOTAGE OF BASE (PRODUCE INCLUDED)	826'-10"
ASSUMED PALLET STORAGE	57
BUILDING DIMENSIONS	119'-4" x 153'-4"
SALES FLOOR DIMENSIONS	74'-0" x 151'-3"
LENGTH OF MULTIDECK	120'
COOLER MEK DOORS	4
COOLER GENERAL DOORS	12
FREEZER GENERAL DOORS	16
SPOT MERCHANDISERS	10
CART STORAGE	144

1 Operations Plan  
SCALE: 1/8" = 1'-0"



Issued: \_\_\_\_\_ Date: \_\_\_\_\_  
Concept No. 1 11/13/20

Revisions: \_\_\_\_\_ Date: \_\_\_\_\_

DO NOT SCALE PLANS

Copying, Printing, Software and other processes required to produce these prints can distort or break the actual paper or layout. Therefore, scaling of this drawing may be inaccurate. Contact the consultants with any need for additional drawings or clarifications.



**ms consultants, inc.**  
engineers, architects, planners  
5444 Wade Park Blvd.  
Suite 160  
Raleigh, NC 27607-4299  
phone 919.772.5565  
fax 919.779.2308

DRAWN BY: CLS

REVIEWED BY: NAL

Seal

PRELIMINARY -  
NOT FOR  
CONSTRUCTION



**ALDI Inc.** Store #: TBD  
Goose Creek  
205 St. James Ave.  
Goose Creek, NC 29445  
Berkeley County  
Project Name & Location:

Operations Plan

Drawing Name:  
Prototype Rls. 06/04/20 Project No.  
40452-36

Type: RHSD-V7

Scale: As Noted Drawing No.  
A-131





Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	7	L23	SINGLE	1.000	N.A.	43	AL-42WLED-UD-CG-120-30K
	5	L24	SINGLE	1.000	N.A.	29	CL-20364LEDDSAT-CLR-SB
	7	L22	SINGLE	1.000	4210	31	CPY250-B-DM-F-C-UL-CS-30K
	5	L31	SINGLE	1.000	11648	86	OSQ-A-NM-4ME-B-57K-UL-CS w/OSQ-DACS
	2	L32 (90)	2 @ 90	1.000	11648	86	OSQ-A-NM-4ME-B-57K-UL-CS w/OSQ-DACS
	2	L34	4 @ 90°	1.000	11648	86	OSQ-A-NM-4ME-B-57K-UL-CS w/OSQ-DACS
	5	L21	SINGLE	1.000	4270	33	XSPW-B-WM-3ME-4L-30K-UL-CS-P

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Fc	2.71	17.0	0.5	5.42	34.00

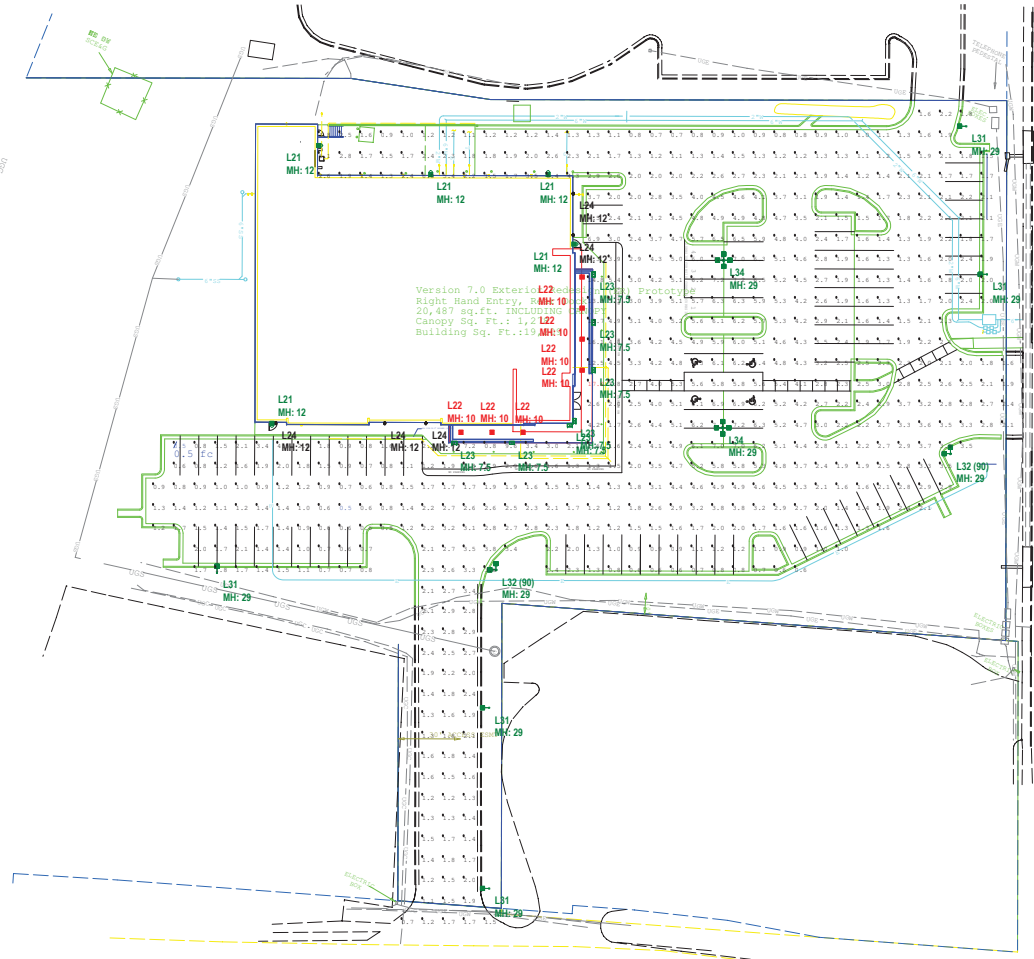
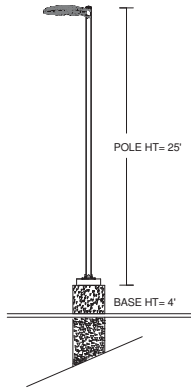
MAX FIXTURE MOUNTING HEIGHTS AS SHOWN  
POLES ON BASE HEIGHT OF 4'

(9) CL-SSP-4011-25-D6-BZ-ABL (25' x 4' x 11ga STEEL SQUARE POLE)07  
PROPOSED POLES MEET 100MPH SUSTAINED WIND LOADS

ADDITIONAL EQUIPMENT REQUIRED:  
(17) OSQ-DACS DIRECT ARM MOUNT

\*\*\*CUSTOMER TO VERIFY MOUNTING, VOLTAGE, AND COLOR  
PRIOR TO PLACING ORDER

OSQ Area Luminaire





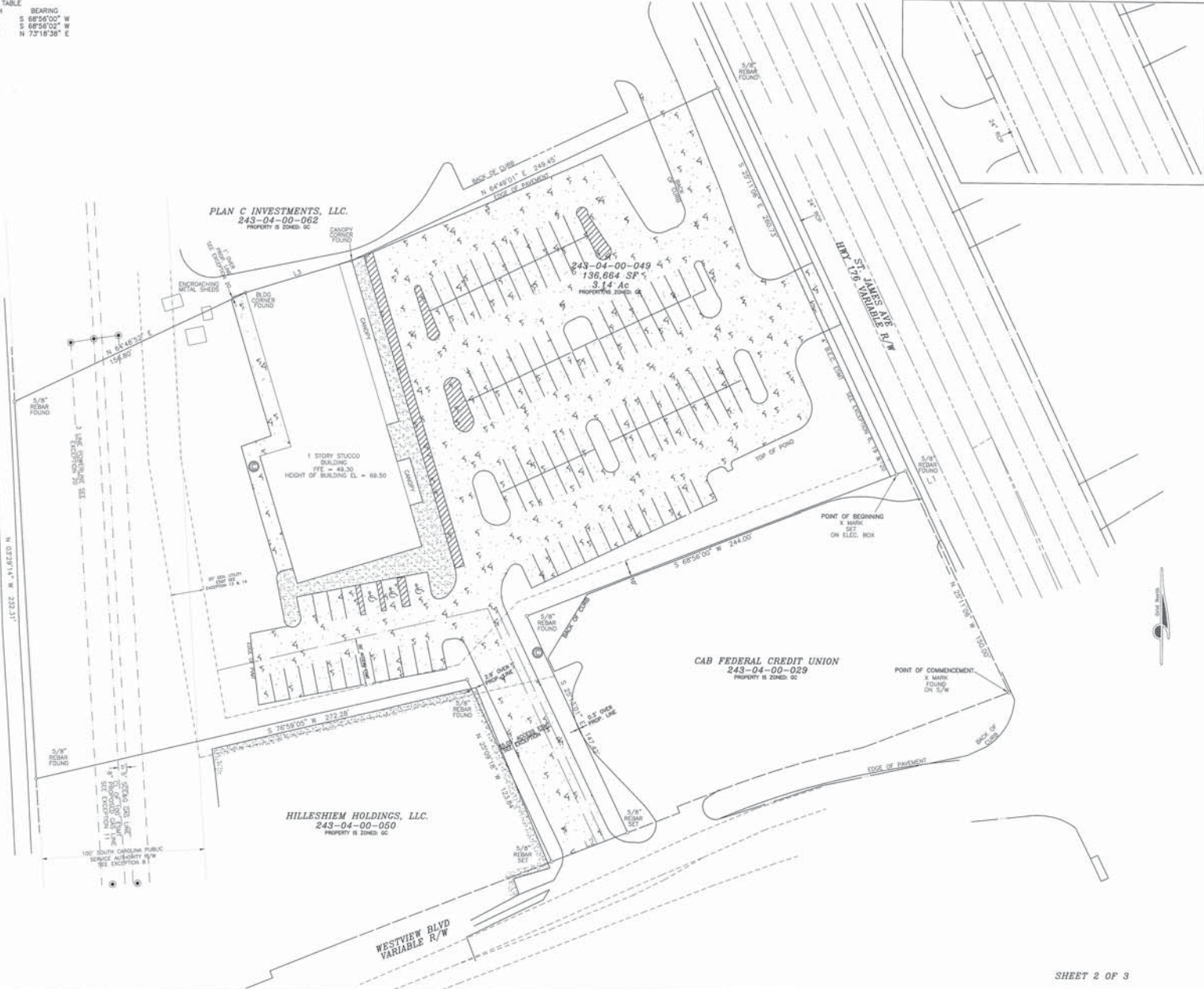




LINE TABLE

LINE	LENGTH	BEARING
CLCC	6.01	S 89°56'00" W
	50.19	S 69°52'00" W
	68.05	N 73°18'38" E

BERKELEY COUNTY SCHOOL DISTRICT  
 ZONING DISTRICT 00-001  
 ZONING MAP 10-001  
 EXEMPT FROM SECTION 141



**AASHLEY**  
 LAND SURVEYING, INC.  
 306 SANGAREE PARKWAY, SUMMERVILLE, SC 29582  
 TEL: 803-671-1111  
 FAX: 803-671-1112  
 EMAIL: PLANS@AASHLEYSC.COM WEB: WWW.AASHLEYSC.COM

ALTA SURVEY OF THIS 243-04-00-049 (3.14 ACRES) OWNED BY NORTH AREA AUTO PARTS INC LOCATED IN THE CITY OF COOPER CREEK, BERKELEY COUNTY, SOUTH CAROLINA



SCALE: 1" = 30'  
 30'  
 60'

JUNE 30, 2016

THIS SURVEY WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I BELIEVE THE DATA TO BE CORRECT. I AM NOT PROVIDING ANY WARRANTY OR GUARANTEE FOR THE ACCURACY OF THE SURVEY. I AM NOT PROVIDING ANY WARRANTY OR GUARANTEE FOR A CLAIM AS SPECIFIED THEREIN.

TRAVIS L. LAWRENCE, JR., S.C. REG. NO. 41111



- NOTES:**
- 1) AREA IS DETERMINED BY THE COORDINATE METHOD.
  - 2) ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSE ONLY.
  - 3) THE PUBLIC RECORDS REFLECTED ON THIS PLAN ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
  - 4) THIS PROPERTY HAS DIRECT VEHICULAR ACCESS TO TO A PUBLICLY DEDICATED RIGHT-OF-WAY.
  - 5) DISTANCE SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES.
  - 6) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED BY ASHLEY SURVEYING, INC. FOR THIS PLAN. THEREFORE THIS PLAN DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF METALS, CONTAMINANTS, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
  - 7) PROPERTY DESIGNATED AS FLOOD HAZARD ZONE "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED COMMUNITY PANEL NO. 3503C-0001A, BEARING AN EFFECTIVE DATE OF OCTOBER 16, 2003
  - 8) PROPERTY IS ZONED: GC
  - 9) ELEVATIONS ARE BASED OFF OF NAVD 83 DATUM

- REFERENCES:**
- 1) PLAT BY E.M. SEABROOK, JR., DATED JUNE 21, 1946 IN PLAT BOOK W, AT PAGE 82.
  - 2) PLAT BY PAUL C. LAWSON, JR., REVISED APRIL 9, 1998 IN PLAT CAB N, AT PAGE 141.
  - 3) PLAT BY LAWRENCE J. KENNEDY, REVISED MAY 26, 1999 IN PLAT CAB O, AT PAGE 63-B.
  - 4) PLAT BY GEORGE A.J. JENSEN, JR., DATED SEPTEMBER 9, 1983 IN PLAT CAB E, AT PAGE 194.
  - 5) UNRECORDED PLAN BY WELLS SMITH & ASSOCIATES CONSULTING ENGINEERS, REVISED JULY 6, 1998
  - 6) SCOOT PLANS FOR BERKELEY COUNTY, DOCKET # 8.559, PROJECT # M-5087(1), PAGES 18 & 19
  - 7) SCOOT PLANS FOR BERKELEY COUNTY, DOCKET # 8.635.1, PROJECT # M-5087(16), PAGES 11 & 57.
  - 8) PLAT BY H. QUERRY, DATED NOVEMBER 12, 1948 IN PLAT BOOK R, PAGE 179.
  - 9) DEED BOOK C271, PAGE 101, DATED NOVEMBER 15, 1988
  - 10) DEED BOOK A833, PAGE 178, DATED NOVEMBER 15, 1988
  - 11) DEED BOOK 832, PAGE 109, DATED MARCH 27, 1996
  - 12) DEED BOOK C132, PAGE 51, DATED DECEMBER 16, 1978.
  - 13) DEED BOOK C46, PAGE 517, DATED FEBRUARY 14, 1950.

**ZONING REQUIREMENTS:**  
 SETBACKS: 20' FRONT, 10' SIDES & 20' REAR  
 HEIGHT RESTRICTIONS: 50' / 4.0 STOREYS  
 THIS LOT IS LOCATED IN FLOOD ZONE X  
 SEE COMMERCE FROM 1981 42015C 0395 D  
 DATED OCTOBER 16, 2003  
 SEE 243-04-00-048

**PARKING SPACES = 125**  
**REGULAR SPACES = 125**  
**SHOULDER SPACES = 0**

**EASEMENTS RELATIVE TO THE SUBJECT PROPERTY:**

- 1) TRANSMISSION LINE EASEMENT AND R/W GRANTED BY WEST VIRGINIA PULP & PAPER COMPANY. A DEED WAS EXECUTED BY THE TRANSMISSION LINE EASEMENT RIGHT OF WAY. THIS EASEMENT IS BY EACH SIDE OF THE SURVEY LINE SHOWN ON MAP TITLED "NORTH CAROLINA PUBLIC SERVICE AUTHORITY, SANTEE COOPER PROJECT, P.W.A. DOCKET NO. 429, TRANSMISSION PROPERTY PLAN CHARACTERIZATION (1) 8C LINE NO. 1 (DRAWING NO. 338E2-87), 200(K)-837, 230(K)-873, COMPOSED OF THE SHEET NUMBERS 1, 7 & 18. THIS DEED IS RECORDED IN BOOK C, PAGE 94 IN THE REGISTER OF DEEDS OFFICE OF BERKELEY COUNTY. (LOCATED AND SHOWN ON PLAT)
- 2) GRANT OF POWER LINE EASEMENT AND R/W ON AUGUST 22, 1956 BY WEST VIRGINIA PULP & PAPER COMPANY TO NORTH CAROLINA ELECTRIC AND GAS COMPANY BEING 20' BY WIDTH AND 241' MORE OR LESS IN LENGTH AND IS MORE PARTICULARLY DESCRIBED ON A PLAT DOTTLED "PROPOSED R/W ACROSS PROPERTY OF W. VA. PULP & PAPER CO., A DISTANCE OF 241' ON L. 138 ACRES" RECORDED IN PLAT BOOK L, PAGE 98. (UNABLE TO LOCATE BECAUSE OF INSUFFICIENT METES AND BOUNDS)
- 3) GAS TRANSMISSION LINE EASEMENT GRANTED BY NORTH AREA AUTO PARTS, INC. TO SOUTH CAROLINA ELECTRIC AND GAS COMPANY EXECUTED ON DECEMBER 19, 1978 AND IS MORE ACCURATELY DEPICTED ON SCALG DRAWING # A-61271 ENTITLED "GOOSE CREEK - ALLIANCE F GAS LINE." THIS DEED IS RECORDED IN DEED BOOK C13, PAGE 51. (LOCATED AND SHOWN ON PLAT)
- 4) ROADWAY EASEMENT GRANTED BY WEST VIRGINIA PULP & PAPER COMPANY TO AMERICAN MORTGAGE AND INVESTMENT COMPANY ON NOVEMBER 28, 2006, RECORDED IN BOOK C8, PAGE 81. (UNABLE TO LOCATE BECAUSE OF INSUFFICIENT METES AND BOUNDS)
- 5) A GRANT OF A 10' ELECTRICAL EASEMENT BY NORTH AREA AUTO PARTS, INC., STEPHEN VANK, TIMOTHY J. CORBETT, AND CAMEL S. CORBETT TO BERKELEY ELECTRIC COOPERATIVE, INC. DATED MARCH 28, 1996, RECORDED IN DEED BOOK 83, PAGE 108. (LOCATED AND SHOWN ON PLAT)
- 6) GRANT OF FRUITFUL EASEMENT TO BERKELEY COUNTY WATER AND SEWER AUTHORITY BY NORTH AREA AUTO PARTS, INC. DATED NOVEMBER 13, 1989, RECORDED IN BOOK C271, PAGE 61 AND IS MORE ACCURATELY DEPICTED ON A PLAT BY WELLS SMITH ASSOCIATES RECORDED IN PLAT CABINET L, PAGE 6. (LOCATED AND SHOWN ON PLAT)
- 7) A GRANT OF EASEMENTS TO BERKELEY COUNTY WATER AND SEWER AUTHORITY BY NORTH AREA AUTO PARTS, INC. DATED NOVEMBER 13, 1989 RECORDED IN BOOK A84, PAGE 178. THESE EASEMENTS ARE MORE CLEARLY DEPICTED ON PLAT BY WELLS SMITH ASSOCIATES DATED JUNE 11, 1989 ON FILE IN THE BERKELEY COUNTY WATER AND SEWER AUTHORITY'S OFFICE. (LOCATED AND SHOWN ON PLAT)

WEST LOCATING SERVICE, INC.  
 5912 CAMPBELL STREET  
 HANNAH, SOUTH CAROLINA 29410  
 JAMES WHITE - OPERATIONS MANAGER  
 (843) 747-5101

**Legal Description of TMS: 243-04-00-049**  
 ALL THAT PICEK PARCEL OR TRACT OF LAND SITUATE, LYING, AND BEING IN THE CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA, AND SHOWN AND DEPICTED ON A PLAT PREPARED BY PAUL C. LAWSON, JR. OF ASHLEY LAND SURVEYING, INC. ENTITLED "ALTA SURVEY OF TMS: 243-04-00-048, (1) A ACCESS OWNED BY NORTH AREA AUTO PARTS, INC. LOCATED IN THE CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA," DATED JUNE 30, 2016 BEING MORE PARTICULARLY DEFINED AS FOLLOWS:

COMMENCING AT AN X mark found on the sidewalk at the intersection of Watview Boulevard and U.S. HWY 176, also known as St. James Avenue, which has a variable width right of way and extending on a bearing of N 71° 19' 00" W along the right of way of U.S. HWY 176 to a 5/8" rebar found; thence S 68° 50' 00" W along TMS 243-04-00-029, owned by CAB Federal Credit Union for a distance of 6.02' to an X mark on an electric line being the POINT OF BEGINNING of the property to be described; thence S 68° 50' 00" W along TMS 243-04-00-029 owned by CAB Federal Credit Union for a distance of 244.00' to a 5/8" rebar found; thence S 21° 17' 01" E along TMS 243-04-00-029 owned by CAB Federal Credit Union for a distance of 143.42' to a 5/8" rebar set; thence S 68° 50' 00" W along the right of way of Watview Boulevard for a distance of 50.19' to a 5/8" rebar set; this being a common corner with TMS 243-04-00-050, owned by Hillside Holdings, LLC, thence N 27° 39' 18" W along TMS 243-04-00-050, owned by Hillside Holdings, LLC, for a distance of 121.84' to a 5/8" rebar found; thence S 79° 39' 50" W along TMS 243-04-00-050, owned by Berkeley County School District, for a distance of 272.20' to a 5/8" rebar found; this corner being common with the Berkeley County School District, Plan C Investments, LLC, and the subject property; thence N 64° 48' 32" E along TMS 243-04-00-062, owned by Plan C Investments, LLC, for a distance of 156.89' to a building corner found; thence N 77° 17' 34" E along TMS 243-04-00-062, owned by Plan C Investments, LLC, for a distance of 68.00' to a canopy corner found; thence N 64° 49' 01" E along TMS 243-04-00-062, owned by Plan C Investments, LLC, for a distance of 249.40' to a 5/8" rebar found at the right of way of U.S. HWY 176; thence S 27° 19' 07" E along the right of way of U.S. HWY 176 to the X mark on the electric line representing the POINT OF BEGINNING.

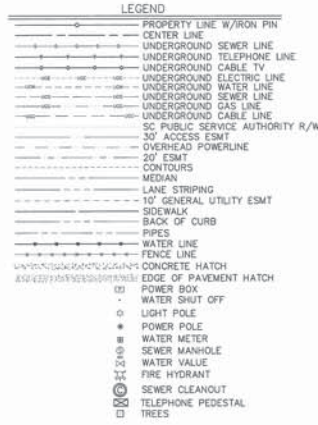
- TREES**
- 1409, 14' LIVE OAK
  - 1401, 10' TRIPLE LIVE OAK
  - 1402, 10' LIVE OAK
  - 1403, 14' LIVE OAK
  - 1404, 12' LIVE OAK
  - 1405, 14' LIVE OAK
  - 1406, 18' BRADFORD PEAR
  - 1407, 17' TRIPLE BRADFORD PEAR
  - 1408, 10' DOUBLE BRADFORD PEAR

THE SURVEYED LEGAL IS ONE AND THE SAME AS THE LEGAL ON THE SELLER'S VESTING DEED

**Exemptions**  
 Schedule B of the policy or policies to be issued will contain exemptions to the following extent unless the same are disposed of to the satisfaction of the Company:

1. Inflation, loss, accumulation, adverse claims or other matters, if any, caused, first appearing in the public records or attaching subsequent to the Effective Date but prior to the date the proposed insured acquires the value of said estate or interest or subsequent years covered by this Contract.
2. Any loss, or right to a loss, for labor, services, or material furnished or hereafter furnished.
3. Taxes for the year 2016 and subsequent years, if any not yet due and payable.
4. Rights of parties in possession of the land.
5. Any encumbrances, easements, restrictions, or adverse circumstances affecting the Title that would be disclosed by an accurate and complete land survey of the Land.
6. Covenants, conditions, restrictions, easements, liens for assessments, options, powers of attorney, and limitations on title in that certain Declaration of Restrictive Covenant recorded at Book A103, Page 104 in the ROD Office for Berkeley County, South Carolina. (NOT RELEVANT TO SUBJECT PROPERTY)
7. Covenants, conditions, restrictions, easements, liens for assessments, options, powers of attorney, and limitations on title in that certain Declaration of Restrictive Covenant recorded at Book 1096, Page 6177 in the ROD Office for Berkeley County, South Carolina. (NOT RELEVANT TO SUBJECT PROPERTY)
8. Covenants, conditions, restrictions, easements, liens for assessments, options, powers of attorney, and limitations on title in that certain instrument recorded at Book C-45, Page 319 in the ROD Office for Berkeley County, South Carolina. (PLOTTABLE - SEE SURVEY)
9. Covenants, conditions, restrictions, easements, liens for assessments, options, powers of attorney, and limitations on title in that certain instrument recorded at Book C-51, Page 389 in the ROD Office for Berkeley County, South Carolina. (NOT RELEVANT - UNABLE TO LOCATE FILE TO LACK OF METES AND BOUNDS)
10. Covenants, conditions, restrictions, easements, liens for assessments, options, powers of attorney, and limitations on title in that certain instrument recorded at Book C-83, Page 21 in the ROD Office for Berkeley County, South Carolina. (NOT RELEVANT TO SUBJECT PROPERTY)
11. Covenants, conditions, restrictions, easements, liens for assessments, options, powers of attorney, and limitations on title in that certain instrument recorded at Book A-831, Page 178 in the ROD Office for Berkeley County, South Carolina. (PLOTTABLE - SEE EXCEPTION 14)
12. Covenants, conditions, restrictions, easements, liens for assessments, options, powers of attorney, and limitations on title in that certain instrument recorded at Book C-771, Page 101 in the ROD Office for Berkeley County, South Carolina. (PLOTTABLE - SEE SURVEY)
13. Covenants, conditions, restrictions, easements, liens for assessments, options, powers of attorney, and limitations on title in that certain instrument recorded at Book C-132, Page 52 in the ROD Office for Berkeley County, South Carolina. (EXCEPT FOR EXCEPTION 11 - NOT PLOTTABLE)
14. Covenants, conditions, restrictions, easements, liens for assessments, options, powers of attorney, and limitations on title in that certain Regional Easement Agreement recorded at Book 1698, Page 6169 in the ROD Office for Berkeley County, South Carolina. (PLOTTABLE - SEE EXCEPTION 14)
15. Covenants, conditions, restrictions, easements, liens for assessments, options, powers of attorney, and limitations on title in that certain instrument recorded at Book C-703, Page 112 in the ROD Office for Berkeley County, South Carolina. (PLOTTABLE - RIGHT OF WAY LIES ALONG US HWY 176)
16. Unencumbered right-of-way to the South Carolina Highway Department given by North Area Auto Parts, Inc. dated February 4, 1989. (PLOTTABLE - RIGHT OF WAY LIES ON US HWY 176)
17. Unencumbered right-of-way to the South Carolina Highway Department given by North Area Auto Parts, Inc. dated February 4, 1989. (PLOTTABLE - RIGHT OF WAY LIES ON US HWY 176)
18. Unencumbered right-of-way to the South Carolina Highway Department given by North Area Auto Parts, Inc. dated February 4, 1989. (PLOTTABLE - RIGHT OF WAY LIES ON US HWY 176)
19. That certain portion of the "LOISE G. LOGAN" TRACT OWNED BY WEST VA. PULP & PAPER COMPANY LOCATED NEAR THE TOWN OF GOOSE CREEK, IN BERKELEY COUNTY, S.C. CONTAINING 8.12 ACRES" dated November 12, 1968 and recorded January 28, 1968 at Plat Book R, Page 179, ROD Office for Berkeley County, South Carolina. (PLOTTABLE - SEE SURVEY)
20. Survey by Ashley Surveying, Inc. dated December 29, 1993, revised April 1, 1994, entitled in part "PLAT SHOWING 6 TRACTS OF LAND OWNED BY OR ABOUT TO BE CONVEYED TO NORTH AREA AUTO PARTS, INC. THE CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA" and recorded April 14, 1998 at Plat Cabinet N, Sheet 141, RMC Office for Berkeley County, South Carolina shows the following: (a) 100' South Carolina Public Service Authority R/W and GAS Line Power Lines along the above property line; (b) encumbrances by apprais of approximately 1.3 feet into adjoining property to the north near southeast corner of building and (c) 10' E.C. Utility Easement adjacent to L. 138. (PLOTTABLE - SEE SURVEY & EXCEPTIONS 6 & 19)
21. Lease from North Area Auto Parts, Inc. to World Financial Corporation of South Carolina, dated February 20, 2012 and recorded at Book 95-45, Page 30 in the ROD Office for Berkeley County, South Carolina. (LEASE FOR BUILDINGS - NOT PLOTTABLE)

**NOTICE:**  
 CONSIDERABLE EFFORT HAS BEEN MADE TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES. SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN FROM UTILITY RECORDS. THIS PLAN DOES NOT WARRANT THAT UTILITIES ARE SHOWN ACCURATELY. NOTE THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO BEGINNING DIGGING OPERATIONS. CALL PALMETTO UTILITIES LOCATION SERVICES AT 1-800-822-0863 A MINIMUM OF 3 WORKING DAYS BEFORE DIGGING. ANY UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ADDITIONALLY, THE CONTRACTOR SHALL COMPLY WITH THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING NEW CONSTRUCTION.



**ASHLEY LAND SURVEYING, INC.**  
 300 RANGELINE PARKWAY, SUITE 100, SHARPSVILLE, SOUTH CAROLINA 29583  
 (843) 747-5101  
 FAX: 843-747-5102  
 WWW.ASHLEYLANDSURVEYING.COM

**ALTA SURVEY OF TMS 243-04-00-049 (3.14 ACRES) OWNED BY NORTH AREA AUTO PARTS, INC. LOCATED IN THE CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA**

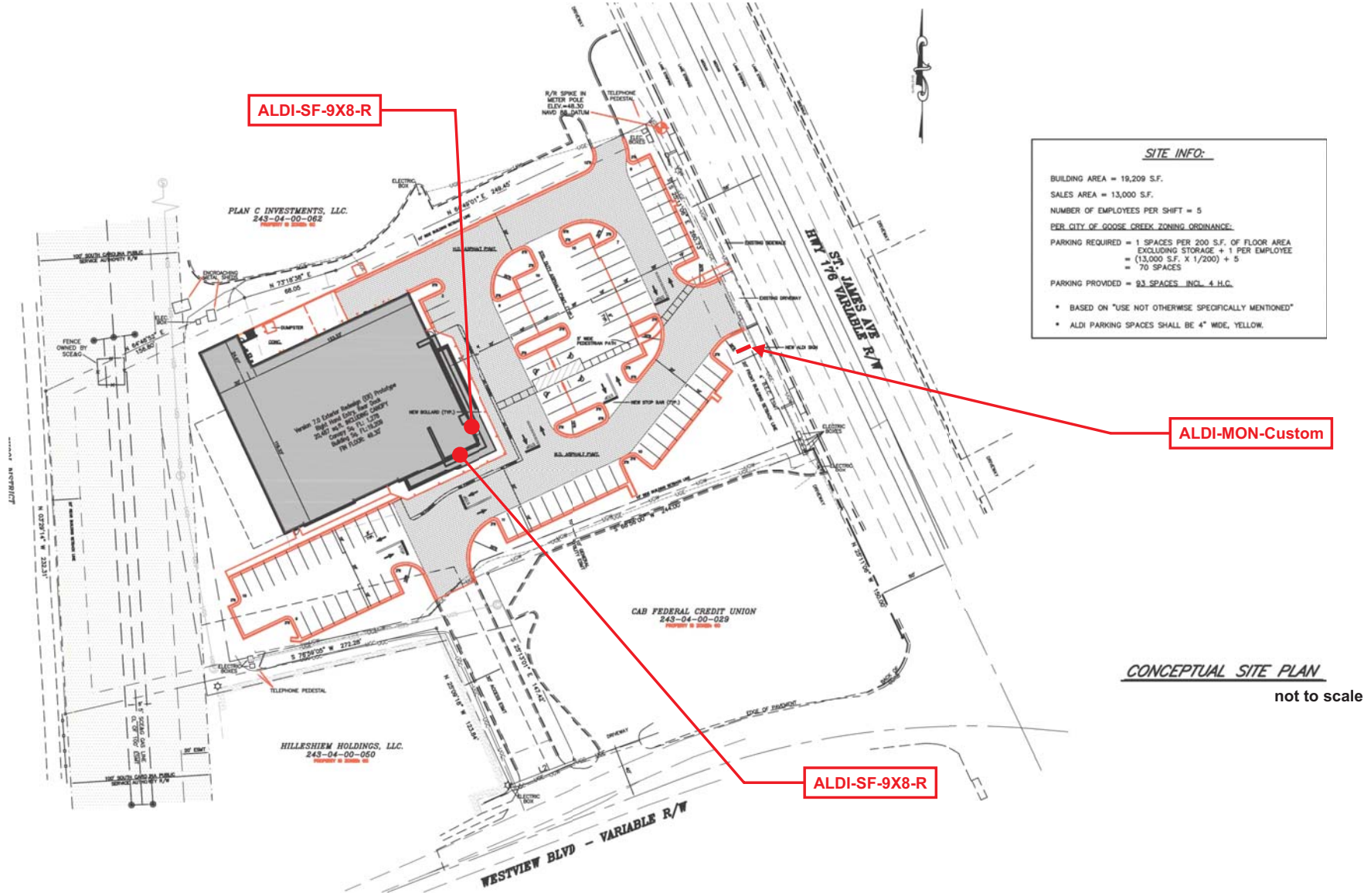
**CERTIFICATE OF SURVEY**  
 BERKELEY COUNTY, SOUTH CAROLINA  
 ASHLEY SURVEYING, INC.  
 JAMES WHITE, SURVEYOR

SCALE: 1" = 30'  
 JUNE 30, 2016

THIS SURVEY WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED SURVEYOR IN THE STATE OF SOUTH CAROLINA. I HAVE READ THIS REPORT AND I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HAVE ALSO CERTIFIED THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HAVE ALSO CERTIFIED THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HAVE ALSO CERTIFIED THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



**ALDI**  
**OP023555**  
**Goose Creek, SC**  
**November 18, 2020**



**SITE INFO:**

BUILDING AREA = 19,209 S.F.  
 SALES AREA = 13,000 S.F.  
 NUMBER OF EMPLOYEES PER SHIFT = 5  
 PER CITY OF GOOSE CREEK ZONING ORDINANCE:  
 PARKING REQUIRED = 1 SPACES PER 200 S.F. OF FLOOR AREA  
 EXCLUDING STORAGE + 1 PER EMPLOYEE  
 = (13,000 S.F. X 1/200) + 5  
 = 70 SPACES  
 PARKING PROVIDED = 93 SPACES, INCL. 4 H.C.

\* BASED ON "USE NOT OTHERWISE SPECIFICALLY MENTIONED"  
 \* ALDI PARKING SPACES SHALL BE 4" WIDE, YELLOW.

**CONCEPTUAL SITE PLAN**  
not to scale



Client Review Status	Declaration	Date / Description	Project Information
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**Front Elevation**  
Scale: 1/16"=1'-0"



**Side Elevation**  
Scale: 1/16"=1'-0"



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 Approved  Approved as Noted  Revise & Resubmit  
 Name \_\_\_\_\_  
 Title \_\_\_\_\_ Date \_\_\_\_\_

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**Date / Description**

Date	Description	Initial
11/13/2020	Issue Date	
11/17/20	Various Changes	ZWB
11/18/20	Various Changes	ZWB
-	-	-
-	-	-

**Project Information**

Client	ALDI / OP023555
	St. James Ave
	Goose Creek, SC 29445
File	OP023555 Goose Creek, SC 302
Sales	DS Design ZWB PM HS





Note:  
UL48 label will be applied  
to the top left of retainer.



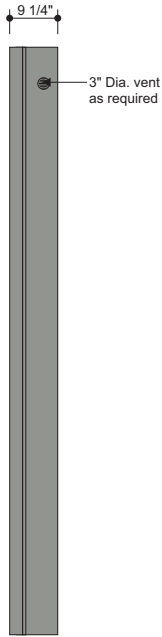
**Front View**

Scale: 1/2"=1'-0"

**General Specifications**

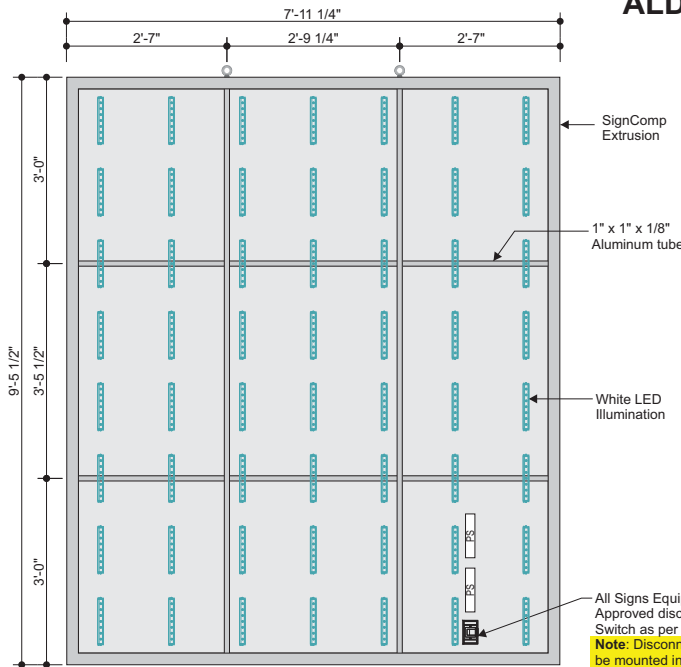
Aluminum S/F Cabinet Spec'd As Indicated.  
3M FS1 FLEX Faces with Digital Print Graphics.  
Flex faces will have a gloss laminate.  
Cabinet interior painted white.  
White LED Illumination As Spec'd.

75.07 Sq Ft



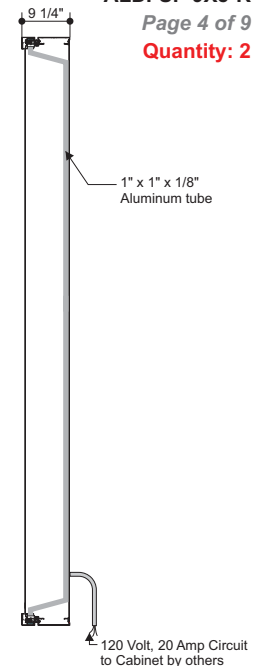
**Side View**

Scale: 1/2"=1'-0"



**Cabinet Frame**

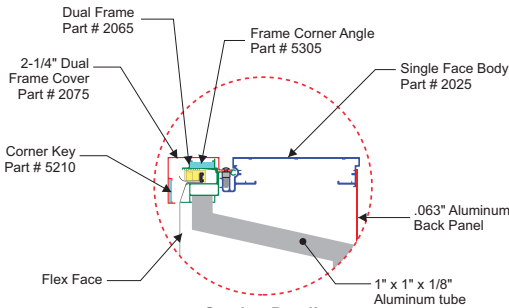
Scale: 1/2"=1'-0"



**Section View**

Scale: 1/2"=1'-0"

Hardware Mounting Chart			
Note:	Masonry	Wood	Metal
Threaded Rod will be Provided Standard for All. Other Hardware Is to be Provided by the Installer As Req.			
1/4" Zinc Plated Steel Threaded Rod Thru Wall	●	●	●
3/8" Laggs with Shields	●		
3/8" Lag Bolts		●	
3/8" Toggle Bolts			●



**Section Detail**

Scale: 1" = 6"

**Matthews Paint - Color Formula**

MP 82088, Color name: ALDI SLATE GRAY  
Version 1.0  
Product: Ultra Low VOC Gloss

**Color reference color system PERSONA**  
Color ALDI SLATE GRAY

Intermediate Code	Intermediate Description	Grams Per Gallon	Accum	Grams Per 3/4 Gallon	Accum	Grams Per 1/2 Gallon	Accum
MAP-LVQ202SP	WHITE	3425.3	3425.3	2569.0	2569.0	1712.7	1712.7
MAP-LVQ923SP	BLACK	1052.2	4477.5	789.1	3358.1	526.1	2238.8
MAP-LVQ423SP	GREEN YELLOW	358.9	4836.4	269.2	3627.3	179.5	2418.3
MAP-LVQ473SP	SCARLET	183.5	5019.9	137.7	3765.0	91.8	2510.1
MAP-LVQ917SP	YELLOW OXIDE	79.1	5049.0	21.9	3786.9	14.6	2524.7
<b>Totals:</b>		<b>5049.0</b>		<b>3786.9</b>		<b>2524.7</b>	

**Color Specifications**

- Pantone 298 C - RGB 85/195/240  
RAL 670-6 - CMYK 65/0/0/0
- Pantone 281 C - RGB 0/0/95  
RAL 5022 - CMYK 100/85/0/50
- Pantone 2035 C - RGB 215/0/0  
RAL 3020 - CMYK 0/100/100/5
- Pantone 3564 C - RGB 255/120/0  
RAL 2008 - CMYK 0/63/100/0
- Pantone 7548 - RGB 255/200/0  
RAL 1023 - CMYK 0/25/100/0
- Pantone 423 C Slate Grey  
ALDI Grey



UL48  
CSA C22.2 No.207  
E212503  
A1 017510

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



**Client Review Status**

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Name \_\_\_\_\_  
Title \_\_\_\_\_

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**Date / Description**

Date	Description	Initial
11/13/2020	Issue Date	
11/17/20	Various Changes	ZWB
11/18/20	Various Changes	ZWB
-	-	-
-	-	-

**Project Information**

Client ALDI / OP023555  
St. James Ave  
Goose Creek, SC 29445  
File OP023555 Goose Creek, SC 302  
Sales DS Design ZWB PM HS



# LED Layout

ALDI-SF-9X8-R

Page 5 of 9

Material Breakdown		
GESS2441-2	Modules	24V P/S
COLUMN 1	8	1
COLUMN 2	8	
COLUMN 3	8	
COLUMN 4	8	
COLUMN 5	8	1
COLUMN 6	8	
COLUMN 7	8	

Can Depth	LED Loc. From Face	Illumination	Power Supply Location	Primary Circuit (120 VAC)	Total System Watts	Sign Area	Energy Usage
8.3125"	N/A	FACE LIT	SELF-CONTAINED	2.2 Amps	165.76 Watts	76.00 Sq Ft	2.18 Watts/Sq Ft

Sign Information		Special Instructions	SKU	Description	Quantity
		ESTIMATE FOR SINGLE FACED SIGN		GESS2441-2	56 Mod
1) THE GRAPHICS ABOVE ARE FOR REFERENCE ONLY and should not be used for commercial quotation or bid without validation. The material estimates for Tetra® L based upon our engineering standards and information provided pertaining to font, letter height, can depth, face material, and any special instructions provided by the customer. Missing information will cause delays in delivery of estimates as well as affect product selection, quantities, application, and illumination.				GEPS24-100U-NA	2 Ea
2) LED MODULE PLACEMENT AND QUANTITY IS AN APPROXIMATION ONLY. The sign manufacturer must verify module placement and quantity to ensure even illumination.					
3) Final material quantities for estimation purposes and construction are the responsibility of the sign OEM.					
4) All signs should be tested as complete units (including correct Tetra® power supply) before installation for acceptable color, illumination, intensity, & functionality.				191600041 or 192160004	Wire Connector 22 Ea
5) For detailed information and instructions refer to the applicable Tetra® product found under Signage: <a href="https://products.currentbvqe.com/">https://products.currentbvqe.com/</a>				9409	18 AWG Supply Wire 39 Ft
				191600041	Wire End Caps 14 Ea

**TECHNICAL SUPPORT:**  
888-694-3533 / 216-266-2419  
EMAIL: [tetradrawings@qe.com](mailto:tetradrawings@qe.com)

Drawn By: SD  
Checked By: DM  
Date: 7/24/18

Job Name: Aldi  
Customer Name:

**Drwg #: 076968 - 11** Rev  
PAGE 1 OF 1



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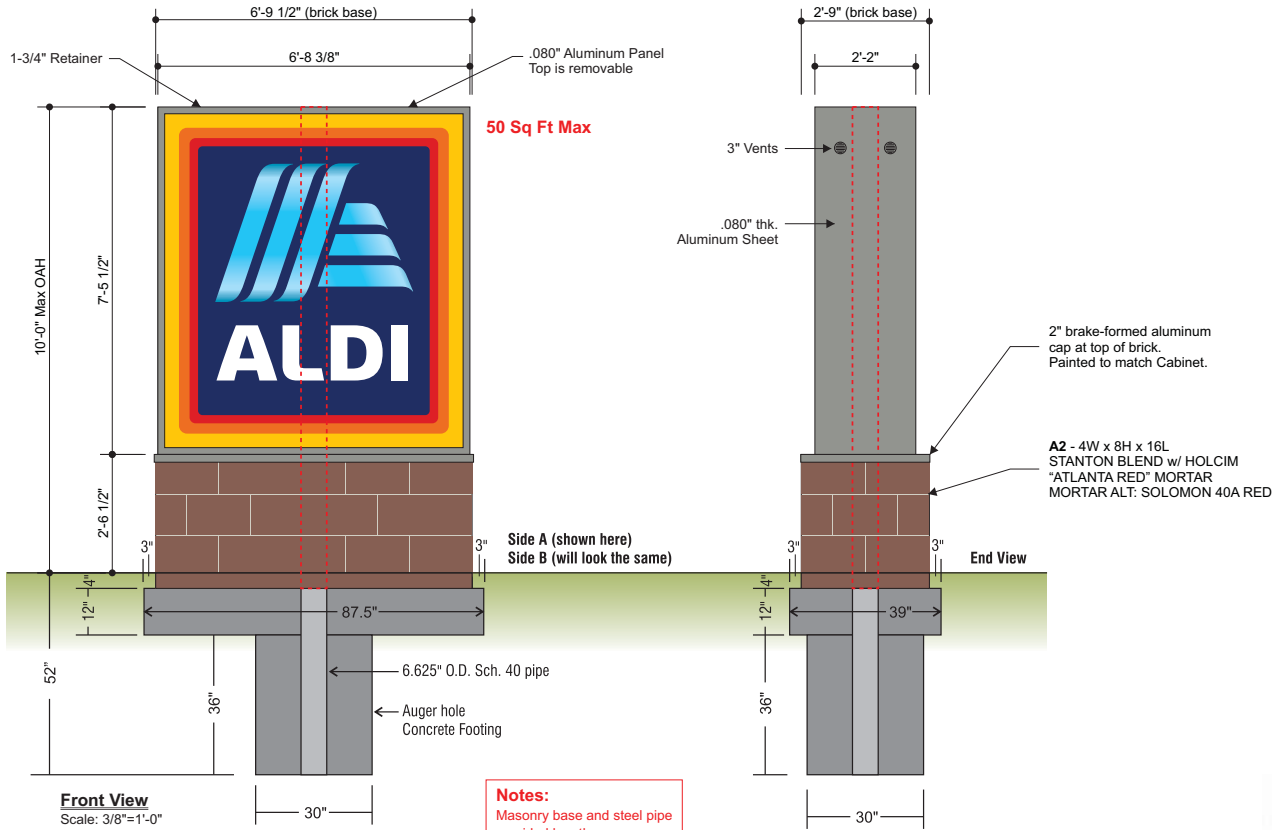
# Monument Cabinet

ALDI-MON-Custom

Page 6 of 9

Quantity: 1

**NON-STANDARD**



**Notes:**  
Masonry base and steel pipe provided by others.

**General Specifications**  
Aluminum D/F Cabinet Spec'd As Indicated.  
3M FS1 FLEX Faces with Digital Print Graphics.  
Flex faces will have a gloss laminate.  
1-3/4" Retainers. Cabinet interior painted white.  
White LED Illumination As Spec'd.

**Color Specifications**

- Pantone 298 C - RGB 85/195/240  
RAL 670-6 - CMYK 65/0/0/0
- Pantone 281 C - RGB 0/0/95  
RAL 5022 - CMYK 100/85/0/50
- Pantone 2035 C - RGB 215/0/0  
RAL 3020 - CMYK 0/100/100/5
- Pantone 3564 C - RGB 255/120/0  
RAL 2008 - CMYK 0/63/100/0
- Pantone 7548 - RGB 255/200/0  
RAL 1023 - CMYK 0/25/100/0
- Pantone 423 C Slate Grey  
ALDI Grey

**Mathews Paint - Color Formula**  
MP 82088, Color name: ALDI SLATE GRAY  
Version 1.0  
Product: Ultra Low VOC Gloss

**Cross reference color system PERSONA**  
**Color ALDI SLATE GRAY**

Intermediate Code	Intermediate Description	Grams Per Gallon	Grams Per Accum	Grams Per 3/4 Gallon	Grams Per Accum	Grams Per 1/2 Gallon	Grams Per Accum
MAP-LV0025P	WHITE	3425.3	3425.3	2569.0	2569.0	1712.7	1712.7
MAP-LV0923P	BLACK	1052.2	4477.5	789.1	3358.1	526.1	2238.8
MAP-LV0942P	GREEN YELLOW	358.0	4836.4	269.2	3627.3	179.5	2418.3
MAP-LV0947P	SCARLET	183.5	5019.9	137.7	3765.0	91.8	2510.1
MAP-LV0917P	YELLOW OXIDE	29.1	5049.0	21.9	3786.9	14.6	2524.7
<b>Totals:</b>		<b>5049.0</b>		<b>3786.9</b>		<b>2524.7</b>	

**Allen Industries** UL48 Electric Sign Complies with **CSA C22.2 No.207** **A1 017510** THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. **GROUNDING ELECTRICAL CONNECTIONS**



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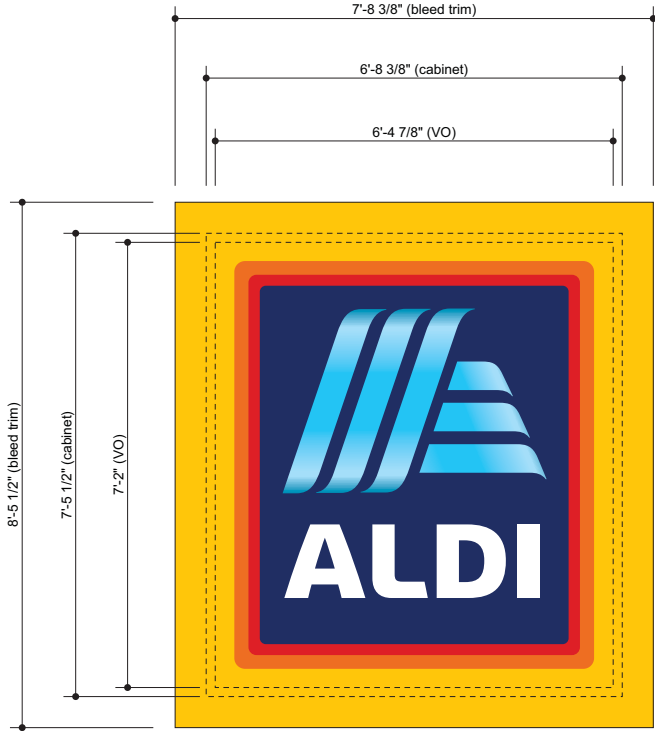
**Allen Industries**  
YOUR BRAND AT ITS BEST™  
**1-800-967-2553**  
[www.allenindustries.com](http://www.allenindustries.com)

# Monument Cabinet

ALDI-MON-Custom

Page 7 of 9

Quantity: 2 Faces



**Print Layout**  
Scale: 1/2"=1'-0"

**Color Specifications**

- Pantone 298 C - RGB 85/195/240  
RAL 670-6 - CMYK 65/0/0/0
- Pantone 281 C - RGB 0/0/95  
RAL 5022 - CMYK 100/85/0/50
- Pantone 2035 C - RGB 215/0/0  
RAL 3020 - CMYK 0/100/100/5
- Pantone 3564 C - RGB 255/120/0  
RAL 2008 - CMYK 0/63/100/0
- Pantone 7548 - RGB 255/200/0  
RAL 1023 - CMYK 0/25/100/0
- White



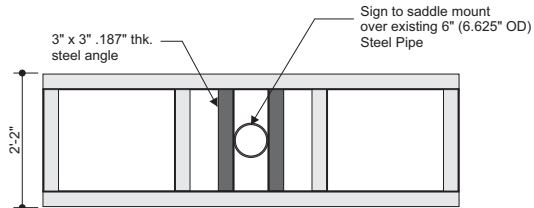
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Sales <b>DS</b> Design <b>ZWB</b> PM <b>HS</b>																							



# Monument Cabinet

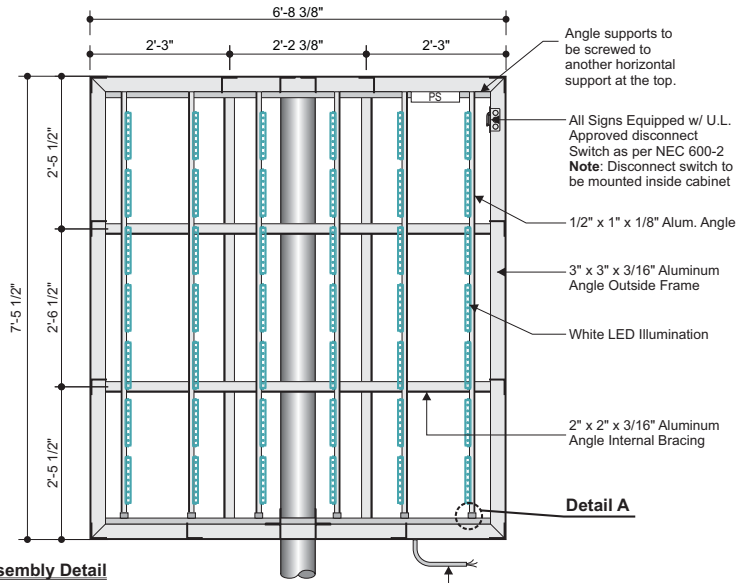
## Production Details

**NON-STANDARD**



**Top View**  
Scale: 1/2"=1'-0"

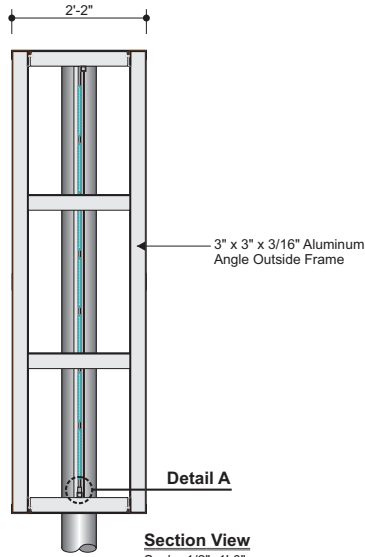
**Notes:**  
Power supplies will be mounted toward the top interior to allow for access from removable top panel.



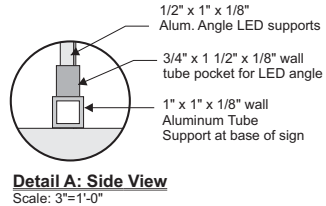
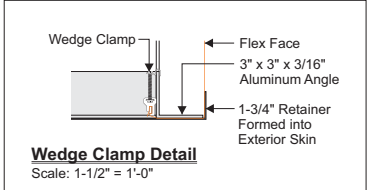
**Assembly Detail**  
Scale: 1/2"=1'-0"

120 Volt, 20 Amp Circuit to Cabinet by others

**Notes:**  
Masonry base and steel pipe provided by others.



**Section View**  
Scale: 1/2"=1'-0"



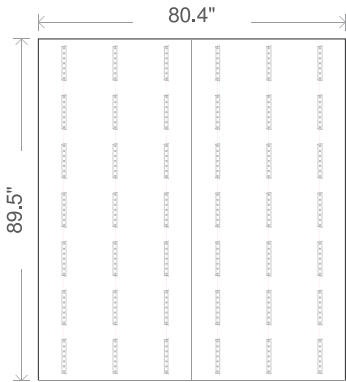
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**Tetra LED System**  
 Tech Support: 888-694-3533  
 Email: tetradrawings@gecurrent.com

**GE current**  
 a Daintree company



<b>Date</b>	<b>Power Supply</b>	<b>Power Supply Location</b>	<b>Area</b>	<b>Wire Connectors</b>
November 18, 2020	(1) GEPS24-300U-GL	-	99.91 sqft	16
<b>Name</b>	<b>Total Watts</b>	<b>Illumination</b>	<b>Perimeter</b>	<b>Supply Wire</b>
none:797664	213.4	Face Lit	28.31 ft	0.0 ft
<b>Module Name</b>	<b>Can Depth</b>	<b>Total Amps</b>	<b>Dimensions</b>	<b>Wire End Caps</b>
(42) Tetra PowerStrip DS White	26.00"	2.7	80.4" x 89.5" x 26.0"	12

- 1) THE GRAPHICS ABOVE ARE FOR REFERENCE ONLY and should not be used for commercial quotation or bid without validation. The material estimates for Tetra® LED Systems are based upon our engineering standards and information provided pertaining to font, letter height, and can depth.
- 2) LED MODULE PLACEMENT AND QUANTITY IS AN APPROXIMATION ONLY. The sign manufacturer must verify module placement and quantity to ensure even illumination.
- 3) All signs should be tested as complete units (including correct Tetra® power supply) before installation for acceptable color, illumination, intensity, & functionality.
- 4) For detailed information and instructions refer to the applicable Tetra® product found under Signage at: [www.gelightingssolutions.com](http://www.gelightingssolutions.com)



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MINOR MODIFICATIONS

**CHICK FIL A**

516 ST. JAMES AVE

**Revised Site Plan, Building, Canopy, Color and Elevation**

---



**ARB SCOPE OF WORK FORM/**

**APPLICATION / INFORMATION SUMMARY**

**DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118**

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

<b>Property Address:</b> 516 St. James Ave., Goose Creek, SC		<b>TMS No.:</b> 234-07-05-039
<b>Review request:</b> <input type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final	<b>For:</b> <input checked="" type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations / Additions <input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	<b>Preliminary meeting date requested:</b> Dec 21, 2020 <input type="checkbox"/> Appeal Decision of Architectural Review Board

<b>Property Owner:</b> Chick-fil-A, Inc.	<b>Daytime phone:</b> 678-836-8524 (Chad Ross)
<b>Applicant:</b> Chick-fil-A, Inc. - Chad Ross	<b>Daytime phone:</b> 678-836-8524 (Chad Ross) chad.ross@cfacorp.com
<b>ARB Meeting Representative:</b> Michael S. White, P.E.	<b>Contact Information :</b> 843-556-4261 grgassoc@comcast.net
<b>Applicant's mailing address:</b> Chick-fil-A, Inc., 5200 Buffington Rd., Atlanta, GA 30349-2998	
<b>City:</b> Atlanta	<b>State:</b> GA <b>Zip:</b> 30349-2998
<b>Applicant's e-mail address:</b> chad.ross@cfacorp.com - meeting rep email is grgassoc@comcast.net	
<b>Applicant's relationship:</b> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

<b>Materials/Colors Used:</b> (specific color(s)/manufacture #'s listed: samples must be presented to Board <input checked="" type="checkbox"/> attached) (Example: Building Materials, Exterior Colors, Landscaping, Lighting)
Site Layout Plan (previously approved) Revised Site Layout Plan Revised Building & Canopy Color Elevations
<b>Scope of Work:</b> (please give a detailed description)
Previously Approved Scope of Work - Construct a new service yard addition along the rear of the existing building. Install new canopies at menu order point location and at the pickup window location. Reconstruct the existing parking lot to provide a separate entry for the stacking lane(s) and to provide a dual lane system. Parking lot will be reconstructed to separate drive thru customers from walk-in (parking) customers. Reconfigure existing stormwater detention pond to accommodate new site improvements. Revised Scope of Work - Adjust dimensions and location of Order Point Canopy. Adjust dimensions of Meal Delivery Canopy

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature: Chad Ross Date: 12/1/2020

Print name legibly: Chad Ross, Chick-fil-A, Inc., Reinvestment Division Project Manager

# **NEW PLANS**





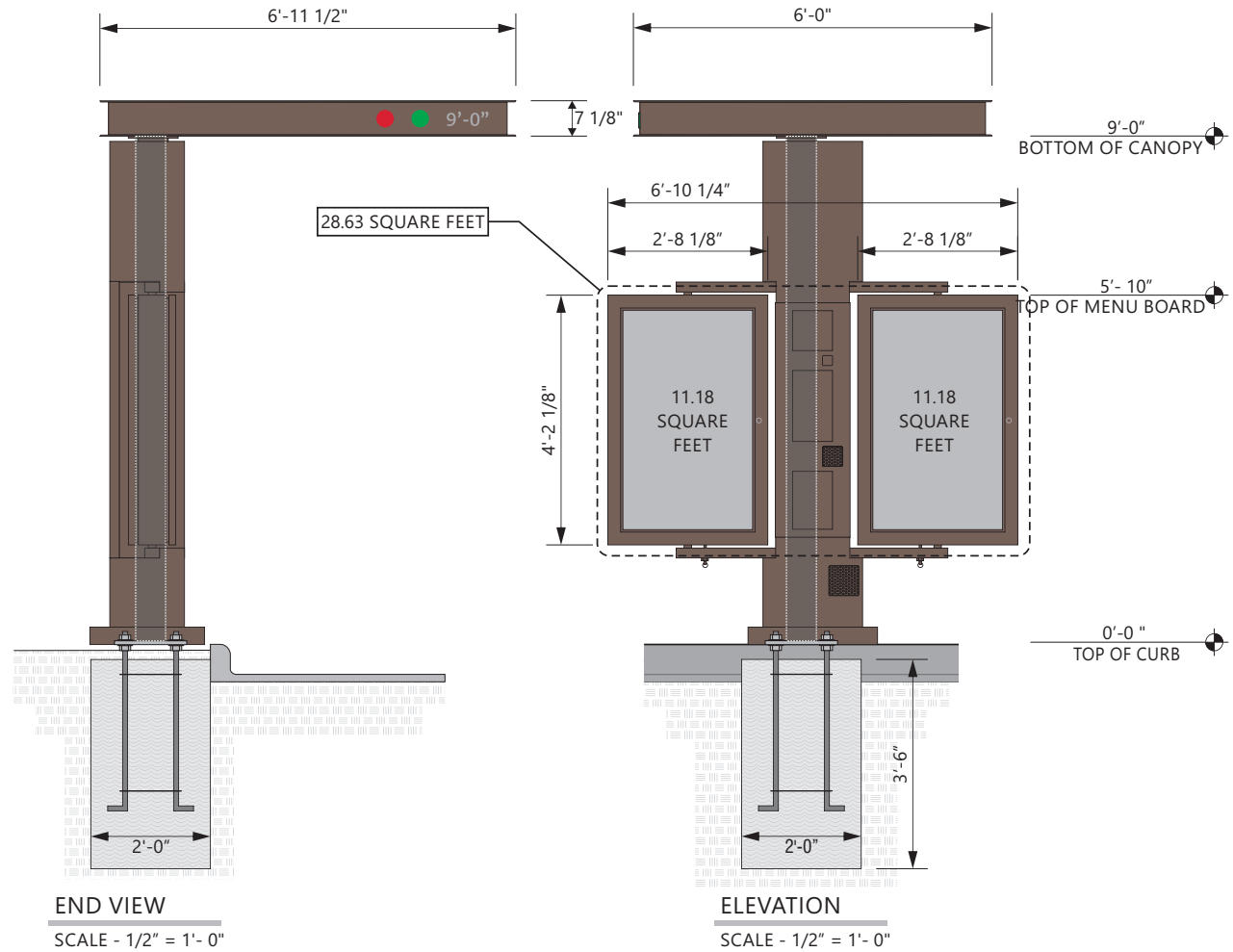
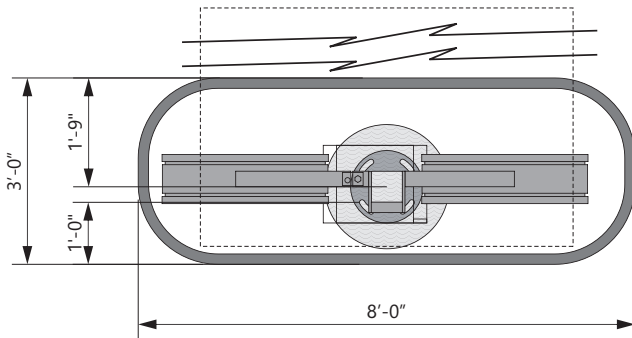
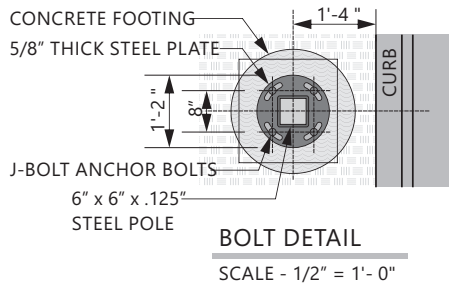
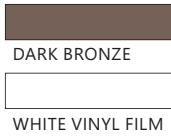


# SPECIFICATIONS

**CANOPY TOP**  
METAL TOP (OPAQUE) WITH COLOR TO MATCH BUILDING COLOR.

**STRUCTURE**  
6" X 6" STEEL SUPPORT POLE INSTALLED INTO CONCRETE FOOTING WITH ANCHOR BOLTS. 3" ALUMINUM TUBING FRAME ON CANOPY TOP.

**MENU BOARDS**  
PIVOTING ALUMINUM CONSTRUCTION CABINETS INTERNALLY ILLUMINATED WITH OPENINGS TO FIT MENU GRAPHICS. BOARDS INTERNALLY ILLUMINATED BY LEDs.



5198 North Lake Drive  
Lake City, GA 30260  
404.361.3800  
www.claytonsigns.com

**DRIVE-THRU MENU  
BOARDS / CANOPIES**

DRAWING FILE - CFA - MT PLEASANT, SC (LONG POINT) SIGNAGE.CDR

ALL ELECTRICAL  
SIGNS ARE  
120 VOLTS  
UNLESS  
OTHERWISE INDICATED

DRAWN BY **Ben Holliday**  
ACCOUNT REP. **Ben Holliday**  
DRAWING DATE **December 15, 2016**  
REVISION DATE **September 7, 2017**

STORE NUMBER	STORE ADDRESS
<b>L03857</b>	Chick-fil-A at Mt. Pleasant, SC (Long Point) 653 Long Point Road Mount Pleasant, SC 29464

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**LOCATION  
H1/H2**

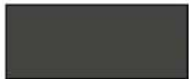
CUNNINGHAM BRICK  
RED VELOUR, MODULAR



CUNNINGHAM BRICK  
TAN VELOUR, MODULAR



DARK BRONZE  
DURA COAT



FRONT ELEVATION (SOUTHWEST) SCALE = 1/4"



SIDE ENTRY ELEVATION (NORTHWEST) SCALE = 1/4"



CHICK-FIL-A 2276  
516 SAINT JAMES AVE  
GOOSE CREEK, SC

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.

**INTERPLAN** LTC

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12-01-20



REAR ELEVATION (NORTHEAST) SCALE = 1/4"

- CUNNINGHAM BRICK  
RED VELOUR, MODULAR 
- CUNNINGHAM BRICK  
TAN VELOUR, MODULAR 
- DARK BRONZE  
DURA COAT 



DRIVE THRU ELEVATION (SOUTHEAST) SCALE = 1/4"



**CHICK-FIL-A 2276**  
516 SAINT JAMES AVE  
GOOSE CREEK, SC

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12-01-20

# **OLD PLANS**





CUNNINGHAM BRICK  
RED VELOUR, MODULAR



CUNNINGHAM BRICK  
TAN VELOUR, MODULAR



DARK BRONZE  
DURA COAT



ORDER POINT CANOPY ELEVATION



FRONT ELEVATION (SOUTHWEST) SCALE = 1/4"



SIDE ENTRY ELEVATION (NORTHWEST) SCALE = 1/4"



CHICK-FIL-A 2276  
516 SAINT JAMES AVE  
GOOSE CREEK, SC

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06-16-20





REAR ELEVATION (NORTHEAST) SCALE = 1/4"

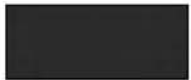
CUNNINGHAM BRICK  
RED VELOUR, MODULAR



CUNNINGHAM BRICK  
TAN VELOUR, MODULAR



DARK BRONZE  
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DRIVE THRU ELEVATION (SOUTHEAST) SCALE = 1/4"



CHICK-FIL-A 2276  
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