



2022-015SIG

7 ELEVEN



**CITY OF GOOSE CREEK
SIGN PERMIT APPLICATION**

PERMIT #: _____	OFFICE USE ONLY
AMOUNT DUE: \$ _____	DATE PAID: ___/___/___
LICENSE#: _____	DATE PAID: ___/___/___

Permit Fee: \$75.00

Today's Date: 3/16/2022

1. **Business Owner** 7ELeven **Business Phone** _____
Name of Business 7ELeven **Alternate Phone** _____
Street Address of Business 915 St. James Ave. Goose Creek, SC 29445
Landlord/Lessor Encore-Myers Road LLC **Landlord's Phone** _____
Sign Company Skyline Signs LLC **Sign Co. Phone** 843-977-2642
Sign Co. Contact Nick Bruno **Sign Co. Address** 1135 E Hwy 501 Conway SC 29526

2. **Cost of Sign(s) \$** [REDACTED] **Sign Installation Cost \$** [REDACTED] **Total Cost \$** [REDACTED]

3. **How many signs are you applying for?** 7 **How many signs does this business already have?** 0

4. **What kind of signs does this business already have?** none - New Gas Station None

5. **What type of business is applying for this sign permit:**
A. A stand alone business? Yes No
B. A part of a shopping center? Yes No If yes, shopping center name: _____

6. **What is the TMS number for this property?** 223 - 13 - 04 - 004

7. **What is the front setback of the business in feet?** 140 (The distance from the front property line to the front of business)
A. For corner lots only, what is the front setback for second street frontage in feet? _____

8. **What is the width of the business in feet?** 115 (The distance from wall to wall)
A. For corner lots only, what is the width of the business for second street frontage in feet? _____

9. **What is the property's road frontage in feet?** 240 (This only applies to shopping centers erecting a freestanding sign)

10. **Please attach photos showing:**
A. The storefront in relation to adjacent businesses;
B. The specific location of proposed sign(s) on the property or building; and
C. The actual sign if it already exists.

11. **Please attach drawings of each proposed sign showing (drawn to scale):**
A. The completed sign as it will actually appear on the building
B. All dimensions;
C. Where the colors will appear;
D. The location on the property (on a plat) of proposed & existing freestanding signs
E. The location on the building of proposed & existing building signs

OFFICE USE ONLY	
MAX. NO. OF ALLOWED SIGNS: _____	*
MAX ALLOWED SIGN AREA: _____	*

**ST JAMES AV.-MAX 3 SIGNS
172.5 SF ALLOWANCE
SIGNS TOTAL 105.9 SF**

**MYERS RD. - MAX 2 SIGNS
85.9 SF ALLOWANCE
SIGNS TOTAL 68.3 SF**

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.
13. Please complete the Sign Information Table located on the following page.
14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
• The ARB meets on the 3rd Monday of each month. (Please see ARB schedule for application deadlines and meetings.)

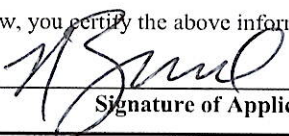
NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

SIGN INFORMATION TABLE

Required Information	ⓐ Sign 1 Ⓐ	ⓑ Sign 2 ⓒ	ⓓ Sign 3 Ⓔ
Materials: (metal, plastic, wood, etc.)	metal/plastic	Metal/Plastic	Metal/Plastic
Illumination: Exterior, interior or not lighted	interior	Interior	Interior
Type of Sign:	Reverse lit Channel Letters	Reverse lit Channel Letters	Monument
Height (FEET)	7'	5.78'	9' 7"
Width (feet)	5' 4.5"	8.5'	9' 7"
Area (square feet)	37.6 SF	49.1 SF	49.7 SF
All colors used on sign	Green, Red, Orange	Black Red white	Black Red Green Orange
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	NO	Clip Art Chicken	7 Eleven Logo/ Roast
Projection from building or cabinet width (thickness)	Yes, 7"	2 4.5'	—
Number of styles of lettering	Logo Sign ①	Logo Sign + font	2 Logos
Height of letters (if channel letters)	7'	5.78'	Various sizes
If mounting individual letters, space between letters	1"	1"	—
If mounting individual letters, space between words	—	—	—
If window sign, size of window	—	—	—
If changeable copy sign (reader board), number of lines	—	—	2 Prices
If freestanding sign, distance between sign and street curb (ft)	—	—	10 setback
If freestanding sign, total height above grade (ft)	—	—	8'
If freestanding sign, landscaping materials to be planted at base of sign	—	—	Yes

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.



 Signature of Applicant

5/13/22

 Date

<u>OFFICE USE ONLY</u>
Remarks: _____
Approval: Zoning Administrator _____ Issued by: _____ Date: _____

SIGN INFORMATION TABLE

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	Ⓣ metal/plastic	Ⓣ metal/plastic	
Illumination: Exterior, interior or not lighted	internal	internal	
Type of Sign:	5' 7-Eleven Channel Letters	5' Channel Letters	
Height (FEET)	5'	5'	
Width (feet)	3' 10"	3' 10"	
Area (square feet)	19.2 SF	19.2 SF	
All colors used on sign	Green, Red, Orange	Green, Red, Orange	
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	NO - Logo	NO - Logo	
Projection from building or cabinet width (thickness)	7"	7"	
Number of styles of lettering	1 - Logo	1 - Logo	
Height of letters (if channel letters)	5'	5'	
If mounting individual letters, space between letters	-	-	
If mounting individual letters, space between words	-	-	
If window sign, size of window	-	-	
If changeable copy sign (reader board), number of lines	-	-	
If freestanding sign, distance between sign and street curb (ft)	-	-	
If freestanding sign, total height above grade (ft)	-	-	
If freestanding sign, landscaping materials to be planted at base of sign	-	-	

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.

Signature of Applicant _____
Date

<u>OFFICE USE ONLY</u>		
Remarks: _____		
Approval: Zoning Administrator _____ Issued by: _____ Date: _____		



Prepared Exclusively for

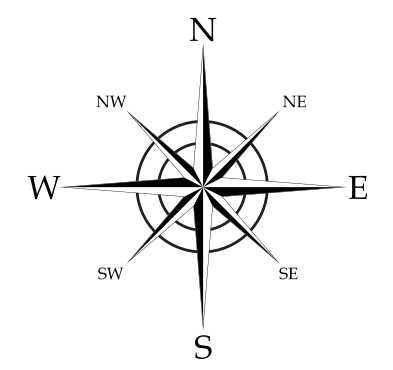
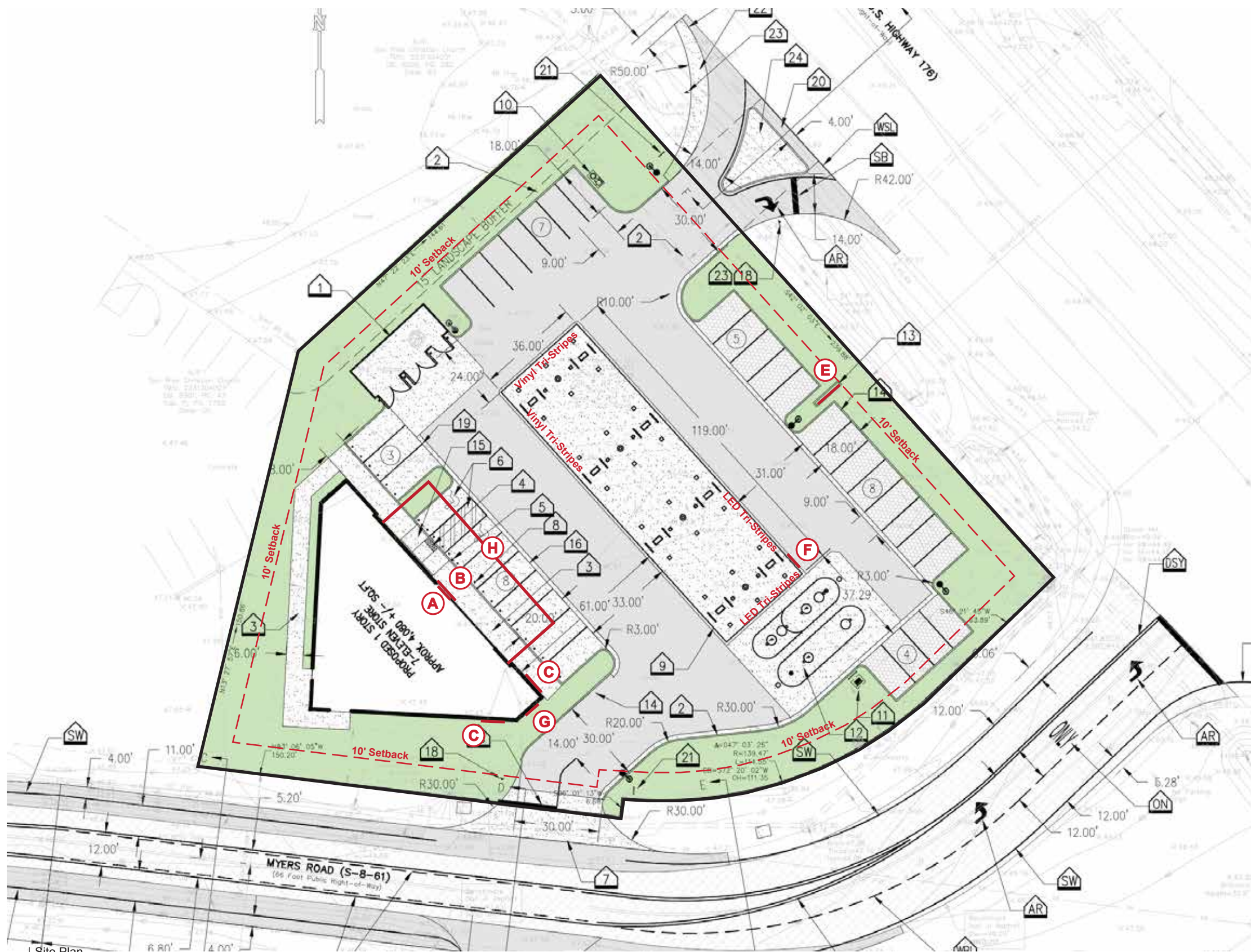
7-Eleven #42080

915 ST. JAMES AVE.

GOOSE CREEK, SC 29445

May 9, 2022

Account Manager: Megan Grossmueller
mgrossmu@everbrite.com (414) 529-7164

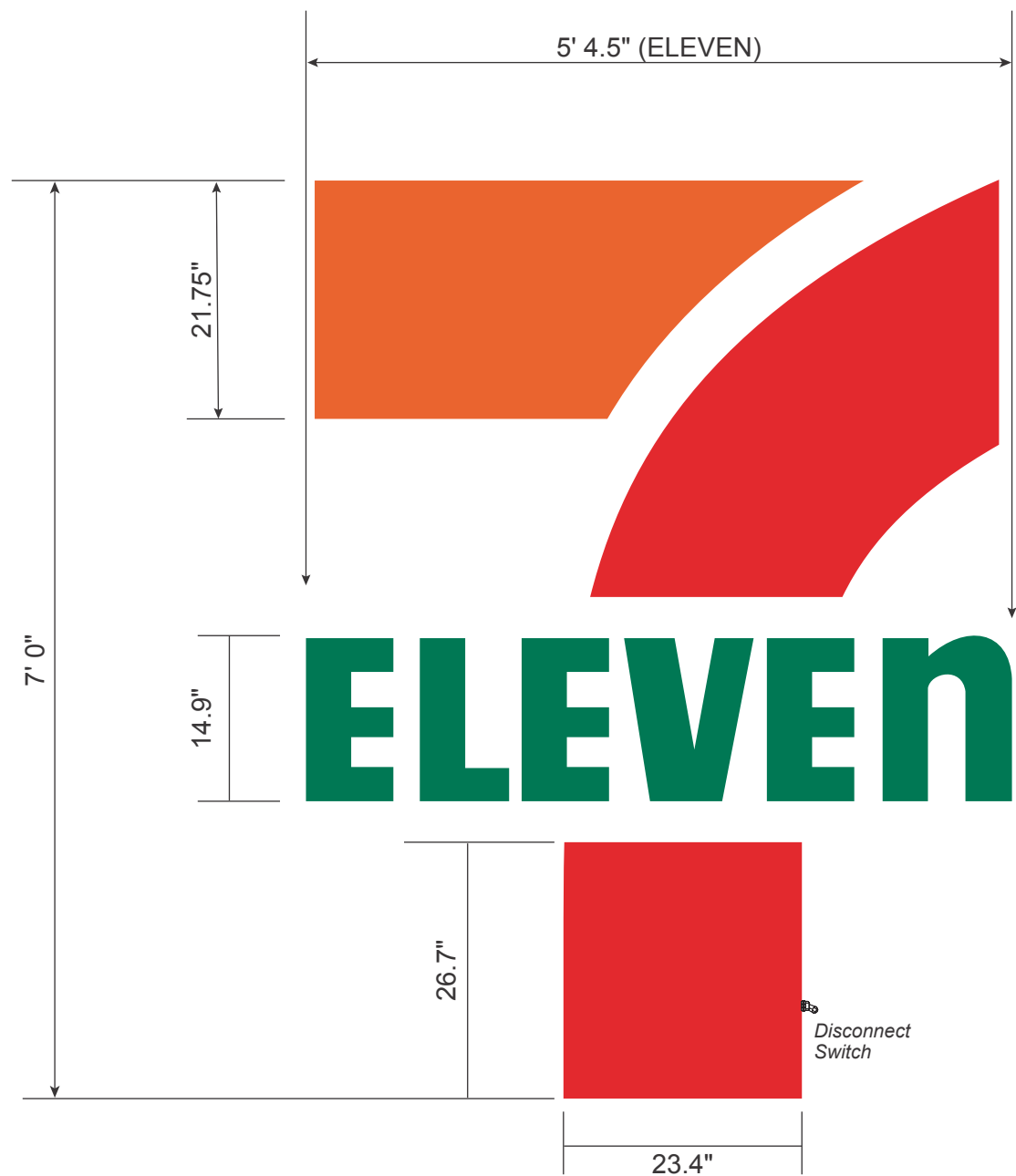


A	7' 7-Eleven Channel Letter Logo
B	Welcome Push Thru Awning
C	Stacked Roost Pin Mount Channel logo
E	Monument Sign
F	7-Eleven Channel Letters
G	5' 7-Eleven Channel Letter Logo
H	LED building Stripes



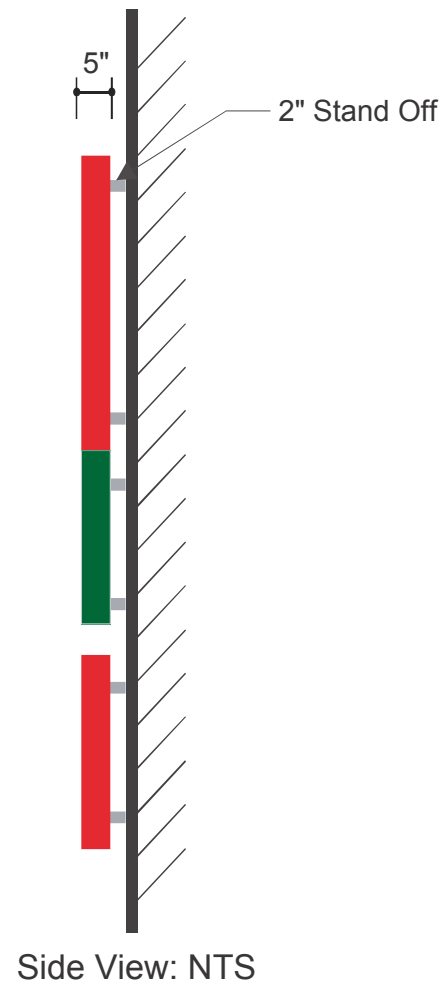
Date: 10/20/21

Site Plan
See Graphic Scale

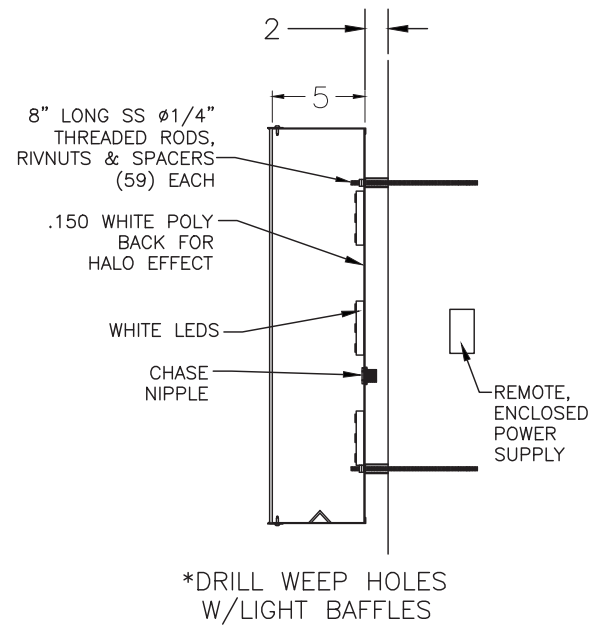


Rendering
...for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to final engineering specifications and install drawings.

Boxed Area: 37.6 SF



Side View: NTS



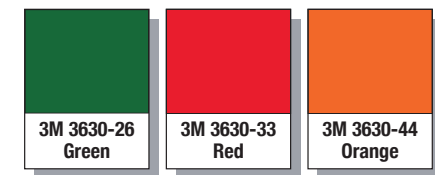
GENERAL SPECIFICATIONS:

- Materials:**
Extruded aluminum cabinet
- Face Decoration:**
Solar-grade polycarbonate faces vinyl graphic
- Cabinet Depth:**
5"
- Area Squared:** 37.6 Sq. Ft.
- Wind Load:**
Special/High Wind Load / 58 PSF

ELECTRICAL:

- Internal Illumination:**
GE Tetra Rayz White LEDs
- LED Power Supply:**
1 Channel 24V POWER SUPPLY 4 AMPS @ 120VAC

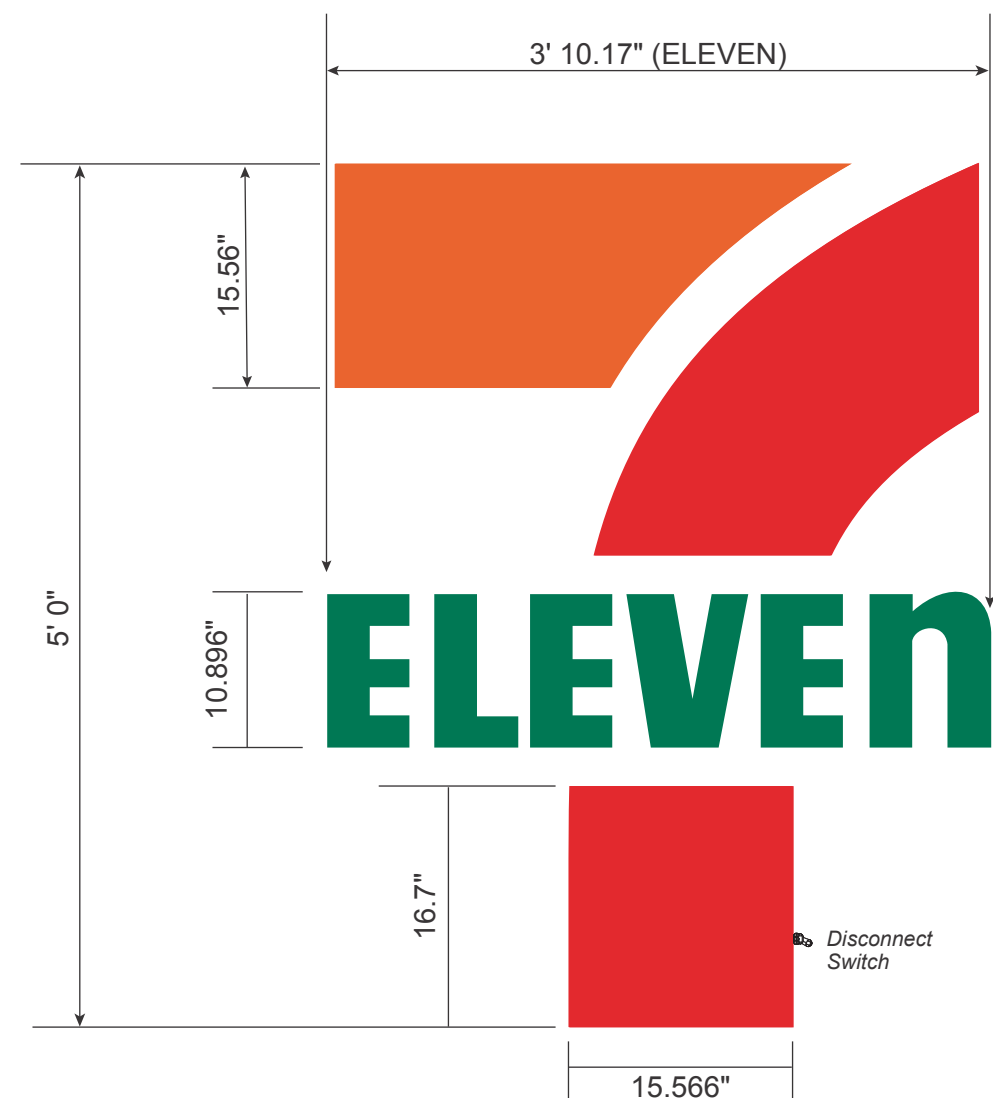
COLORS:



ALL ELECTRICAL CONNECTIONS TO BE MADE IN ACCORDANCE WITH LOCAL, STATE, AND NATIONAL WIRING CODES
NOTE: FINAL DIMENSIONS TO BE DETERMINED BY FINAL ENGINEERING



7' 7-Eleven Wall Channel Logo (Face & Halo Lit) - Sign A
NTS

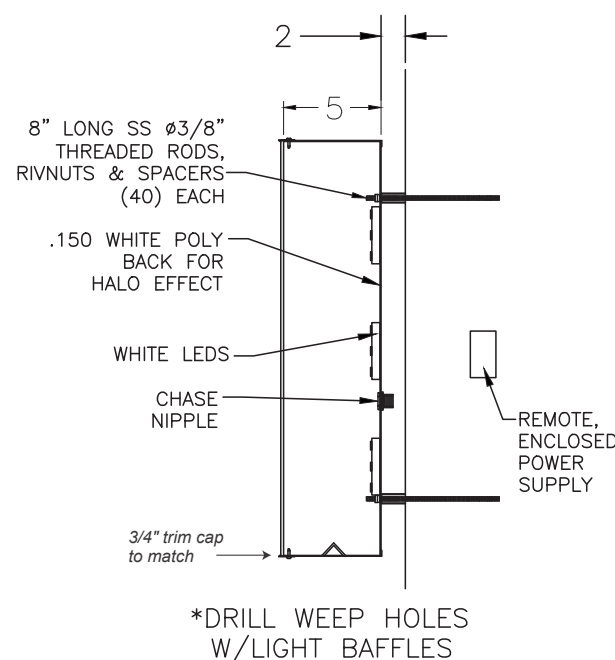
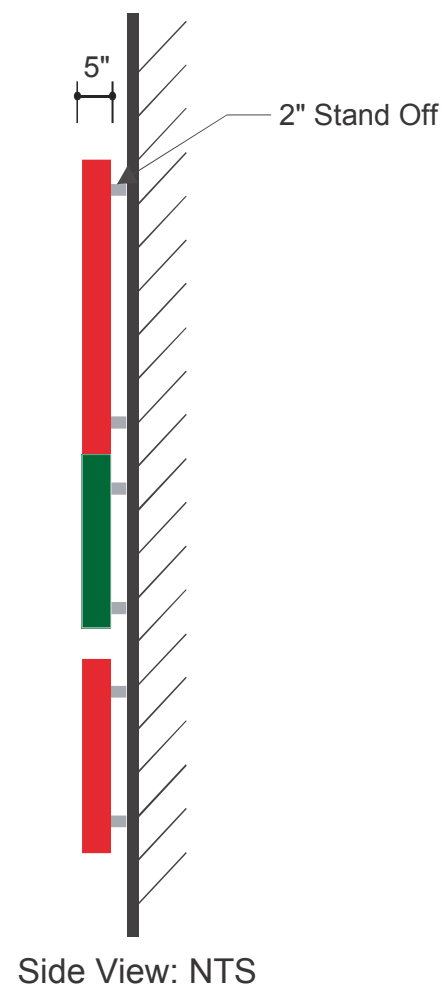


Rendering
 For graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to final engineering specifications and install drawings.

Boxed Area: 19.2 SF



5' 7-Eleven Wall Channel Logo (Face & Halot Lit) - **Sign G**
 NTS



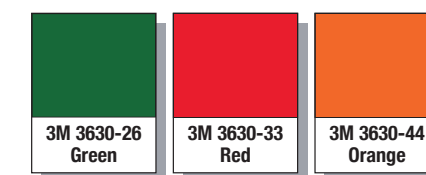
GENERAL SPECIFICATIONS:

- Materials:**
Extruded aluminum cabinet
- Face Decoration:**
Solar-grade polycarbonate faces vinyl graphic
- Cabinet Depth:**
5"
- Trim Cap:** 3/4" to match
- Area Squared:** 19.2 Sq. Ft.
- Wind Load:**
Special/High Wind Load / 58 PSF

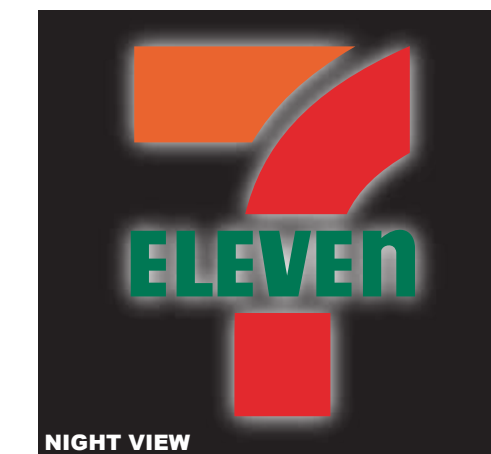
ELECTRICAL:

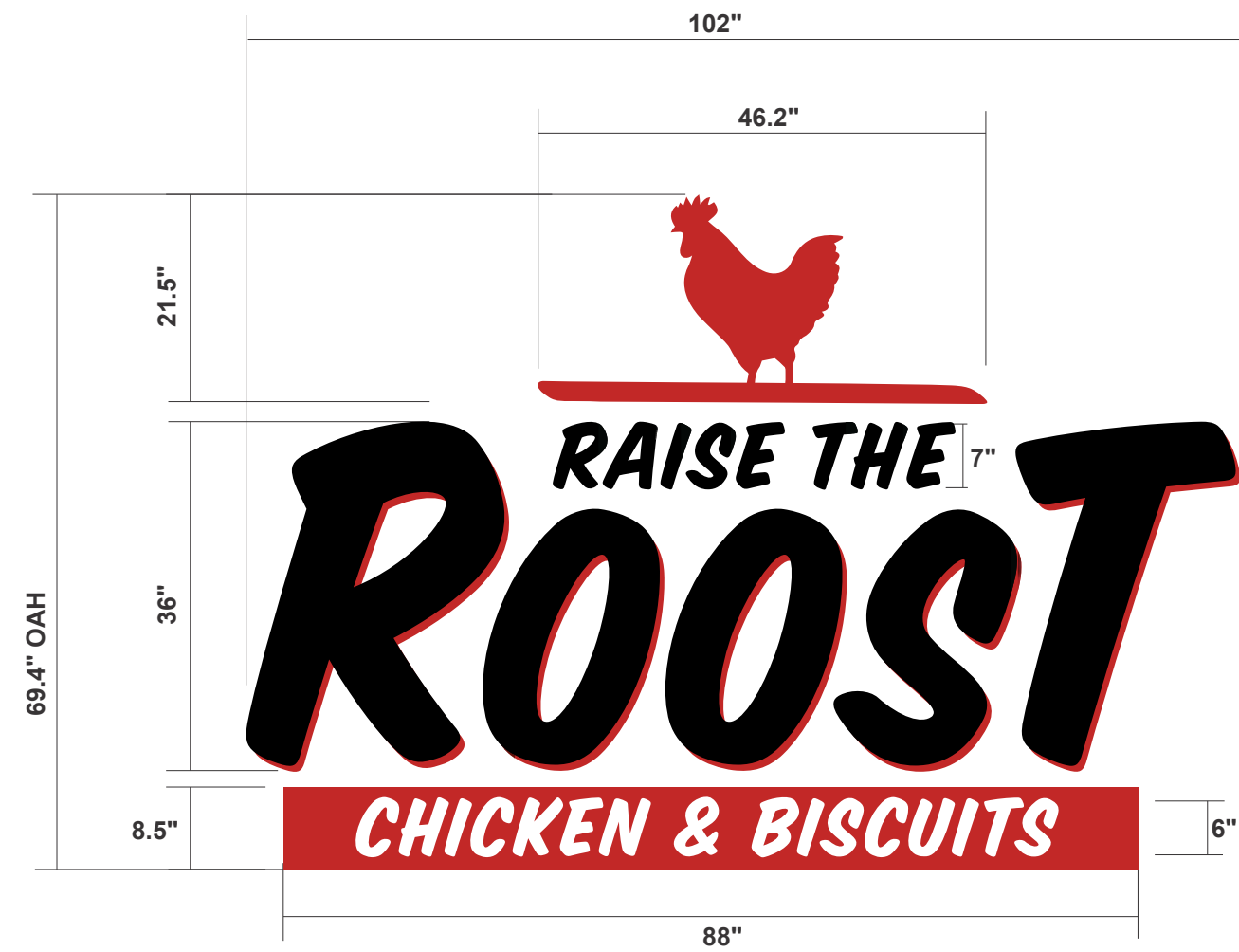
- Internal Illumination:**
GE Tetra Rayz White LEDs
- LED Power Supply:**
1 Channel 24V POWER SUPPLY 4 AMPS @ 120VAC

COLORS:



ALL ELECTRICAL CONNECTIONS TO BE MADE IN ACCORDANCE WITH LOCAL, STATE, AND NATIONAL WIRING CODES

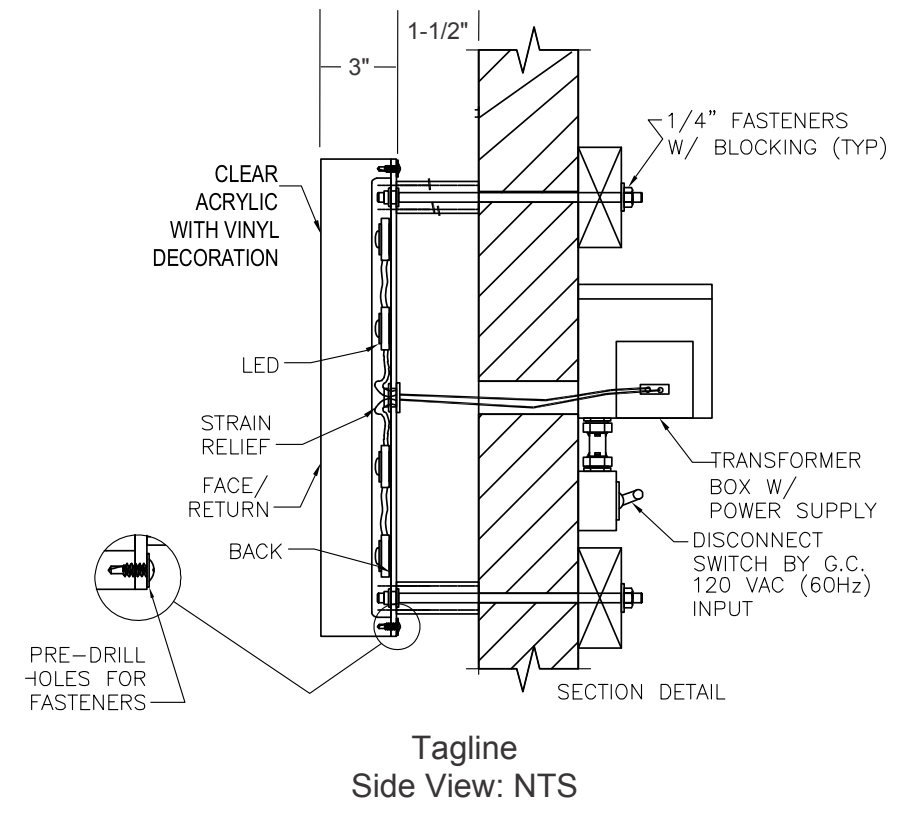
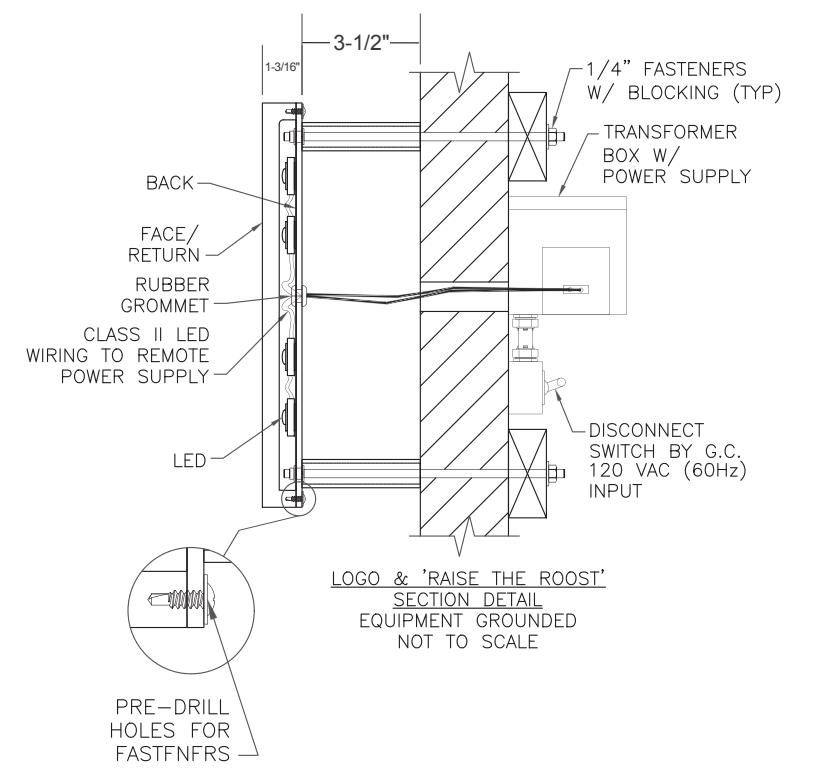




Front View: NTS



Front View: NTS



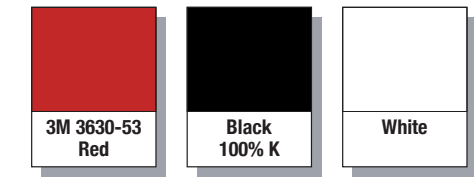
GENERAL SPECIFICATIONS:

- Materials:** Extruded aluminum cabinet - Clear acrylic with cavity routed from back.
- Face Decoration:** Red accents on "Roost" to be face-illuminated. Returns to be opaque
- Cabinet Depth:** 1.1875" & 3"
- Area Squared:** 49.1 Sq. Ft.
- Wind Load:** Special/High Wind Load (MPH) : 58 PSF

ELECTRICAL:

- Illumination:** Logo to be Halo-Illuminated. "Raise the" & "Roost" copy to be Halo-illuminated
- CHICKEN & BISCUITS TO BE FACE & HALO-ILLUMINATED**
- Internal Illumination:** GE Tetra Rayz White LEDs
- LED Power Supply:** 1 Channel 24V POWER SUPPLY 4 AMPS @ 120VAC

COLORS:



Rendering
for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to final engineering specifications and install drawings.

Boxed Area: 49.1 SF

UL LISTED UL 48 & NEC COMPLIANT

Routed Acrylic / Halo Illuminated Roost Letter Set - **Sign C**
 NTS



GENERAL SPECIFICATIONS:

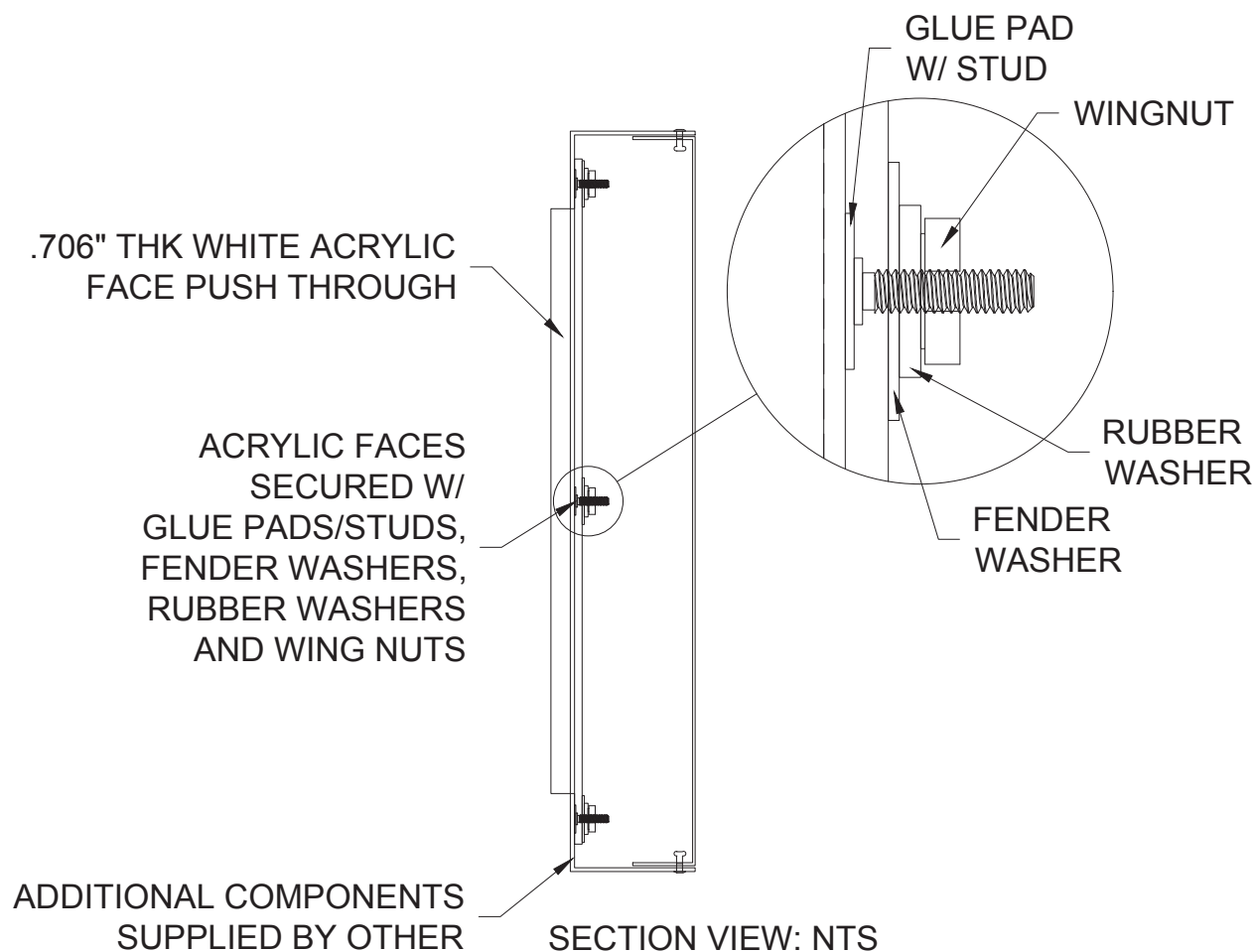
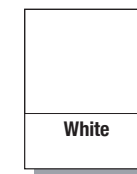
Materials:
Routed aluminum revealing push-thru acrylic copy

Area Squared: 3.3 Sq. Ft.

Windload: Standard Wind load - Wind Speed / 35 PSF

EVERBRITE TO PROVIDE, ROUTE AND SECURE ACRYLIC TO ROUTED ALUMINUM SIGNROUTED ALUMINUM SIGN AND ADDITIONAL ELEMENTS PROVIDED BY MAPES

COLORS:



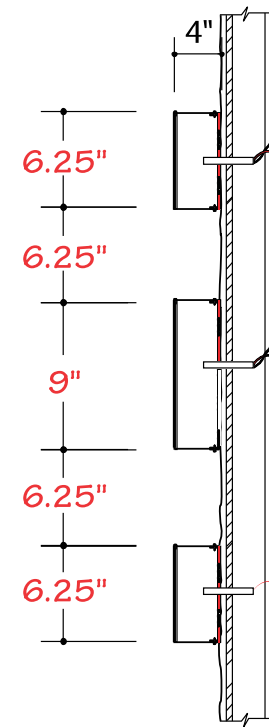
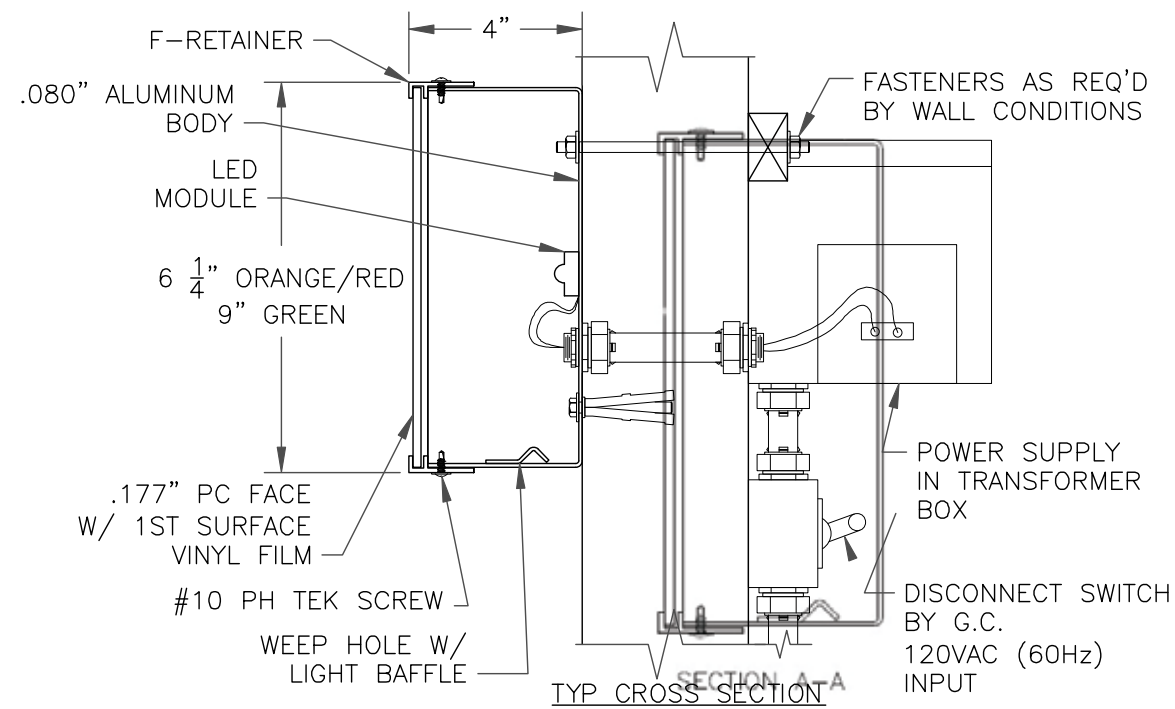
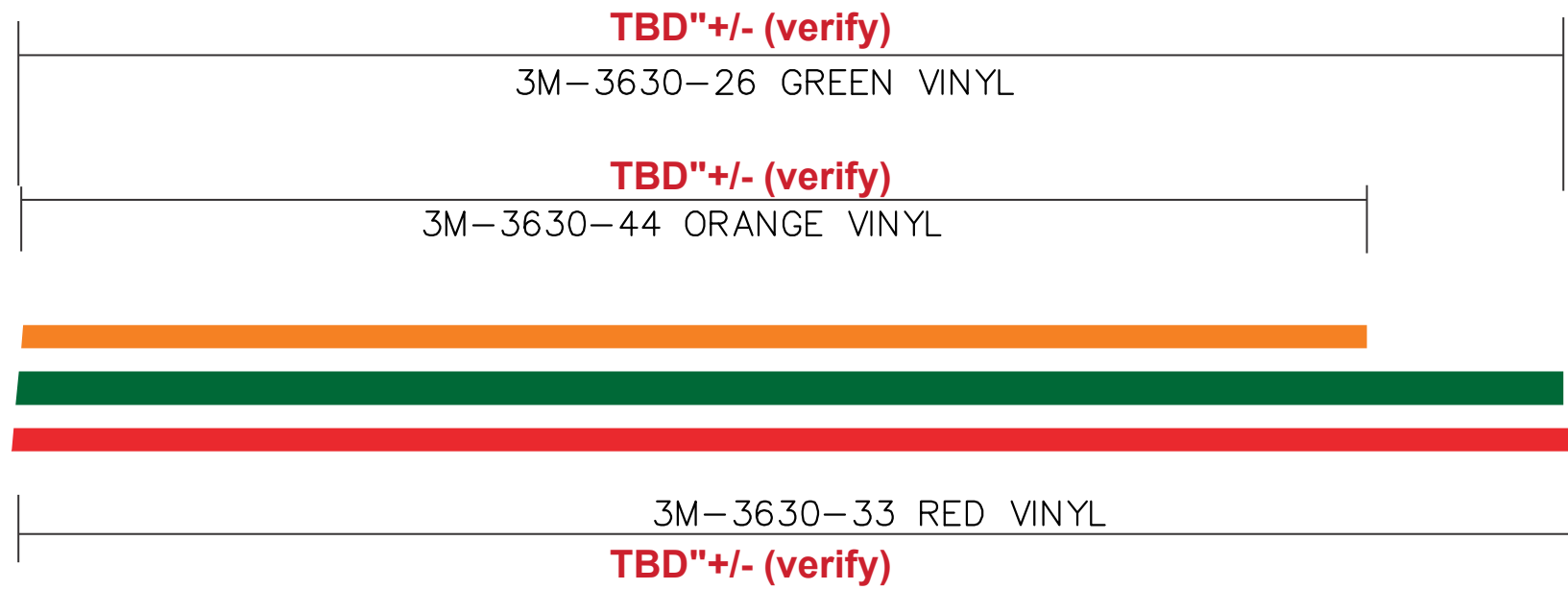
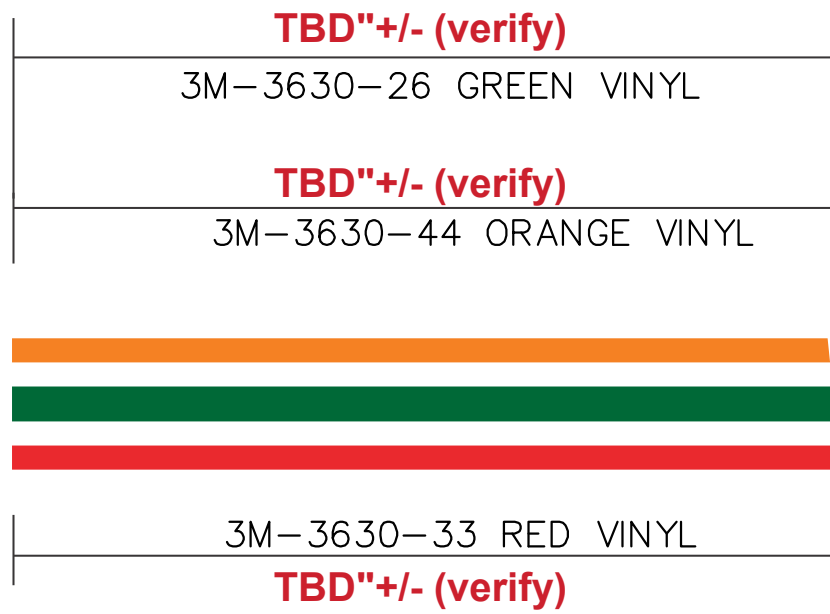
NOTE: FINAL DIMENSIONS TO BE DETERMINED BY FINAL ENGINEERING
 -CANOPY FASICA SECTION PROVIDED BY MAPES
 -MAPES SHIPS CANOPY FASCIA SECTION TO SIGN MANUFACTURER TO BE ROUTED OUT FOR INSTALLATION OF COPY
 -SIGN MANUFACTURER SHIPS CANOPY FASCIA SECTION W/ INSTALLED "WELCOME" LETTERS TO SITE FOR GC TO INSTALL ON CANOPY.

Rendering
 -for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to final engineering specifications and install drawings.

Display Sq Footage: 3.3 SF



Routed Out Push-Thru Copy (Canopy Mount) - **Sign B**
 NTS



TRI-STRIPE BAND SET

Rendering
 ...for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to final engineering specifications and install drawings.

UL LISTED
 UL 48 & NEC COMPLIANT

FIELD SURVEY REQUIRED

Tri-Stripe Band Set - **Sign H**
 NTS

CODE INFORMATION:

Formula: 1 sf per lineal foot of wall width.
Cannot exceed 200 sf or 20% of wall (whichever is less)

Front Elevation:

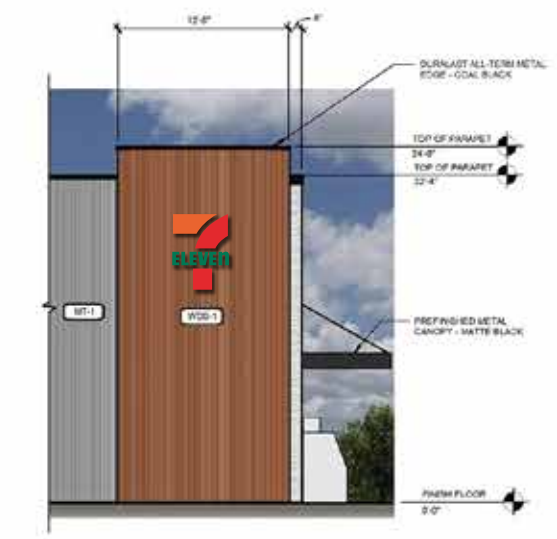
Allowed:	104.2 Sq Ft
Proposed:	86.7 Sq Ft

Left Elevation:

Allowed:	85.9 Sq Ft
Proposed:	68.3 Sq Ft



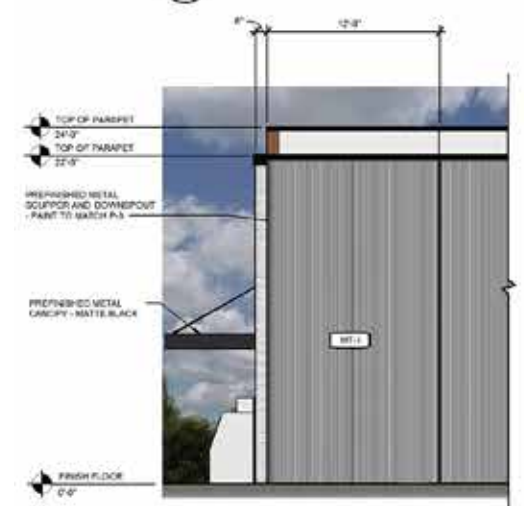
4 FRONT ELEVATION - FACING SAINT JAMES AVE.



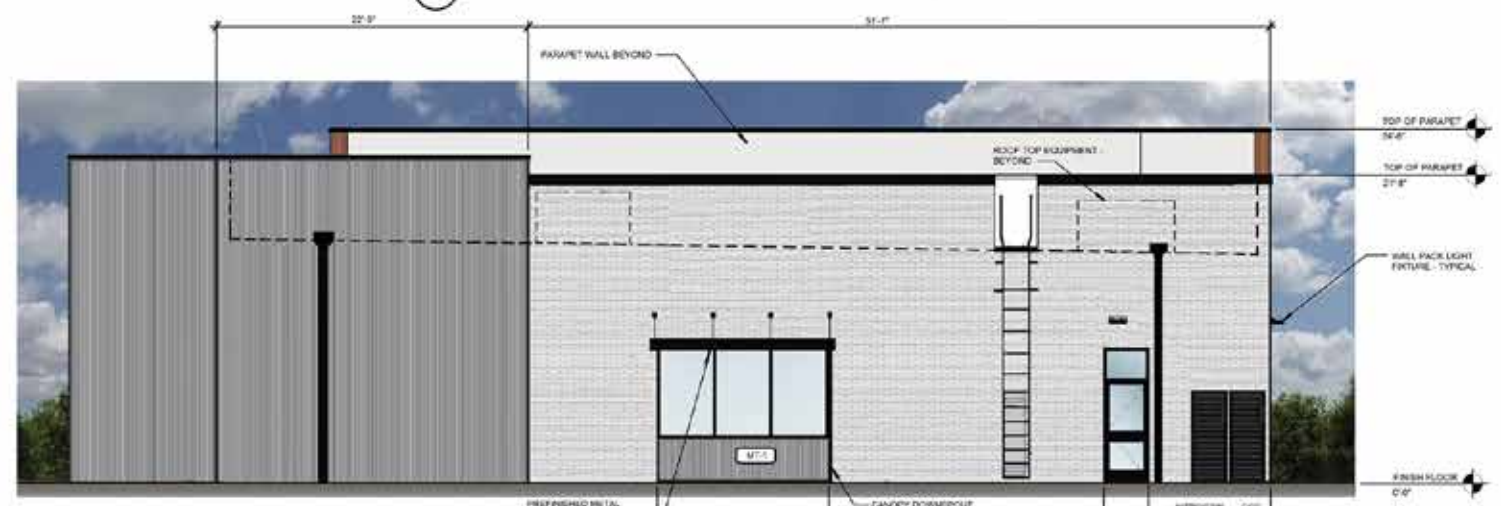
4 LEFT ELEVATION - FACING MYERS RD



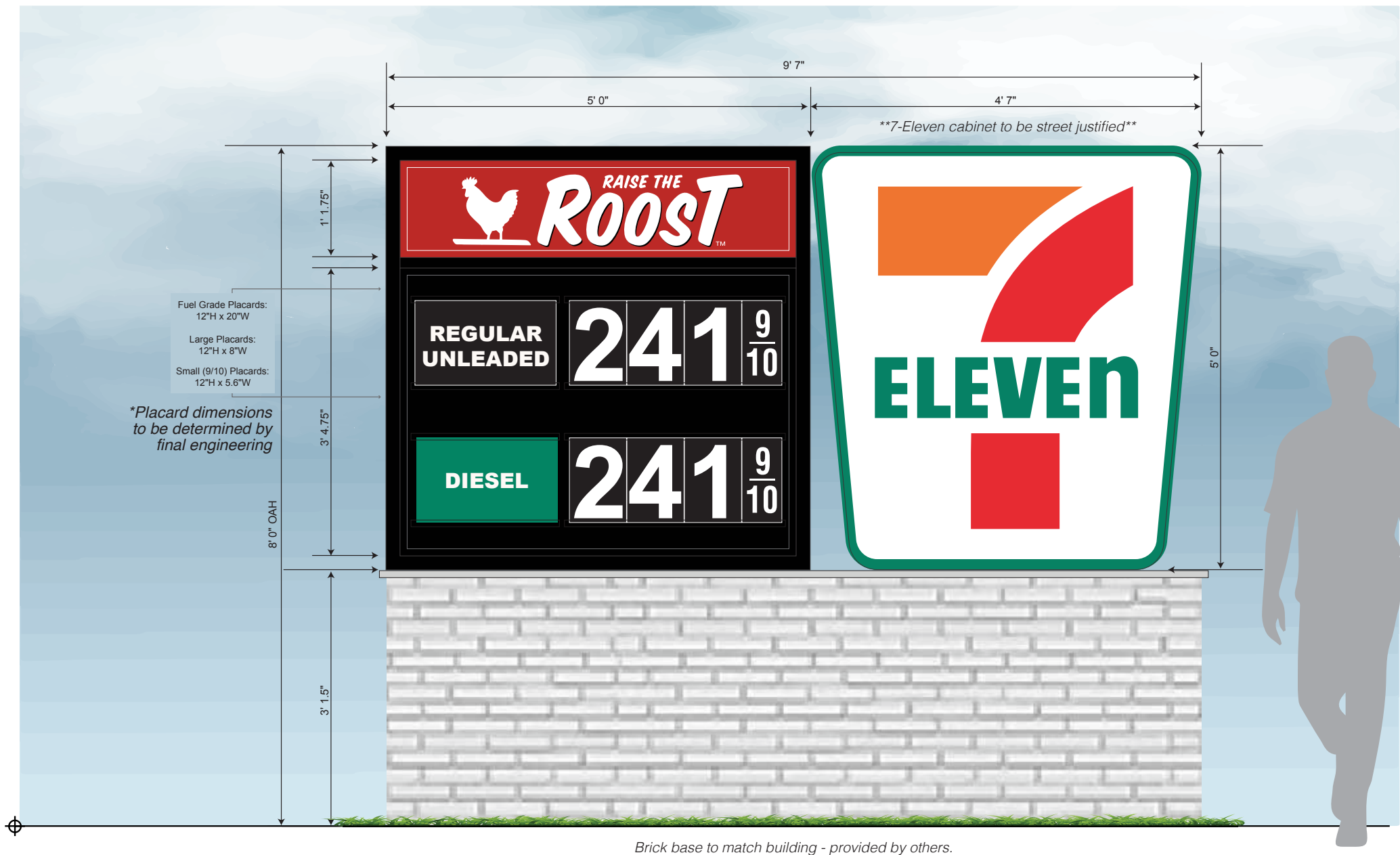
3 LEFT ELEVATION - FACING MYERS RD



2 RIGHT SIDE ELEVATION



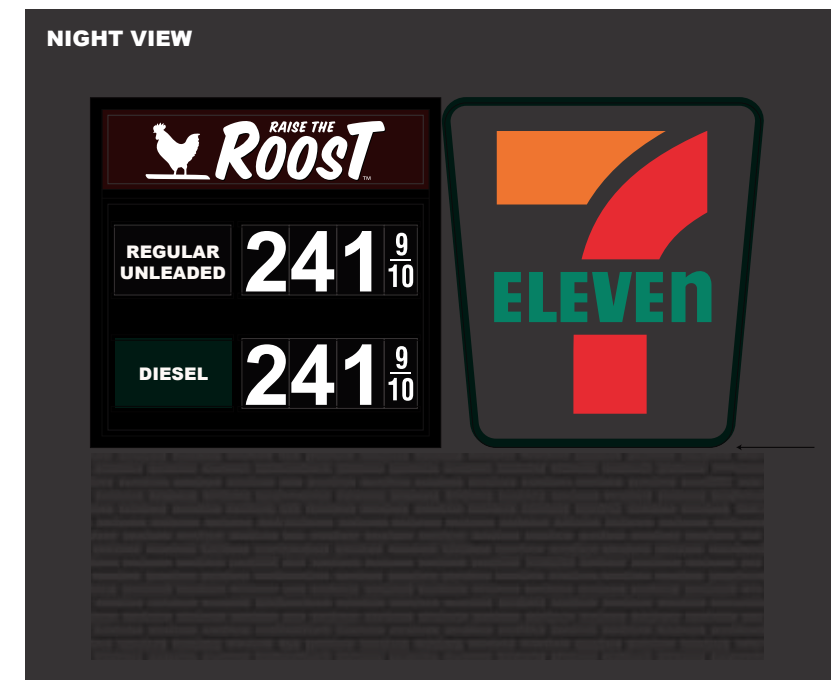
1 RIGHT SIDE ELEVATION



Square Footage:	
Allowed:	50 Sq Ft
Proposed:	49.8 Sq Ft

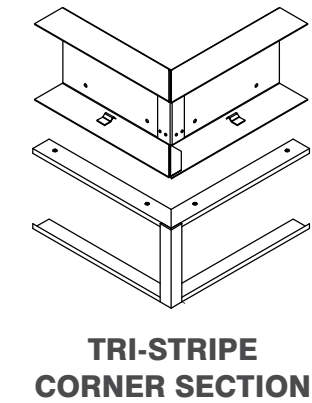
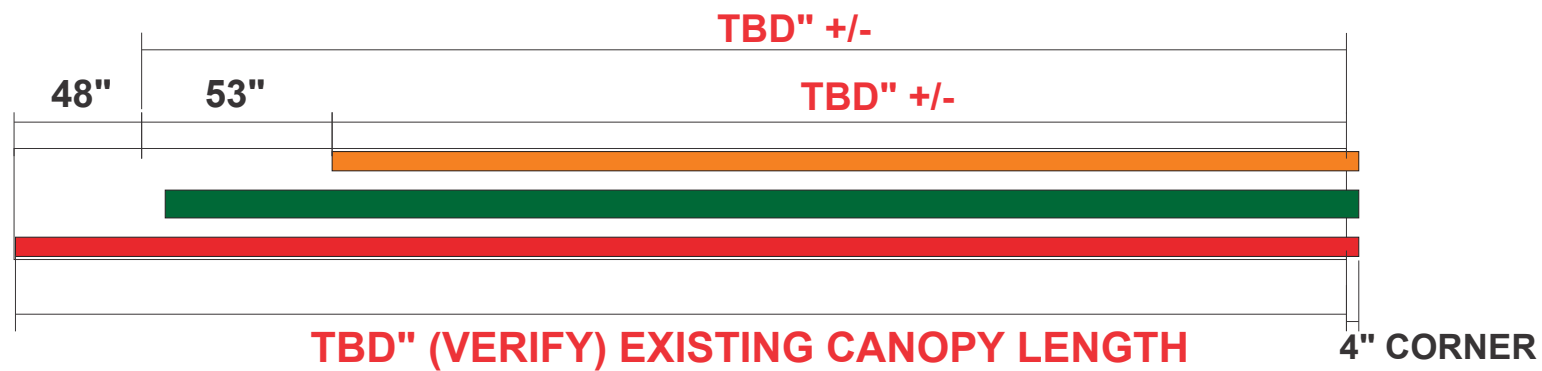
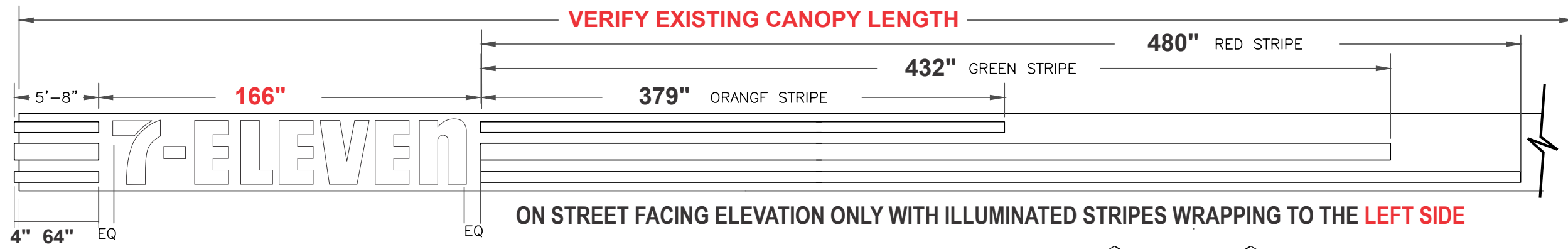
OAH:	
Allowed:	10 Ft
Proposed:	8 Ft

Setback Info:	
Allowed:	10 Ft
Proposed:	10 Ft



Front Elevation - M25 Monument Sign Structure - Sign E

3/4" = 1' 0" **Must be printed at actual size for scale to apply*

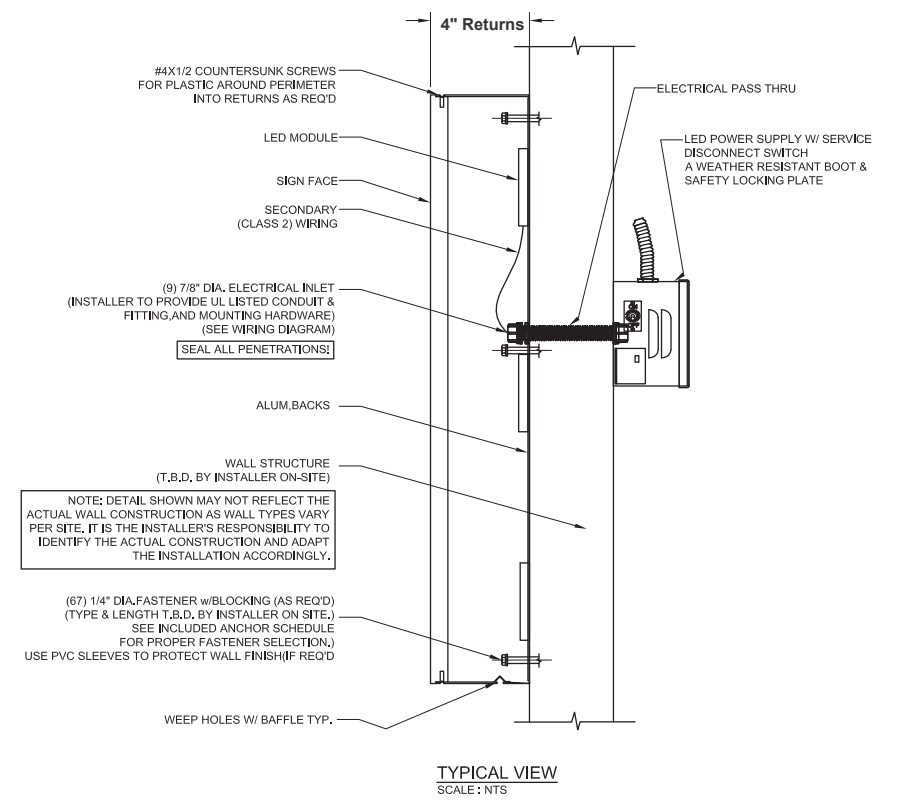


- 5" Deep Returns Painted to match face colors
- Trim Capless
- .177" White Acrylic Faces with Translucent Vinyl Applied
- Internally-Illuminated with White GE Tetra Rayz LEDs
- Weep Hole Covers

Area: 34.5 SF

UL LISTED UL 48 & NEC COMPLIANT

3M 3630-44 Orange | 3M 3630-33 Red | 3M 3630-26 Green



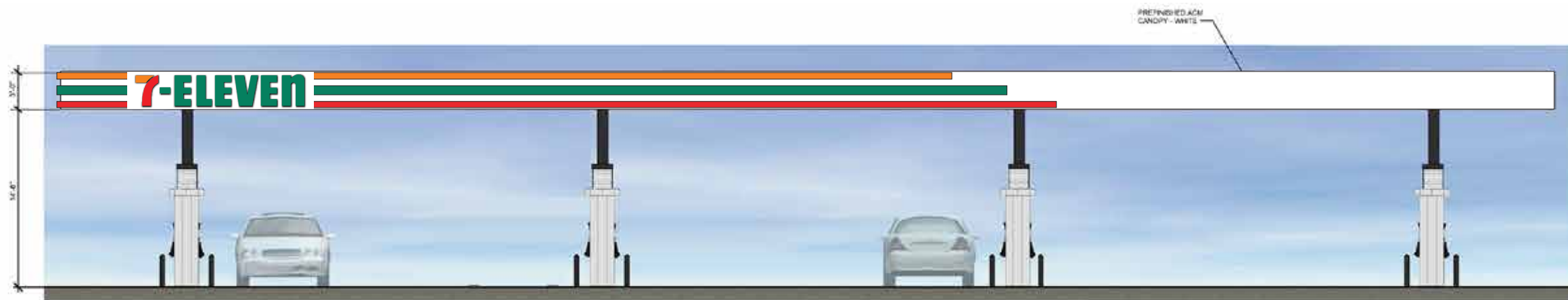
Front View & Side Mounting Detail - 30" Internally-Illuminated Remote Channel Letters - Sign F NTS

CODE INFORMATION:

County will review case-by-case,
not regulated by code

LONG SIDE:

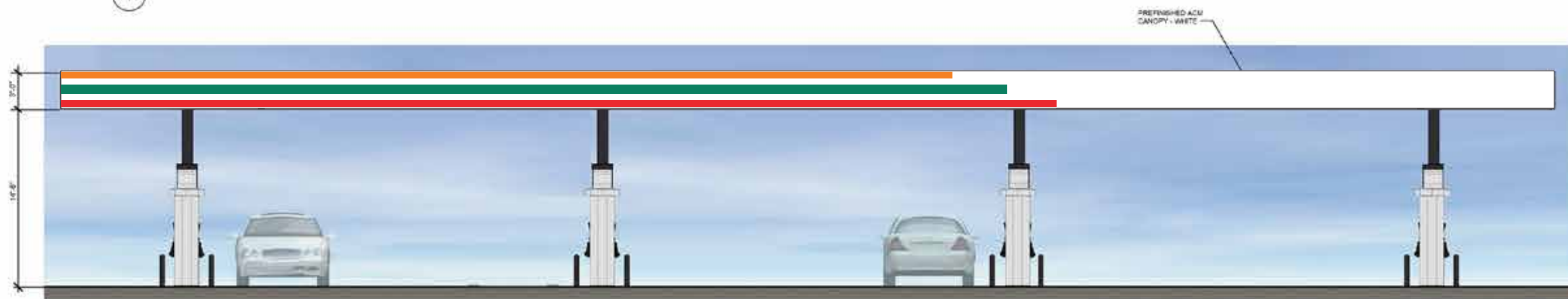
Proposed: 34.5 Sq Ft



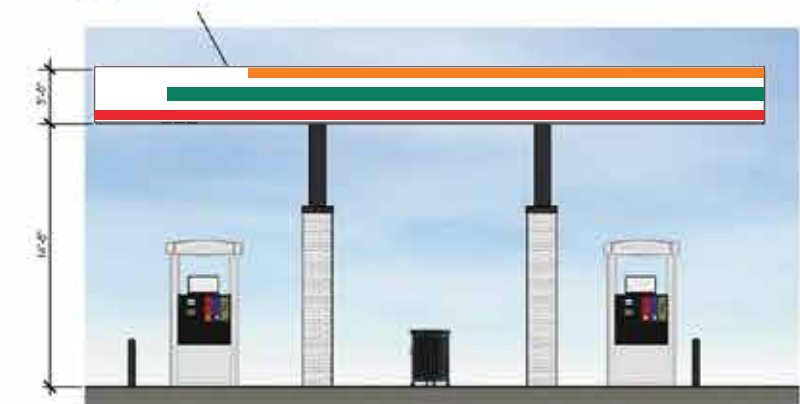
1 CANOPY ELEVATION - LONG SIDE



2 CANOPY ELEVATION - SHORT SIDE



1 CANOPY ELEVATION - LONG SIDE



2 CANOPY ELEVATION - SHORT SIDE

Date: 10/20/21



EnCon Services, Inc.

Sign Design Calculations

Job Description
 7-ELEVEN #42080
 915 ST. JAMES AVE.
 GOOSE CREEK, SC 29445
 8'-0" Monument
 2018 International Building Code w/ SC Modifications
 ASCE 7-16, Controlling Load Case = 0.6W + D
 Seismic Design Category D

PREPARED BY:
 EnCon Services, Inc., SC COA 5115
 PO Box 3613, Apollo Beach, FL 33572
 813-655-3373
 Nathan P. Presnell, PE 35271

DATE SIGNED:

3/4/2022

Risk Category II

Kzt 1
 Exposure C
 Kd 0.85
 Kz 0.85
 V_{ULT} 150 mph
 Cf 1.44
 G 0.85
 Number of Poles = 2 1
 Ult. Wind Pressure (PSF) 51



Sign	Area (sf)	Distance to Center (ft)	P = Force (lb)	Moment (ft-lb)
Pricer Cabinet	25.40	5.86	779	4563
7 Eleven Cabinet	23.32	5.86	715	4189
Bottom	28.00	1.88	859	1610
			0	0
		Totals	2,352	10,362

Required Flexural Strength (kip-ft) 4.6 per pole
 Provided Flexural Strength (kip-ft) 10.8 HSS 4"x4"x1/4" A500 B Steel Tube
 Flexural Ratio 0.42

Base Plate Design

Distance Between Bolts (IN) 7
 Number of Bolts per Base Plate 4
 Plate Width B (IN) 9
 Bolt Spacing d (IN) 7
 Diameter of Pole (IN) 4

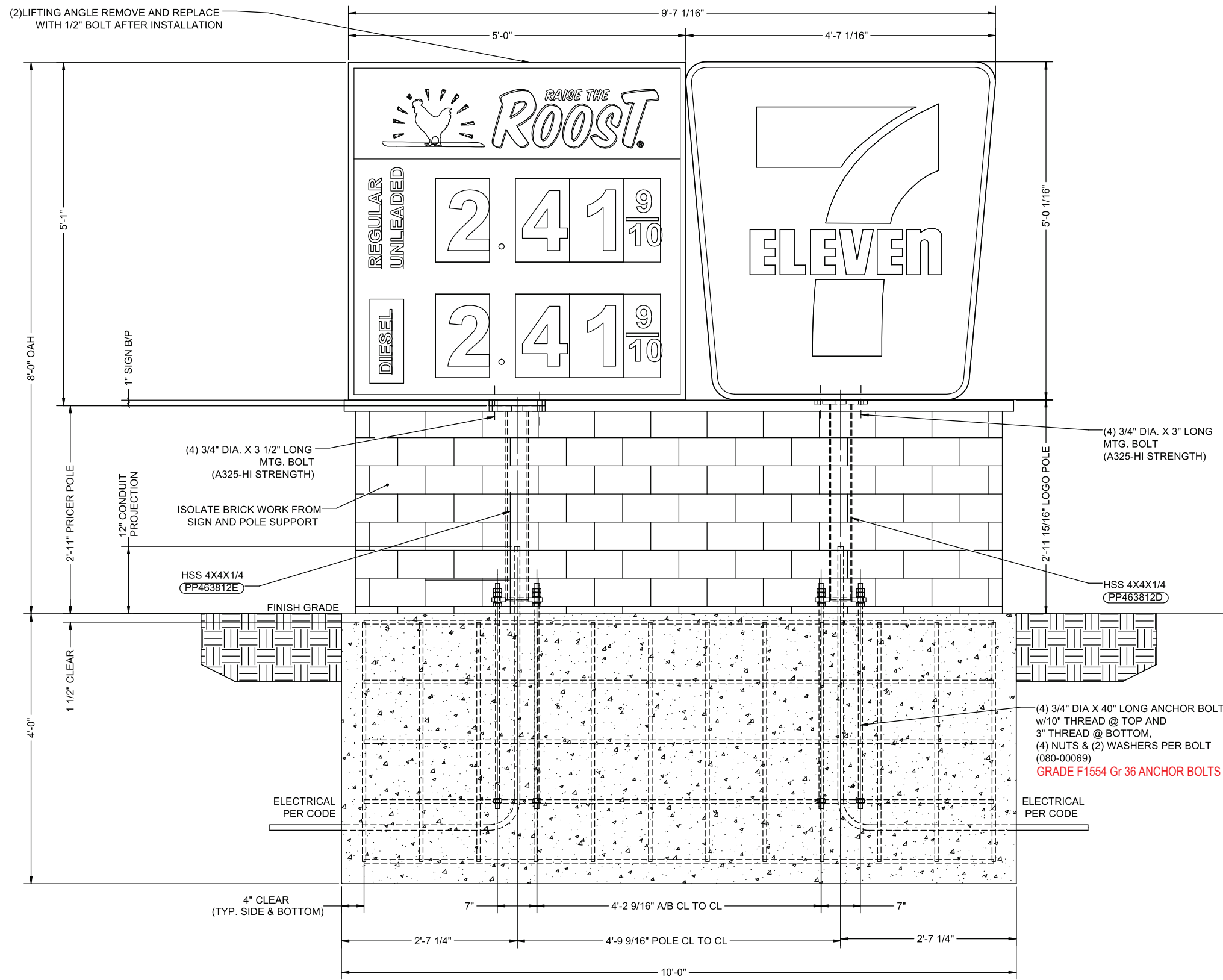
3911 Tension on Bolts (LB)
 Use 3/4" Dia. X 40" Long F1554 Gr36 Bolts with Nuts Embedded in Foundation
 0.54 Plate thickness (IN)
 Use 3/4" A36 Plate

Base Design

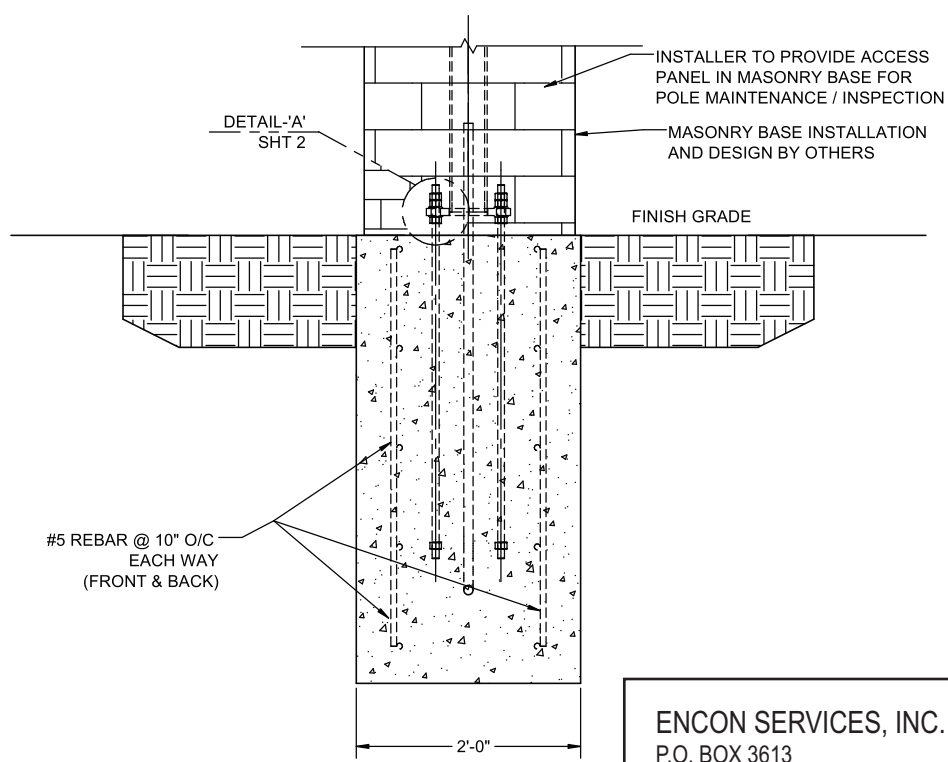
Number of Bases 1
 Diagonal B (FT) 10.19
 Lateral soil pressure (LB/SF/FT) 150
 Depth (Estimated) (FT) 4
 S1 400
 Design Depth (FT) 3.31 Ft

Base Size Required
 4.0 FT Deep
 10.0 FT Parallel
 2.0 FT Perpendicular

7-ELEVEN LOGO TO BE STREET JUSTIFIED



FRONT ELEVATION
SCALE 1 : 10



SIDE ELEVATION
SCALE 1 : 10

ENCON SERVICES, INC.
P.O. BOX 3613
APOLLO BEACH, FL 33572
813-655-3373
SOUTH CAROLINA COA 5115
ENCON@ME.COM

DESIGN PARAMETERS:
2018 INTERNATIONAL BUILDING CODE
WITH SC MODIFICATIONS
ASCE 7-16
WIND SPEED DATA
1. VULT WIND SPEED = 150 MPH
2. RISK CATEGORY II
3. WIND EXPOSURE C
4. INTERNAL PRESSURE COEF. N/A
5. COMPONENT AND CLADDING N/A

SEISMIC DATA
SEISMIC DESIGN CATEGORY D
SEISMIC RISK CATEGORY II
SITE SOIL CLASSIFICATION D
SS = 1.859 g, SMS = 2.231 g,
SDS = 1.487 g, S1 = 0.559 g
C_s = 0.496, R = 3,
BASE SHEAR V = 2790 LBS TOTAL



NATHAN P. PRESNELL, P.E. #35271
DATE SIGNED: 3/4/2022



INSTALLATION DRAWING

THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF EVERBRITE, LLC. USE OF, OR DUPLICATION IN ANY MANNER WITHOUT EXPRESS WRITTEN PERMISSION OF EVERBRITE, LLC IS PROHIBITED.

REV	DATE	BY	CHK	DESCRIPTION
A	2/28/2022	USK	CJB	RELEASED FOR INSTALLATION

DRAWN BY
TECHNO-USK

DATE
2/26/2022

CHECKED BY
CJB

DATE
2/28/2022

SITE
7ELEV42080
915 ST. JAMES AVE.
GOOSE CREEK, SC 29445

SCALE
AS SHOWN

SHEET
1 OF 4

TITLE
7 ELEV 5'-0 1/16" X 4'-7 1/16" SIGN @ 8' OAH

PROJECT NO.
463812

DRAWING NO.
IN463812DE

REV
A

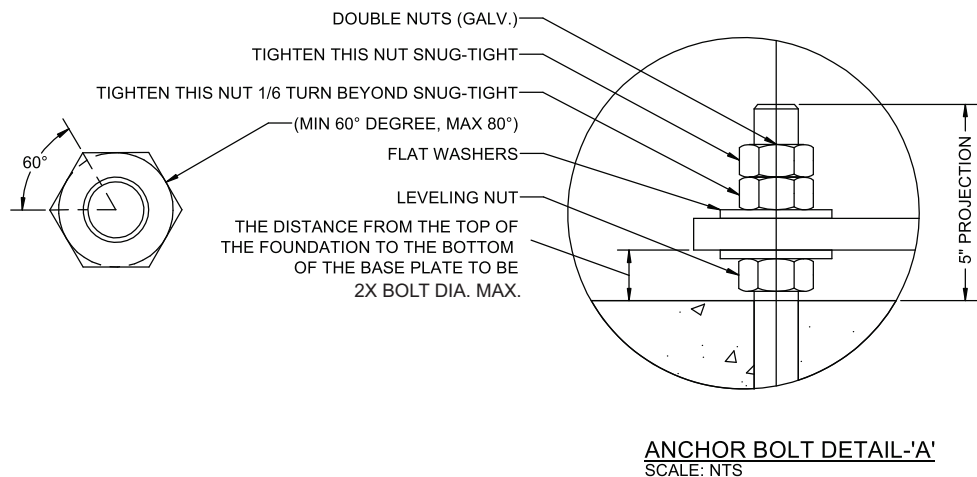
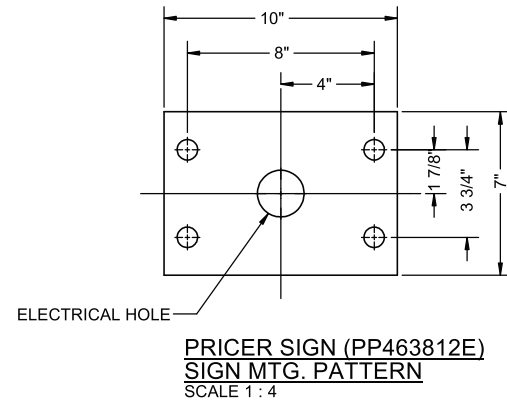
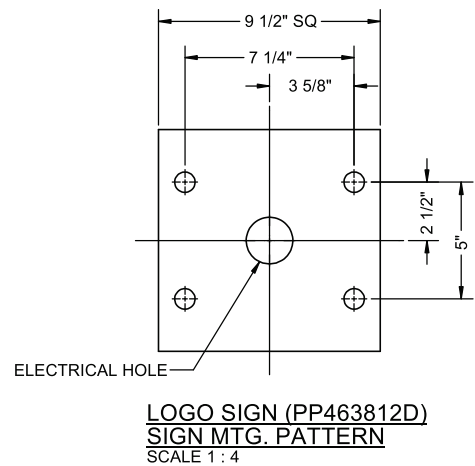
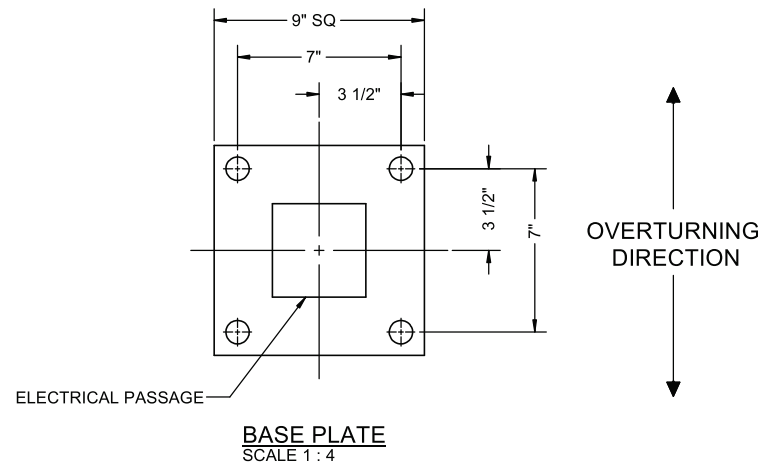


PHOTO REQUIREMENTS

- INSTALLER TO PROVIDE COMPLETION PHOTOS OF THE FOLLOWING
- MATCH PLATE/SIGN CONNECTIONS
- BEFORE AND AFTER PHOTOS OF ALL PLUG WELDS, CAP PLATE WELDS, AND ANY OTHER WELDED CONNECTIONS DONE IN THE FIELD
- ELECTRICAL WIRING
- ALL SIGN ILLUMINATING (PREFERABLY SHOWING LED'S OR LAMPS ILLUMINATING)
- ANY WALL PENETRATION CAULKED AND SEALED
- OVERALL ELEVATION

GENERAL NOTES

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN AND INSTALLING DISCONNECT SWITCHES IF NOT FACTORY INSTALLED ON THE SIGN.

SIGN ASSEMBLY IS INTENDED FOR OUTDOOR WET LOCATION.

INSTALLER TO BE SURE SIGNS ARE PROPERLY INSTALLED, CONNECTED AND GROUNDED.

LANDSCAPING MATERIALS SHOULD BE KEPT MINIMUM TWO INCHES AWAY FROM SIGN POLES OR BASE PLATES.

THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY AND NOT TO BE USED FOR MANUFACTURING.

CONCRETE SPECIFICATION

2.96 CU. YDS. TOTAL. CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS. REINFORCING STEEL SHALL HAVE A MIN. YIELD STRENGTH OF 60,000 PSI. RECOMMENDED MIN. CURE TIME OF 7 DAYS BEFORE PROCEEDING WITH INSTALLATION.

LIFTING HOLE NOTE

ANY LIFTING HOLES CREATED ARE THE RESPONSIBILITY OF THE INSTALLER. LIFTING HOLES ARE TO BE SEALED BY A CAP PLATE, WELDED OVER TO COVER AND THEN PAINTED.

WELDING NOTE

ANY REQUIRED WELDING IS TO BE COMPLETED BY AN AWS CERTIFIED WELDER QUALIFIED IN THE APPLICABLE POSITIONS NEEDED. PROOF OF WELDER CERTIFICATION REQUIRED (COPY OF WELDER CERTIFICATION, PHOTO OF AWS CERTIFICATION CARD OF PERSON DOING THE WELDING).

DESIGN NOTE

CONCRETE BASE DESIGNED USING A LATERAL SOIL BEARING CAPACITY OF 150 PSF / FT. OF DEPTH. IF THESE SOIL CONDITIONS DO NOT EXIST AT THE FOUNDATION LOCATION, IT IS THE ERECTOR'S RESPONSIBILITY TO NOTIFY EVERBRITE, LLC PRIOR TO PERFORMING ADDITIONAL EXCAVATION OR ANY CONCRETE PLACEMENT.

INSTALLATION INSTRUCTIONS

1. STAKE FOUNDATION AREA AND CONFIRM FINAL GRADE REQUIREMENTS WITH G. C.
2. EXCAVATE FOUNDATION AREA.
3. SET ANCHOR BOLTS, REBAR AND CONDUIT STUB. (PRIMARY ELECTRICAL SERVICE TO BASE BY G.C.)
4. POUR CONCRETE. ALLOW CONCRETE CURE TIME AS REQUIRED. RECOMMENDED MIN. CURE TIME OF 7 DAYS BEFORE PROCEEDING WITH INSTALLATION.
5. ANCHOR POLE(S) AS SHOWN IN AB DETAIL. CHECK FOR PLUMB.
6. MOUNT SIGNAGE TO POLE(S). (INSTALLER TO PROVIDE WIRE BETWEEN SIGN AND BASE OF POLE.)
7. MAKE FINAL ELECTRICAL HOOK-UP. (ALL ELECTRICAL TO MEET LOCAL CODES.)
8. TEST SIGNAGE FOR PROPER FUNCTION AND LIGHTING.
9. REMOVE ANY LIFTING BRACKETS AND REINSTALL BOLTS.
10. CLEAN UP AREA AND REMOVE ANY PACKING MATERIAL. DO NOT DISCARD ANY MATERIAL OR DEBRIS INTO ON SITE DUMPSTERS.

EVERBRITE TO FURNISH

1. 5'-0 1/16" X 4'-7 1/16" 7 ELEV LOGO
2. 5'-1" X 5'-0" PRICER
3. (8) ANCHOR BOLTS & NUTS
4. ALL MOUNTING HARDWARE

INSTALLER TO FURNISH

- ALL ELECTRICAL COMPONENTS REQUIRED
- FOUNDATION

GENERAL CONTRACTOR TO FURNISH

PRIMARY WIRES FROM BUILDING TO SIGN

SIGN SPECIFICATIONS

5'-0 1/16" X 4'-7 1/16" 7 ELEV LOGO
LAMPS: (80) GEMX2471-W1S 71K
POWER SUPPLY: (1) GE 24V 100W
1.1 AMPS @120VAC
(1) 20 AMP CIRCUIT, 60 Hz UL 48 & NEC COMPLIANT
LUMENS TOTAL: 8,000
LUMENS PER SQ. FOOT: 384.6

AREA OF SIGN - 22.9 SQ.FT
APPROXIMATE WEIGHT OF SIGN: 245 LBS.

5'-1" X 5'-0" PRICER
LED: (18) GE TETRA 7100K POWERSTRIP LEDS
POWER SUPPLIES:
(2) GE TETRA 24V 100W @ 4 AMPS
ELECTRICAL SERVICE: 8 AMPS 120 V 60HZ - (1) 20 AMP CIRCUIT NEEDED
LUMENS TOTAL: 10800

AREA OF SIGN - 25 SQ.FT
APPROXIMATE WEIGHT OF SIGN: 201 LBS.

POLE SPECIFICATIONS

LOGO SIGN POLE LENGTH: 2'-11 15/16"
LOGO SIGN POLE WEIGHT: 68 LBS
PRICER CABINET POLE LENGTH: 2'-11"
PRICER CABINET POLE WEIGHT: 99 LBS

ENCON SERVICES, INC.
P.O. BOX 3613
APOLLO BEACH, FL 33572
813-655-3373
SOUTH CAROLINA COA 5115
ENCON@ME.COM

SOUTH CAROLINA
ENCON SERVICES, INC.
No 5115
CERTIFICATE OF AUTHORIZATION

SOUTH CAROLINA
LICENSED PROFESSIONAL ENGINEER
No 35271
NATHAN P. PRESNELL

NATHAN P. PRESNELL, P.E. #35271
DATE SIGNED: 3/4/2022

Everbrite
4949 SO. 110TH ST.
P.O. BOX 20020
GREENFIELD, WI 53220
414-529-3500

INSTALLATION DRAWING

THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF EVERBRITE, LLC. USE OF, OR DUPLICATION IN ANY MANNER WITHOUT EXPRESS WRITTEN PERMISSION OF EVERBRITE, LLC IS PROHIBITED.

REV	DATE	BY	CHK	DESCRIPTION
A	2/28/2022	USK	CJB	RELEASED FOR INSTALLATION

DRAWN BY	TECHNO-USK	SITE	7ELEV42080 915 ST. JAMES AVE. GOOSE CREEK, SC 29445
DATE	2/26/2022	CHECKED BY	CJB
DATE	2/28/2022	SCALE	AS SHOWN
		SHEET	2 OF 4

TITLE	7 ELEV 5'-0 1/16" X 4'-7 1/16" SIGN @ 8' OAH		
PROJECT NO.	463812	DRAWING NO.	IN463812DE
REV			A

MATERIAL SPECIFICATIONS

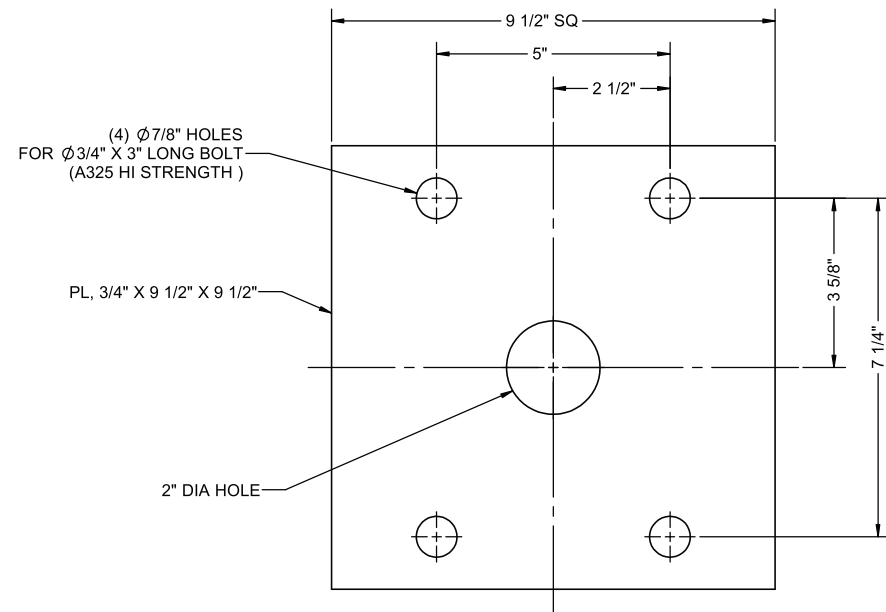
1. ALL PLATES TO BE ASTM A36
2. ALL TUBE STEEL TO BE A500 GRADE B

FINISH

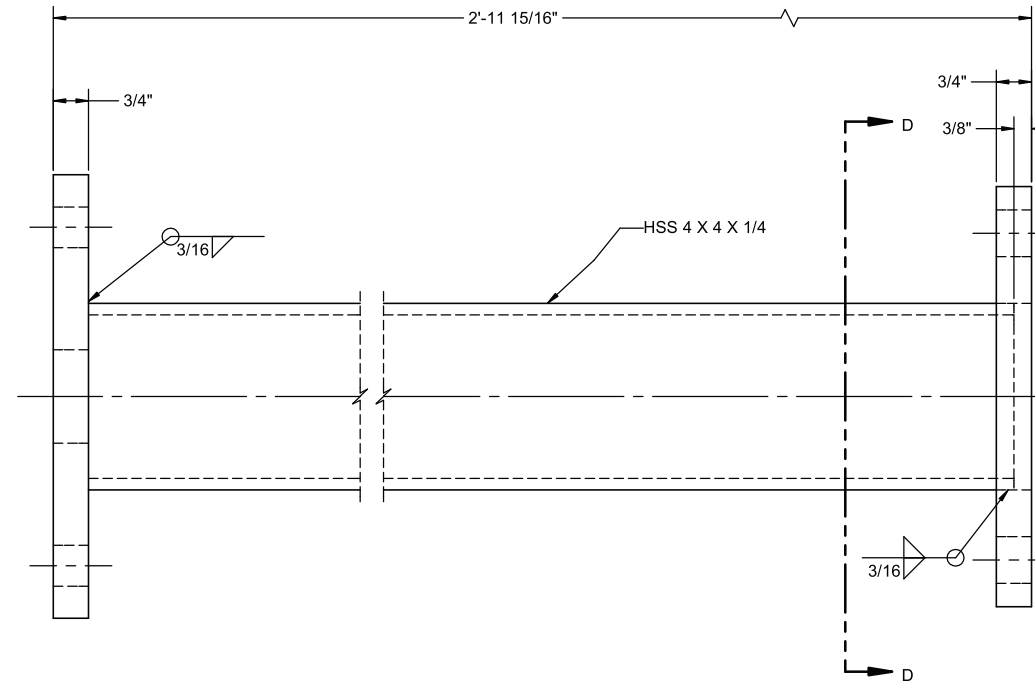
1. POLE TO BE CLEANED OF RUST, SCALE AND WELD SPLATTER
2. PRIMER COAT: (2) RED OXIDE
3. FINISH COAT: AS PER CUSTOMER SPEC.

LOGO POLE SPECIFICATIONS

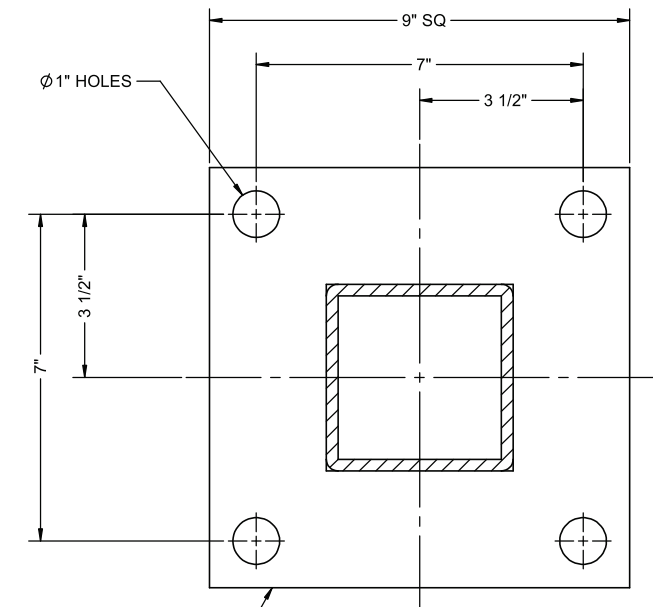
APPROX. POLE WEIGHT: 68 LBS
TOTAL POLE LENGTH: 2'-11 15/16"



LOGO POLE MATCH PLATE DETAIL
SCALE 1 : 2

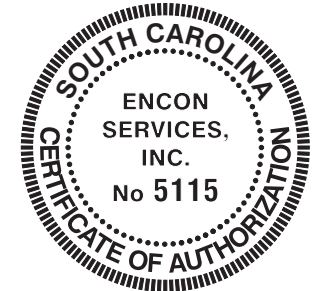


LOGO POLE ASSEMBLY FRONT VIEW
SCALE 1 : 2



BASE PLATE DETAIL SECTION D-D
SCALE 1 : 2

PL. 3/4" X 9" X 9"



NATHAN P. PRESNELL, P.E. #35271
DATE SIGNED: 3/4/2022

ENCON SERVICES, INC.
P.O. BOX 3613
APOLLO BEACH, FL 33572
813-655-3373
SOUTH CAROLINA COA 5115
ENCON@ME.COM



FABRICATION DRAWING

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REV	DATE	BY	CHK	DESCRIPTION
A	2/28/2022	USK	CJB	RELEASED FOR INSTALLATION

DRAWN BY: TECHNO-USK
DATE: 2/26/2022
CHECKED BY: CJB
DATE: 2/28/2022

SITE: 7ELEV42080
915 ST. JAMES AVE.
GOOSE CREEK, SC 29445

SCALE: AS SHOWN
SHEET: 3 OF 4

TITLE: 2'-11 15/16" POLE FOR 7 ELEV 5'-0 1/16" X 4'-7 1/16" LOGO

PROJECT NO.: 463812
DRAWING NO.: PP463812D
REV: A

MATERIAL SPECIFICATIONS

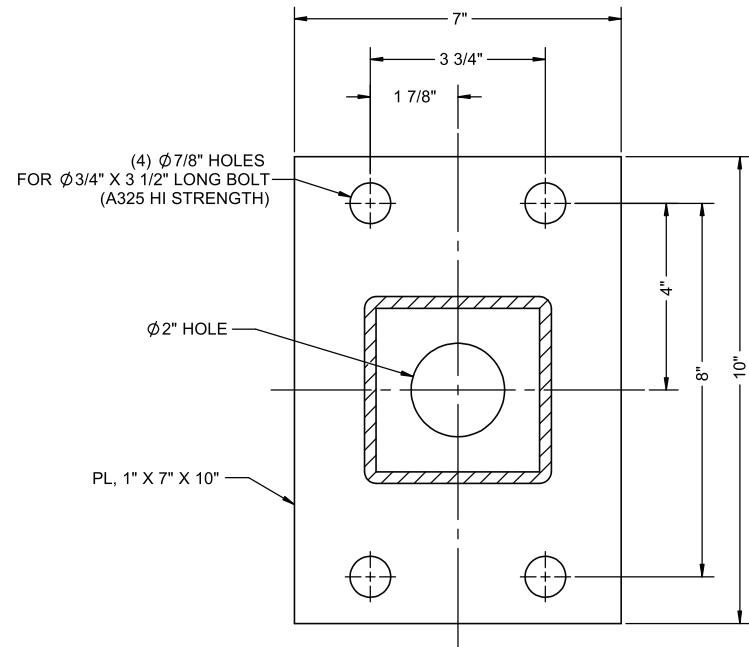
1. ALL PLATES TO BE ASTM A36
2. ALL TUBE STEEL TO BE A500 GRADE B

FINISH

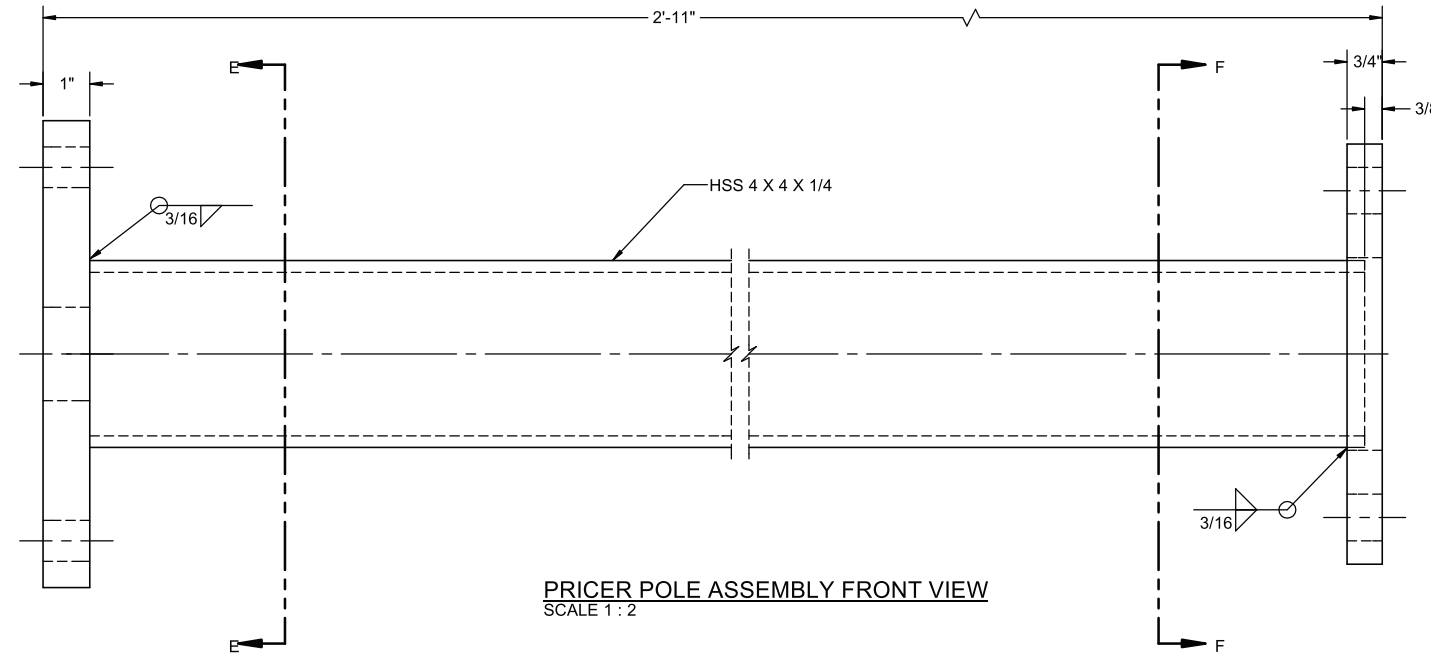
1. POLE TO BE CLEANED OF RUST, SCALE AND WELD SPLATTER
2. PRIMER COAT: (2) RED OXIDE
3. FINISH COAT: AS PER CUSTOMER SPEC.

PRICER POLE SPECIFICATIONS

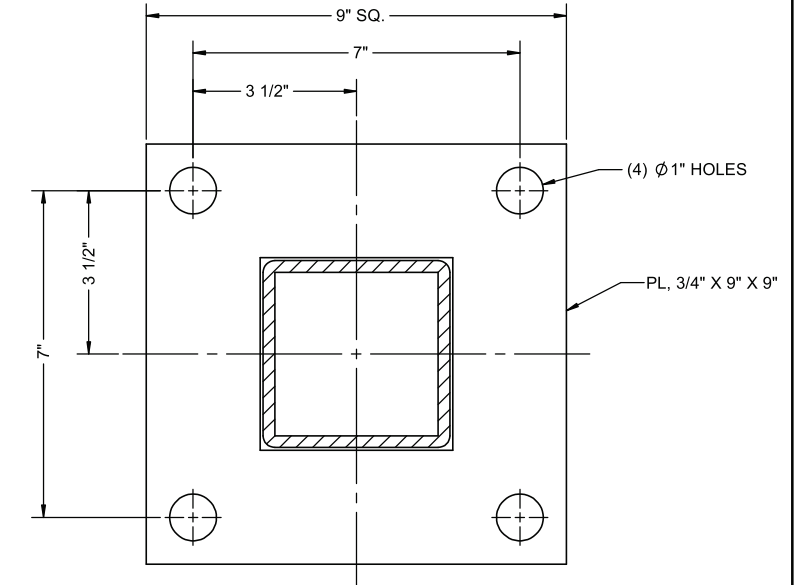
APPROX. POLE WEIGHT: 99 LBS
TOTAL POLE LENGTH: 2'-11"



**PRICE POLE MATCH PLATE DETAIL
SECTION E-E
SCALE 1 : 2**



**PRICER POLE ASSEMBLY FRONT VIEW
SCALE 1 : 2**



**BASE PLATE DETAIL
SECTION F-F
SCALE 1 : 2**



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NATHAN P. PRESNELL, P.E. #35271
DATE SIGNED: 3/4/2022

4949 SO. 110TH ST.
P.O. BOX 20020
GREENFIELD, WI 53220
414-529-3500

**FABRICATION
DRAWING**

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REV	DATE	BY	CHK	DESCRIPTION
A	2/28/2022	USK	CJB	RELEASED FOR INSTALLATION

DRAWN BY	TECHNO-USK
DATE	2/26/2022
CHECKED BY	CJB
DATE	2/28/2022

SITE	7ELEV42080 915 ST. JAMES AVE. GOOSE CREEK, SC 29445
SCALE	AS SHOWN
SHEET	4 OF 4

TITLE	2'-10 7/8" POLE FOR 7 ELEV 5'-1" X 5'-0" PRICER		
PROJECT NO.	463812	DRAWING NO.	PP463812E
REV			A



2022-023SIG
CITI TRENDS INC

PAID



CITY OF GOOSE CREEK
SIGN PERMIT APPLICATION

PERMIT #: <u>045690</u>	OFFICE USE ONLY
AMOUNT DUE: \$ <u>75.00</u>	DATE PAID: <u>04/15/2022</u>
LICENSE#: <u>10516</u>	DATE PAID: <u>04/15/2022</u>

Permit Fee: \$75.00

Today's Date: 4-14-22

- Business Owner Citi Trends Inc. Business Phone [REDACTED]
 Name of Business Citi Trends Alternate Phone [REDACTED]
 Street Address of Business 205 N. Goose Creek Blvd. #113 Goose Creek SC 29445
 Landlord/Lessor Benbrooke Creekside Partners, LLC Landlord's Phone [REDACTED]
 Sign Company Brandrite Sign Co. Inc. Sign Co. Phone [REDACTED]
 Sign Co. Contact Rosetta Oberholzers Sign Co. Address [REDACTED]
- Cost of Sign(s) \$ [REDACTED] Sign Installation Cost \$ [REDACTED] Total Cost \$ [REDACTED]
- How many signs are you applying for? 2 How many signs does this business already have? 2
- What kind of signs does this business already have? Lighted wall sign None
Panel in pylon
- What type of business is applying for this sign permit:
 A. A stand alone business? Yes No
 B. A part of a shopping center? Yes No If yes, shopping center name: Creekside Center
- What is the TMS number for this property? 243 - 08 - 06 - 027
- What is the **front** setback of the business in feet? 608 (The distance from the front property line to the front of business)
 A. For corner lots only, what is the front setback for second street frontage in feet?
- What is the **width** of the business in feet? 135 (The distance from wall to wall)
 A. For corner lots only, what is the width of the business for second street frontage in feet?
- What is the property's road **frontage** in feet? (This only applies to shopping centers erecting a freestanding sign)
- Please attach photos showing:
 A. The storefront in relation to adjacent businesses;
 B. The specific location of proposed sign(s) on the property or building; and
 C. The actual sign if it already exists.
- Please attach drawings of each proposed sign showing (drawn to scale):
 A. The completed sign as it will actually appear on the building
 B. All dimensions;
 C. Where the colors will appear;
 D. The location on the property (on a plat) of proposed & existing freestanding signs
 E. The location on the building of proposed & existing building signs
- Please attach swatches, samples, and/or paint chips of all proposed colors to the application.
- Please complete the Sign Information Table located on the following page.
- You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
 - Please submit this application by the 1st Monday of the month for consideration that month by the ARB.
 - The ARB meets on the 3rd Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

OFFICE USE ONLY
MAX. NO. OF ALLOWED SIGNS: <u>4</u>
MAX ALLOWED SIGN AREA: <u>270 sq. ft.*</u>
* This application meets ordinance regulations.

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

Note: This application contains multiple pages

SIGN INFORMATION TABLE

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	Aluminum + Acrylic	Acrylic face change	
Illumination: Exterior, interior or not lighted	- LED- lit - interior	interior lighting	
Type of Sign:	Wall	Pylon Panel	
Height (FEET)	6	48"	
Width (feet)	28'6"	93"	
Area (square feet)	142.5		
All colors used on sign	yellow, white, teal	yellow, white, teal	
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic			
Projection from building or cabinet width (thickness)	7 1/2"	—	
Number of styles of lettering	1	1	
Height of letters (if channel letters)	5'	—	
If mounting individual letters, space between letters	—	—	
If mounting individual letters, space between words	—	—	
If window sign, size of window	—	—	
If changeable copy sign (reader board), number of lines	—	—	
If freestanding sign, distance between sign and street curb (ft)	—	Face Change only	
If freestanding sign, total height above grade (ft)	—	Face change only	
If freestanding sign, landscaping materials to be planted at base of sign	—	—	

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.

Rosetta Oberholzer
Signature of Applicant

4-14-22
Date

<u>OFFICE USE ONLY</u>		
Remarks: _____		

Approval: Zoning Administrator _____	Issued by: _____	Date: _____

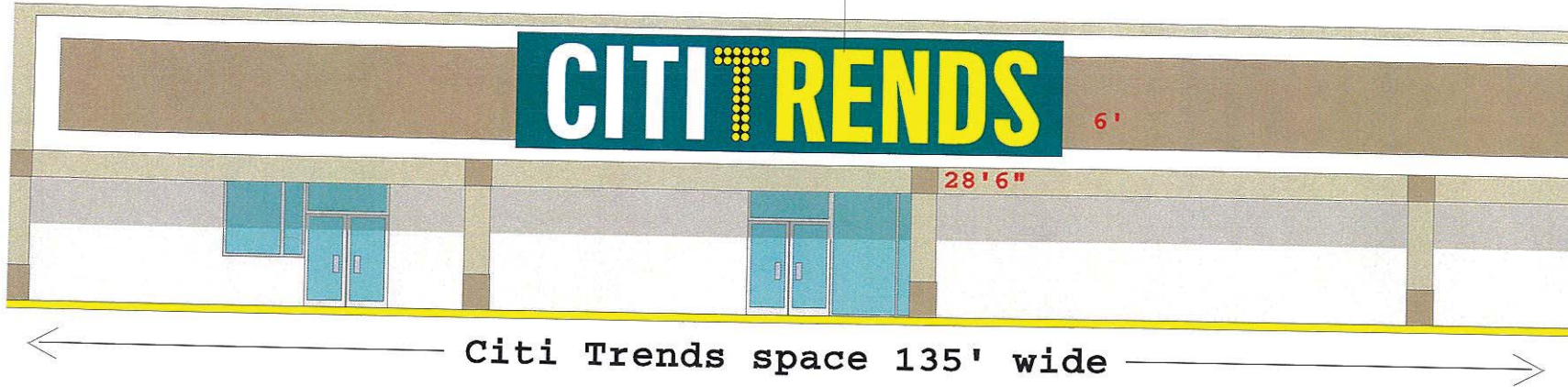
Citi Trends sign drawings

Drawing date - 4/2/22

(no revisions at this point)

5' LED lighted channel letters
on a 6' x 28'6" powder coated aluminum back-panel

Scope of job:
- Supply and install building front sign.
- Supply and install Citi Trends logo in the existing roadside pylon.



Supply and install Citi Trends logo on existing roadside pylon.
- 10 year translucent vinyl graphics.
- New plastic
- Size: 93" x 48"



Building sign description:

Channel letters on back-panel

- Channel letters: LED lighted / UL listed / 3/16" faces / 10 year translucent vinyl graphics
- Back-Panels: powder coated aluminum skin over frame / ss wall fasteners

Citi Trends (554)

Creekside Center S/C

205 N. Goose Creek Blvd.
Goose Creek, SC 29445



803-533-7446

313 John C Calhoun Drive
Orangeburg SC 29115

Linford Oberholtzer

lin@brandritesign.com

Mobile 803-707-4512

SAMPLE

CITITRENDS™

CITI White faces w/ Black trim cap
 - faces: 3/16" thick acrylic
 - trim cap: Black Jewelite
 - Black .040 aluminum returns 5.5" deep

TRENDS Yellow faces w/ black trim cap
 - faces: 3/16" thick white acrylic
 - trim cap: black Jewelite
 - Black .040 aluminum returns 5.5" deep

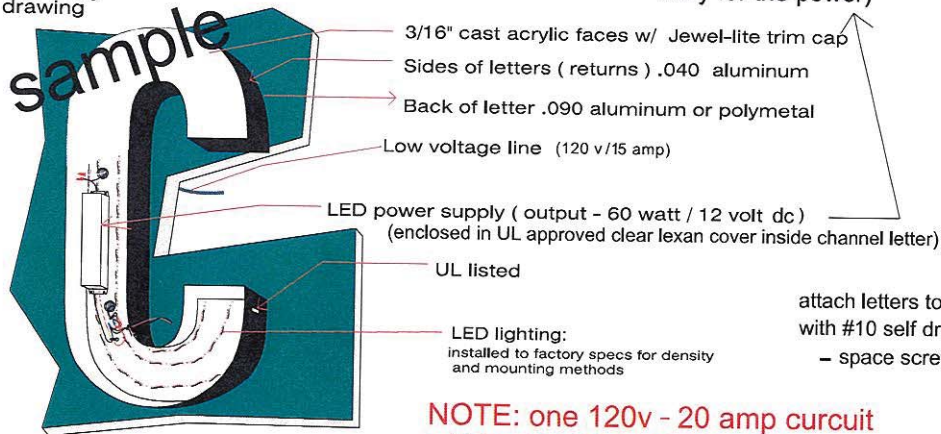
-UL label and amp/volt info label

Aluminum with Teal powdercoated finish

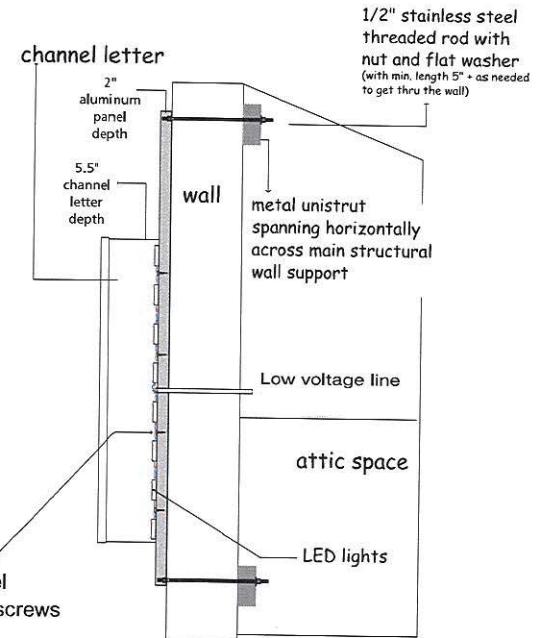
- Channel letters mounted without race-way on an aluminum background
- LED lighting
- Aluminum backs and sidewall w/ acrylic faces
- UL listed electrical
- 9 year translucent vinyl graphics

-Power Supplies are located inside "R" (cover with clear polycarbonate per UL inspector)
 -Disconnect Switch & -Photo Cell located between the legs of the "R" (which is the point of entry for the power)

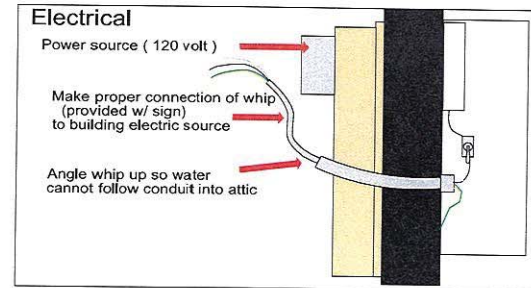
Cut-away drawing



NOTE: one 120v - 20 amp circuit will be provided by electrician

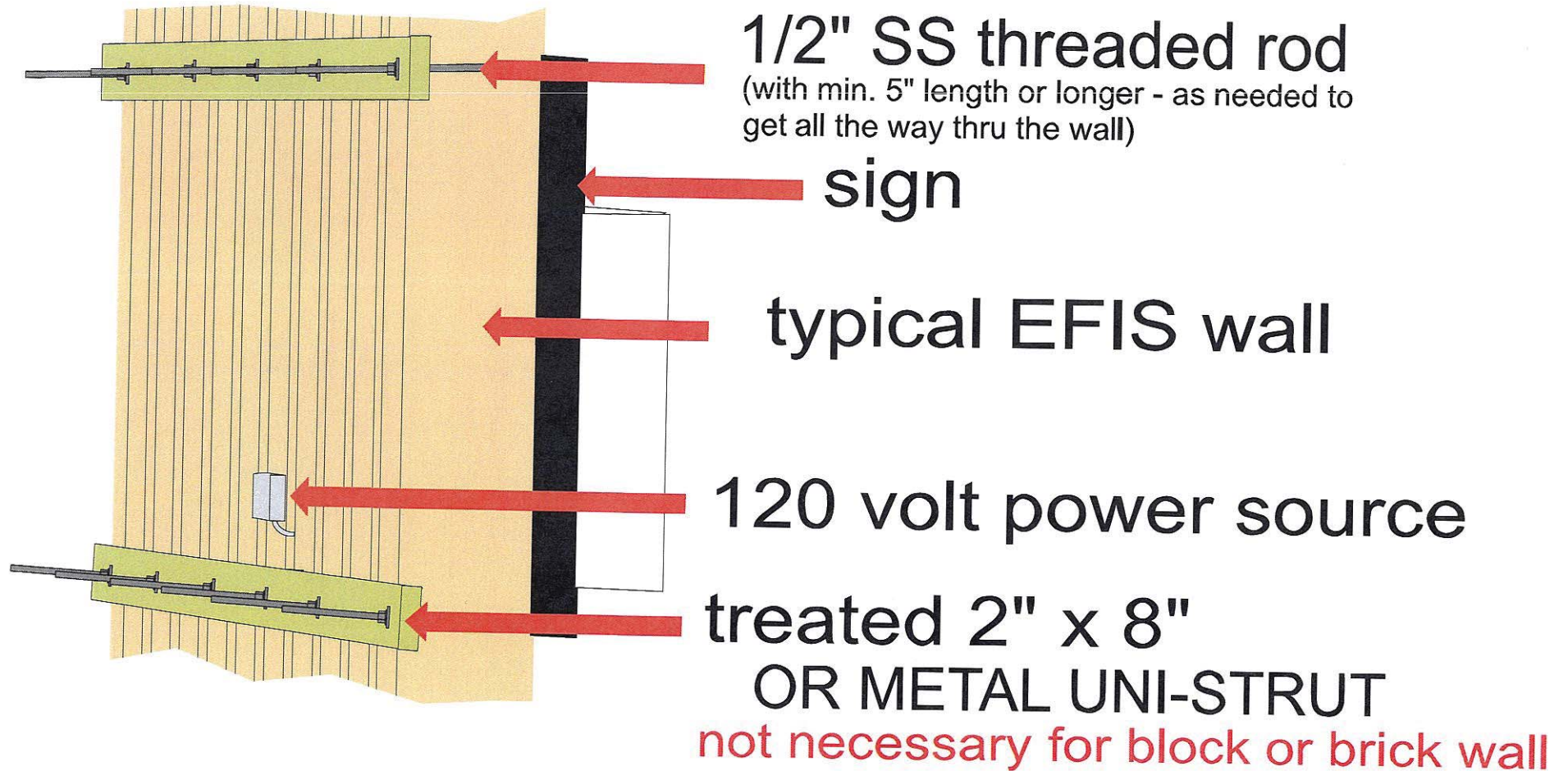


attach letters to background panel with #10 self drilling sheet metal screws - space screws as needed



Linford Oberholtzer
 lin@brandritesign.com
 803 533-7446
 TF 888 771-7446 M 803 707-4512

Approved mounting method





##544 Goose Creek SC

- 2 new panels: 93" x 48"

- Transluscent teal vinyl
3M PMS 322

- Transluscent yellow vinyl
PMS 109C









CREEKSIDO CENTER

Save
alot
food stores

CITI
TRENDS

2
0
5

**DOLLAR
GENERAL**

O'Reilly
AUTO PARTS

Star Beauty Supply

CIRQUE | SALON
STUDIOS

MI MEXICANO Mexican Restaurant

K-GUIDE

MIKE'S PIZZA

Moore's Tax Service

CHERI NELSON INSURANCE AGENCY

KAWASAKI Cleaners/Coin Laundry

CIGAR SHOP

World Finance

at Lord Ashley
Driving School

Leo's **BEER & Tobacco**



2022-024SIG
THE BARK PARK



CITY OF GOOSE CREEK
SIGN PERMIT APPLICATION

PAID

PERMIT #: 045707	OFFICE USE ONLY
AMOUNT DUE: \$ 75.00	DATE PAID: 04/19/2022
LICENSE#: 8757	DATE PAID: / /

Permit Fee: \$75.00

I'll bring the sample colors (black, white and yellow) to the meeting.

Today's Date: 4/19/22

1. Business Owner Jeremy Rooks Hugh Welch
 Owner/Operator Business Phone [REDACTED]
 Name of Business The Bark Park Alternate Phone _____
 Street Address of Business 109 S. James Ave.
 Landlord/Lessor Elam's Investments Landlord's Phone [REDACTED]
 Sign Company Carolina Sign Co. Sign Co. Phone [REDACTED]
 Sign Co. Contact Hugh Welch Sign Co. Address [REDACTED]

2. Cost of Sign(s) \$ [REDACTED] Sign Installation Cost \$ [REDACTED] Total Cost \$ [REDACTED]

3. How many signs are you applying for? 1 How many signs does this business already have? 1

4. What kind of signs does this business already have? Existing Cabinet (no current panel) None

5. What type of business is applying for this sign permit:
 A. A stand alone business? Yes No
 B. A part of a shopping center? Yes No If yes, shopping center name: _____

6. What is the TMS number for this property? 243 - 12 - 07 - 049

7. What is the front setback of the business in feet? 125' **75'+/- from property line not road**
 (The distance from the front property line to the front of business)
 A. For corner lots only, what is the front setback for second street frontage in feet? _____

8. What is the width of the business in feet? 35' (The distance from wall to wall)
 A. For corner lots only, what is the width of the business for second street frontage in feet? _____

9. What is the property's road frontage in feet? _____ (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:
 A. The storefront in relation to adjacent businesses;
 B. The specific location of proposed sign(s) on the property or building; and
 C. The actual sign if it already exists.

OFFICE USE ONLY
MAX. NO. OF ALLOWED SIGNS: <u>2</u>
MAX ALLOWED SIGN AREA <u>35 sq.ft.*</u>
<i>*This application meets ordinance guidelines.</i>

11. Please attach drawings of each proposed sign showing (drawn to scale) :
 A. The completed sign as it will actually appear on the building
 B. All dimensions;
 C. Where the colors will appear;
 D. The location on the property (on a plat) of proposed & existing freestanding signs
 E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
 • The ARB meets on the 3rd Monday of each month. (Please see ARB schedule for application deadlines and meetings.)

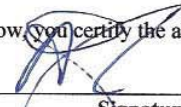
NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

SIGN INFORMATION TABLE

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	Aluminum		
Illumination: Exterior, interior or not lighted	NOT Lighted		
Type of Sign:	WALL MOUNT		
Height (FEET)	2'		
Width (feet)	12'		
Area (square feet)	24 sq/ft		
All colors used on sign	Black/White/Yellow		
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	Yes 20" x 20"		
Projection from building or cabinet width (thickness)	6"		
Number of styles of lettering	1		
Height of letters (if channel letters)	N/A		
If mounting individual letters, space between letters	N/A		
If mounting individual letters, space between words	N/A		
If window sign, size of window	N/A		
If changeable copy sign (reader board), number of lines	N/A		
If freestanding sign, distance between sign and street curb (ft)	N/A		
If freestanding sign, total height above grade (ft)	N/A		
If freestanding sign, landscaping materials to be planted at base of sign	N/A		

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.



 Signature of Applicant

4/19/22

 Date

<u>OFFICE USE ONLY</u>		
Remarks: _____		
Approval: Zoning Administrator _____ Issued by: _____ Date: _____		

A



THE BARK PARK

DOGGIE DAYCARE • BOARDING • BATHING

109 St James Ave, Goose Creek, SC 29445



SITE PLAN

Client:

CLIENT NAME

Bark Park

Location:

Address
109 St James Ave,
Goose Creek, SC 29445

CAROLINA
SIGN Co. 779.SIGN

107 St. James Ave
Ste A2
Goose Creek, SC 29445
843-779-7446
carolinasignco.com

Project
Updates

- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a
- n/a

Project Manager:

Hugh Welch

E-Mail:

hugh@carolinasignco.com

Approval Signatures

X Client

X Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

This original unpublished drawing is submitted solely for the project being planned. It is not to be copied or shown to persons outside of your organization without express written authorization from CAROLINA SIGN COMPANY. All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. CAROLINA SIGN COMPANY will do their best to maintain the design intent of these drawings at all times. If the owner or owner's representative wishes to receive detail drawings on all changes during the fabrication process, CAROLINA SIGN COMPANY must be advised in writing prior to the start of fabrication.

Sheet Title

Site

Page Number

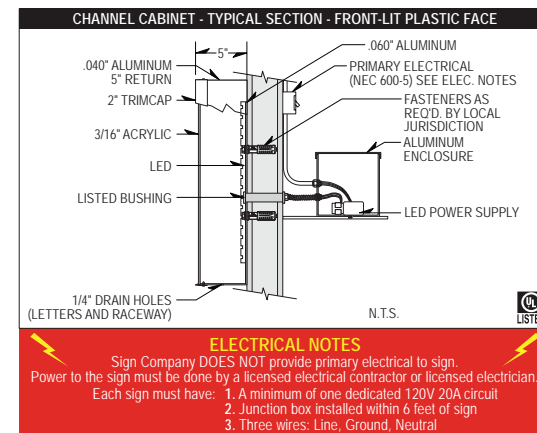
1 of 3

24 in

144 in



Fabricate & Install
Flat ACM Panel



Client:
 Client Name
Bark Park
 Location:
 Address
 109 St James Ave,
 Goose Creek, SC 29445

CAROLINA SIGN Co. 779.SIGN
 107 St. James Ave
 Ste A2
 Goose Creek, SC 29445
 843-779-7446
 carolinasingnco.com

Project Updates

- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a

Project Manager:
 Hugh Welch
 E-Mail:
 hugh@carolinasingnco.com

Approval Signatures

X Client

X Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

This original unpublished drawing is submitted solely for the project being planned. It is not to be copied or shown to persons outside of your organization without express written authorization from CAROLINA SIGN COMPANY. All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. CAROLINA SIGN COMPANY will do their best to maintain the design intent of these drawings at all times. If the owner or owners' representative wishes to receive digital drawings on all changes during the fabrication process, CAROLINA SIGN COMPANY must be advised in writing prior to the start of fabrication.

Sheet Title
 Site

Page Number
2 of 3

CURRENT



PROPOSED



Client:
Client Name
Bark Park
Location:
Address
109 St James Ave,
Goose Creek, SC 29445

CAROLINA SIGN Co 779.SIGN
107 St. James Ave
Ste A2
Goose Creek, SC 29445
843-779-7446
carolinasignco.com

- Project Updates
- 1 n/a
 - 2 n/a
 - 3 n/a
 - 4 n/a
 - 5 n/a
 - 6 n/a
 - 7 n/a
 - 8 n/a
 - 9 n/a
 - 10 n/a

Project Manager:
Hugh Welch
E-Mail:
hugh@carolinasignco.com
Approval Signatures

X Client
X Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

This original unpublished drawing is submitted solely for the project being planned. It is not to be copied or shown to persons outside of your organization without express written authorization from CAROLINA SIGN COMPANY. All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. CAROLINA SIGN COMPANY will do their best to maintain the design intent of these drawings at all times. If the owner or owners' representative wishes to receive detail drawings on all changes during the fabrication process, CAROLINA SIGN COMPANY must be advised in writing prior to the start of fabrication.

Sheet Title
Site
Page Number
3 of 3



2022-026PT

DESTINY PROPERTIES GROUP

MEMORANDUM

TO: City of Goose Creek Architectural Review Board
FROM: Alexis Kiser, Assistant to City Administrator
RE: Exterior Renovation, 513 Red Bank Road (TMS#252-01-03-044)
DATE: 05/02/2022

Staff has reviewed the submittal to the Architectural Review Board (ARB) and offers the following commentary:

General Conformance Analysis

1. The applicant is proposing an exterior renovation at 513 Red Bank Road (TMS#252-01-03-044). The parcel is zoned General Commercial (GC). The applicant is proposing an office “coworking” space, which is an allowed use in this zoning district. The adjacent zoning classifications are as follows:
 - a. North: General Commercial (GC)
 - b. South: General Commercial (GC)
 - c. East: Red Bank Road/General Commercial (GC)
 - d. West: Berkeley County Residential (R-1)
2. The current structure on the parcel is approximately 3,678 SF and will also be doing interior renovations.

Architectural Review Design Guidelines Analysis

Site design

The applicant is proposing the creation of an accent wall on the existing façade on the current structure constructed of pine and Hardie Board trim. An accent wall on this development will add to the visual enjoyment of adjacent parcels. Currently, the rendering submitted shows a sign on the accent wall. The sign on the rendering is not included in the scope of work for this ARB application and a separate application will need to be submitted and approved by ARB before a sign can be added to the building.

Architectural theme

The proposed colors and materials will create variation in the existing built environment.

Architectural interest

Changing the color of the building façade and the roof will add architectural interest to the current parcel. Additionally, the current window shows bars on the window while the rendering does not. The applicant will need to clarify if the bars will be permanently removed from the structure.

Building design

The height, width, and general proportions will conform to other buildings in the area and will not overwhelm adjacent buildings. The addition of the recessed accent wall will proportion the façade that faces Red Bank Road and add an architectural feature. The materials used will enhance the current structure and do not include any of the prohibited materials outlined in the ARB section of the ordinance.

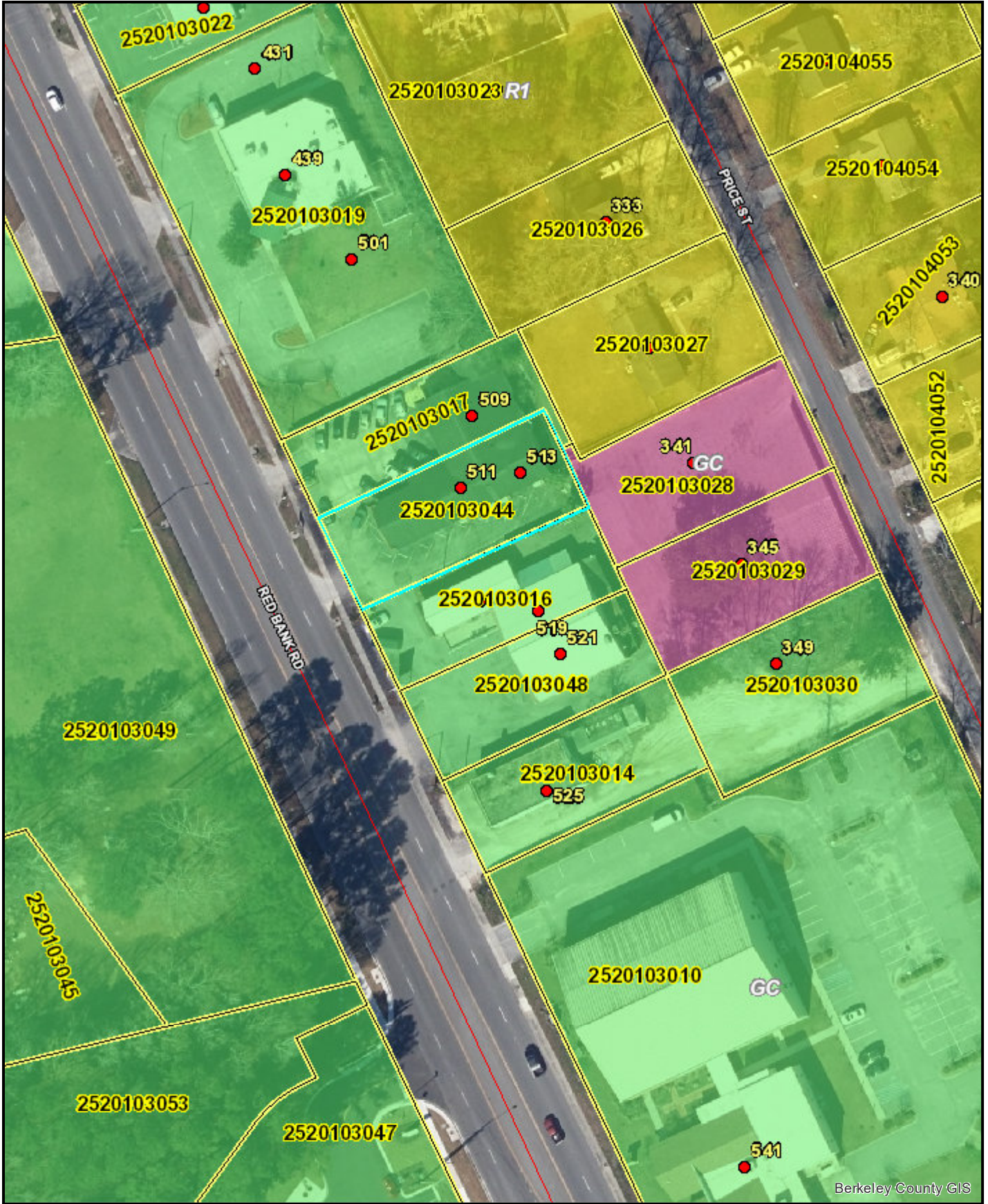
Site Elements

There are no proposed changes to existing site elements as described in the ordinance.

Staff Recommendation

As the application stands, staff has no objection to ARB approving the application with any additional comments Board Members see necessary for this site. Staff only conveys that approval of this application by the ARB at this time does not denote approval of the number, size, color, or location of signs. The development of the site must meet all minimum zoning requirements, which will be verified by staff, after ARB approval.

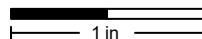
Berkeley County GIS Online Mapping



Berkeley County GIS



1 inch = 83 feet



Date: 5/9/2022

Berkeley County GIS



The county of Berkeley and its GIS Department disclaims accountability for this product and makes no warranty express or implied concerning the accuracy thereof. Responsibility for interpretation and application of this product lies with the user.



ARB SCOPE OF WORK FORM/

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address: 513 Red BANK Rd		TMS No.:
Review request:	For:	Preliminary meeting date requested: 5/17/22
<input type="checkbox"/> Preliminary	<input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Final	<input checked="" type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other	

Property Owner: Destiny Properties Group	Daytime phone: 843 532 6684
Applicant: Gleysi Ravel	Daytime phone:
ARB Meeting Representative:	Contact Information:
Applicant's mailing address: 431 Red St James Ave # 2172	
City: Goose creek	State: SC Zip: 29445
Applicant's e-mail address: GC.Ravel@yahoo.com	
Applicant's relationship: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

Materials/Colors Used: (specific color(s)/manufacture #'s listed: samples must be presented to Board attached)
 (Example: Building Materials, Exterior Colors, Landscaping, Lighting)

Accent wall material (treated 2x4, pine and 5/4x4x10 Hardie trim).

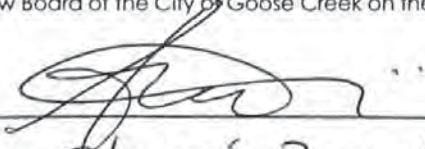
colors:

SW 7017 Doron Gray for Gables
 SW 9109 Natural Liven for Brick veneer
 SW 7674 Peppercorn for Accent wall
 SW Bright white for Ceilings/Soffits

Scope of Work: (please give a detailed description)

Repaint Build as proposed on ATTACHED picture AS well AS Build an Accent wall on existing FACADE. (12' wide by 8' tall)

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature:  Date: 4/19/22

Print name legibly: Gleysi Ravel







2022-027EMOD
CROWFIELD BAPTIST
CHURCH



ARB SCOPE OF WORK FORM/

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address:		TMS No.: X
Review request:	For:	Preliminary meeting date requested:
<input type="checkbox"/> Preliminary	<input type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input checked="" type="checkbox"/> Other <u>REPLACE FULL GLASS WITH HALF GLASS</u>	

Property Owner: X <u>Crowfield Baptist Church</u>	Daytime phone:	[REDACTED]
Applicant: X <u>Kelley Manness For CBSC</u>	Daytime phone:	[REDACTED]
ARB Meeting Representative: <u>RICK DREXEL SR.</u>	Contact Information:	[REDACTED]
Applicant's mailing address: [REDACTED]		
City:	State:	Zip:
Applicant's e-mail address:		
Applicant's relationship: <input type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input checked="" type="checkbox"/> Other		

Materials/Colors Used: (specific color(s)/manufacture #'s listed: samples must be presented to Board attached)
 (Example: Building Materials, Exterior Colors, Landscaping, Lighting)

REMOVE EXISTING FULL GLASS PANELS - REPLACE WITH HALF GLASS TOP AND BOARD/BATTERY BOTTOM. TOP WINDOW ONLY - BOTTOM HARDI - ALL WHITE - TO MATCH EXISTING WINDOWS/ EXTERIOR
SEE ATTACHED WINDOW / SKETCHES

Scope of Work: (please give a detailed description)

[REDACTED]

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature: Kelley Manness For Crowfield Baptist Church **Date:** 5/5/22

Print name legibly: Kelley Manness For Crowfield Baptist Church

**ARCHITECTURAL REVIEW BOARD PERMIT APPLICATION
EXTERIOR RENOVATIONS AND ADDITIONS**

PENALTIES

1. PENALTY WILL BE ASSESSED TO PROPERTY OWNERS WHOSE WORK DOES NOT CONFORM WITH THE APPROVED PERMIT APPLICATION.
2. PENALTY WILL BE ASSESSED TO PROPERTY OWNERS THAT ACCOMPLISH WORK WITHOUT A PERMIT WHEN SUCH IS REQUIRED BY THE COVENANTS AND RESTRICTIONS.

PERMIT FEE \$15

PROJECT INFORMATION

Description of Project: REMOVE 6ea GLASS PANELS - REPLACE WITH 6ea windows with ENCLOSED BOTTOM (GOING FROM FULL GLASS TO ~~6ea~~ HALF GLASS VIEW) TOP GLASS WILL MATCH OTHERS - BOTTOM WILL BE FILLED WITH HARDI PANEL / 1X4 TRIM (WHITE)

Materials Used:

	On Existing House	Color	On Proposed Project	Color
Siding	BRICK	Brown	NO CHANGE	—
Trim	VINYL	COLOR	HARDI (UNDER WORKS)	white
Roof	N/A	N/A	N/A	N/A
Windows	VINYL	white	VINYL	white

If Addition: Length: N/A Width: _____ Height: N/A Area: _____

Mechanical Equipment To Be Installed? YES NO

If Yes, describe screening material and location: _____

REQUIRED SUPPORTING INFORMATION

1. Dimensioned property plat that identifies and locates all permanent structures.
2. One set of project plans, details and specifications.
3. Confirmation that project will not be located in a setback area.
4. Confirmation that project will not impact the established drainage flow of property.
5. Color photographs of existing residence/structure.
6. Color photographs, brochures, or website printouts showing proposed material types and colors.

I have reviewed and provided all required supporting information for this application.

X Signature King Witness For Crawford Baptist Church Date 5/5/22

PROPERTY EXTERIOR RENOVATIONS & ADDITIONS

PAID STAMP
(Stamp RECEIVED & initial if no fee)

Architectural Review Board Work Permit Application
Crowfield Plantation Community Services Association (CPCSA)

Acct. #: _____

General Information and Requirements

1. ARB approval does not indicate compliance, or non-compliance, with applicable building codes and engineering requirements as such responsibilities are those of the property owner.
2. Approval is contingent on the property owner's statement of knowledge and understanding of the covenants and restrictions of the applicable subdivision. The covenants and restrictions are available on the CPCSA website.
3. Permit application information is to be detailed and to accurately state the requirements and present the specifications of the proposed project. Applications that are incomplete or fail to accurately describe the project will not be reviewed. The property owner will be notified that submittal is not complete and will not be reviewed until the required information is provided.
4. Project may be considered to be unique. Approval of one request does not constitute a precedent for approval of another request.
5. **Permit requests will be received until 1PM on Thursday prior to the ARB meetings, which occur on the first and third Monday of each month.**

JEM
(Initials)

Property owner is required to provide CPCSA with photos of project completion within 15 days after work is accomplished and grants authority to the CPCSA representative to review the completed work on the property. Failure to submit completion photos may result in a fine.

Denial of Permit Application

1. Property owner may appeal the decision of the ARB by submitting additional written justification that property owner requests to be considered by the ARB as part of the project permit review.
2. The property owner may submit a revised application, second submittal, which corrects the conditions that were not in compliance with the covenants and restrictions as identified in the notice to the property owner.
3. The second denial by the Crowfield ARB of a permit application may be appealed to the Crowfield Board of Directors.

Property owner confirms they have read and understand the covenants and restrictions applicable to the subdivision in which the project is located and this permit application is in full compliance with such requirements and limitations.

Owner's Signature: _____ Owner's Name (Printed): _____

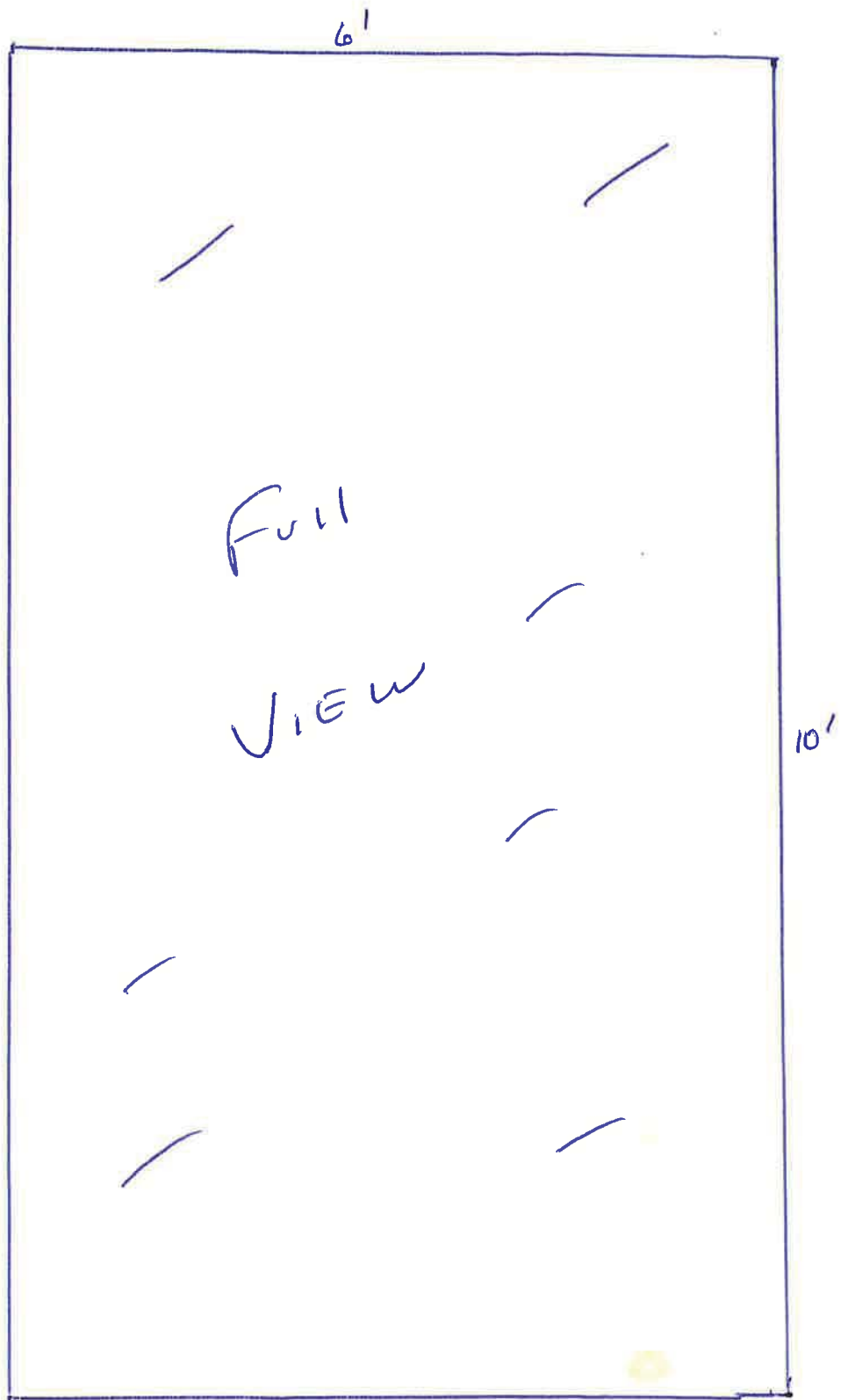
Subdivision: _____ Address: _____

Email: _____ Phone #: _____ Alt. Phone #: _____

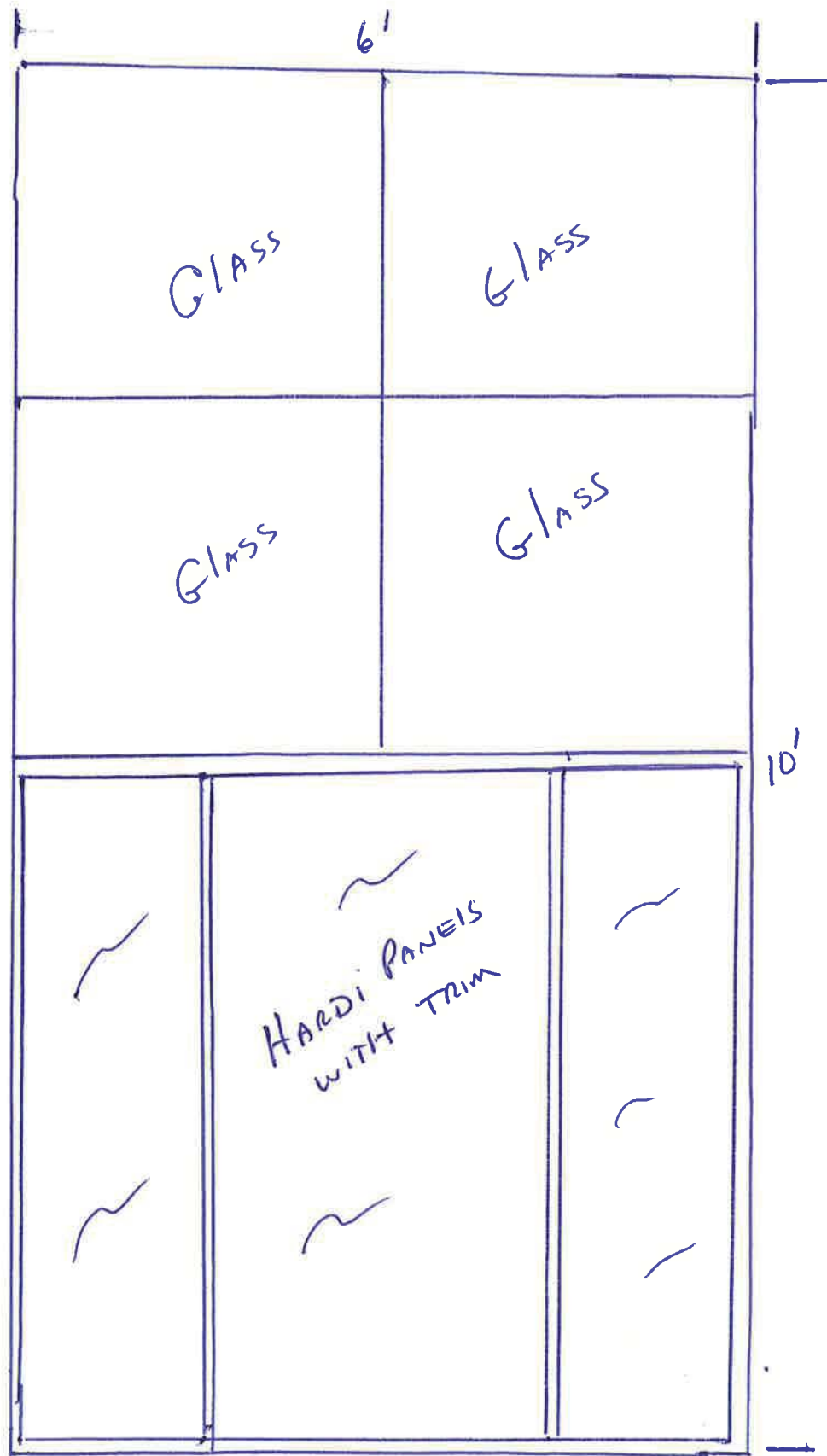
Project Description: REMOVE FULL GLASS PANELS/REPLACE WITH HALF GLASS

Official Use of ARB Committee Members

ARB Name (Print): _____	Signature: _____	Date: _____
ARB Name (Print): _____	Signature: _____	Date: _____
ARB Name (Print): _____	Signature: _____	Date: _____
ARB Name (Print): _____	Signature: _____	Date: _____
ARB Name (Print): _____	Signature: _____	Date: _____



CURRENT GLASS



(PROPOSED HALF VIEW)





2022-028EMOD
SYNOVUS BANK



ARB SCOPE OF WORK FORM/

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address: <u>305 N. Goose Creek Blvd.</u>		TMS No.:
Review request:	For:	Preliminary meeting date requested:
<input type="checkbox"/> Preliminary	<input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other	

Property Owner: <u>Faith Church</u>	Daytime phone:
Applicant: <u>TRG Construction LLC</u>	Daytime phone: [REDACTED]
ARB Meeting Representative: <u>Alexis Kiser</u>	Contact Information: [REDACTED]
Applicant's mailing address: <u>PO Box 552</u>	
City: [REDACTED]	State: [REDACTED] Zip: [REDACTED]
Applicant's e-mail address: [REDACTED]	
Applicant's relationship:	<input type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input checked="" type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other

Materials/Colors Used: (specific color(s)/manufacture #'s listed: samples must be presented to Board attached)
 (Example: Building Materials, Exterior Colors, Landscaping, Lighting)

James Hardie, gutters.
Color will be matched by Shewin Williams.

Scope of Work: (please give a detailed description)

We are removing all exterior James Hardie siding on the building. once siding was removed, we discovered that plywood sheathing and tyvek wrap was never installed during original construction. We have installed OSB sheathing and tyvek to tie in the building. plan to install James Hardie w/ a 6" reveal, painted the same color to match existing siding. install 6" commercial gutter. No modification to structure or building.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature: [Signature] Date: 5/5/22

Print name legibly: Jessi Bowles