



THE CITY OF  
**GOOSE CREEK**

BERKELEY CO. **EST. 1961** SO. CAROLINA

**PLANNING COMMISSION  
SUPPORTING DOCUMENTS  
TUESDAY, SEPTEMBER 7, 2021  
6:00PM**

**MARGUERITE BROWN MUNICIPAL CENTER  
CITY HALL COUNCIL CHAMBERS  
519 N. GOOSE CREEK BLVD.  
GOOSE CREEK, SOUTH CAROLINA**

# MEMORANDUM

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**TO:** MEMBERS OF THE PLANNING COMMISSION

**FROM:** LILI ORTIZ-LUDLUM  
ADMINISTRATIVE ASSISTANT

**DATE:** SEPTEMBER 1, 2021

**SUBJECT:** NOTIFICATION OF  
PLANNING COMMISSION MEETING

This is to remind everyone that the next meeting of the Planning Commission is scheduled for Tuesday, September 7, 2021, at 6:00 p.m. at City Hall.

Should you have any questions or comments prior to Tuesday's meeting, please do not hesitate to contact Brenda Moneer at (x.1116).



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MINUTES

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**MINUTES  
CITY OF GOOSE CREEK  
PLANNING COMMISSION  
TUESDAY, JULY 6, 2021, 6:30 P.M.  
MARGUERITE H. BROWN MUNICIPAL CENTER**

**I. CALL TO ORDER – CHAIRMAN JOSH JOHNSON**

**Action:** Chairman Johnson called the meeting to order at 6:30 p.m. and led the Pledge of Allegiance.  
**Present:** Josh Johnson; Lisa Burdick; Heather Byrd; Paul Connerty; Judie Edwards; Gena Glaze; Rob Wiggins  
**Absent:** None  
**Staff Present:** Planning Director Mark Brodeur

**II. APPROVAL OF AGENDA**

**Motion:** A motion was made to approve the agenda. **Moved by** Commissioner Connerty; **Seconded by** Commissioner Edwards.  
**Discussion:** There was none.  
**Vote:** All voted in favor. The motion carried (7-0).

**III. APPROVAL OF MINUTES: MAY 4, 2021**

**Motion:** A motion was made to approve the minutes. **Moved by** Commissioner Edwards; **Seconded by** Commissioner Byrd.  
**Discussion:** There was none.  
**Vote:** All voted in favor. The motion carried (7-0).

**IV. PUBLIC HEARINGS: ZONING MAP AMENDMENT**

**A. 2021-039 MA: TMS# 243-08-05-052; REQUEST TO REZONE THE PARCEL FROM RESIDENTIAL MEDIUM DENSITY (R2) TO RESTRICTED COMMERCIAL(RC). PROPERTY IS LOCATED ON ETLING AVE.**

Mr. Brodeur stated the property currently is a vacant .22-acre parcel west of the property currently identified as 107 Etling Ave. He stated 107 Etling Ave is currently a 29-bed assisted living facility known as Quality Care Residential Home SC, LLC. The applicant would like to join these two parcels together, rezone this parcel to Restricted Commercial (RC), and abandon the property line creating one larger parcel. He stated this would allow the owner to build an additional eight (8) rooms onto the current twenty-nine (29) bed assisted living facility. Mr. Brodeur stated a portion of the additional parcel would be used to meet additional parking requirements as outlined in the City Zoning Code of Ordinances. He stated the applicant is requesting to rezone the parcel from (R2) Medium Density Single-Family Residential to (RC) Restricted Commercial.

Mr. Brodeur stated the newly created Comprehensive Plan Future Land Use Map shows this area as Medium Density Residential. The current zoning for this area is Restricted Commercial (RC), providing a good transitional zoning from General Commercial to Residential. A residential day care is not inconsistent with this land use. He stated staff recommends this rezone request.

The applicant stated they purchased the property in 2012 and repeated what Mr. Brodeur presented. He stated the focus for this addition will be memory care. He stated this product caters to the medium income individual. The applicant stated with the new addition, their will be private bathrooms which currently they do not have.

There was no public present to speak. Board Member Edwards inquired what would happen should this facility close. Mr. Brodeur stated it would be one lot and if a new applicant decided they wanted to re-split the parcel it could be done.

- Motion:** A motion was made to approve the rezoning request to rezone the parcel from Residential Medium Density (R2) to Restricted Commercial (RC) located at Etling Ave, TMS# 243-08-05-052. **Moved by** Commissioner Byrd; **Seconded by** Commissioner Wiggins.
- Discussion:** None
- Vote:** All voted in favor. Motion carried (7-0).

**V. NEW BUSINESS:**

**A. 2021-043 : PROPOSED REVISION TO PLANNING COMMISSION STARTING TIME (6PM)**

Mr. Brodeur stated the city is trying to align all the Boards and Commissions start time to 6 p.m. beginning next month. The commission agreed to the time change. No vote was taken.

**VI. CLOSING REMARKS & ADJOURNMENT**

Mr. Brodeur provided the Commissioners with a copy of the adopted Comprehensive Plan. Chairman Johnson stated next month will be his last meeting as he is moving to Hanahan, SC.

- Motion:** A motion was made to adjourn. **Moved by** Commissioner Byrd; **Seconded by** Commissioner Wiggins.
- Discussion:** None
- Vote:** All voted in favor. Motion carried (7-0).

The meeting adjourned at approximately 6:40 pm.

\_\_\_\_\_  
Mr. Josh Johnson, Chairman

Date: \_\_\_\_\_



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**PUBLIC HEARING**

2021-058 TEXT AMENDMENT

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## Memorandum/Staff Report

**TO:** Planning Commission

**FROM:** Mr. Mark Brodeur, Planning and Zoning Director

**DATE:** September 7, 2021

**SUBJECT:** Zoning Code Modification – 2021-058 TA

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### Proposal:

The proposal is to ADD Nursery Homes to the Permitted Uses in the **Restricted Commercial District**. Currently, the Zoning Code Chapter (151.129) that describes what is permitted in the district allows Nursery Homes however, the Zoning Code Appendix B Matrix does not list Nursery Homes as permitted in this district.

### Background:

The City's Zoning Code has been updated and amended for over 40 years. As a result, City staff often finds mistakes, contradictions and omissions. This latest discovery came as a result of a Zone Change request the Commission endorsed recently. The Zone Change would have permitted the expansion of an existing 29-bed nursing home at 107 Etling Avenue.

The Restricted Commercial District is a minor Zoning District. There are only 8 TMS parcels citywide and 6 of the 8 are in this immediate area. The Nursing home owns three of the six parcels

### Discussion:

City staff is requesting that the language in Code Chapter 151.129 – Restricted Commercial District be amended along with modifying Appendix B to add the allowance of Nursing homes, whether they administer outpatient treatment or not.

(There is one Nursing Home type listed under Residential and a slightly different Nursing Home type under the Commercial use. Both would now be permitted.)

### Recommendation:

Endorse the attached language modification to Chapter 151.129 and to Appendix B.

## APPENDIX B: TABLE OF LAND USES

<b>Table of Land Uses</b>																			
<b>+ - Permitted*</b>		<b>x - Prohibited</b>																	
<b>? - Conditional**</b>		<b>( ) - Notes</b>																	
	<b>R-1</b>	<b>R-2</b>	<b>R-3</b>	<b>BPO</b>	<b>RC</b>	<b>NC</b>	<b>GC</b>	<b>LI</b>	<b>GI</b>	<b>HI</b>	<b>CO</b>	<b>PD</b>	<b>PD/MH</b>						
<b>Residential***</b>																			
Accessory uses (§ <a href="#">151.108</a> and <a href="#">App. C</a> and <a href="#">D</a> )							+	+	+	+	+	+	+	+	+	+	(1)	(1)	
Any publicly-owned facility or building or land, provided no vehicles are stored overnight except at police/fire stations and substations							?	?	?	x	+	+	+	+	+	+	+	(1)	(1)
Customary home occupations (as defined in § <a href="#">151.028</a> )							+	+	+	x	+	+	x	x	x	x	x	(1)	(1)
Detached single- family dwelling							+	+	+	x	+	+	x	x	x	x	+	(1)	(1)
Duplex and two- family dwellings							x	x	+	x	+	+	x	x	x	x	x	(1)	(1)
Group dwelling (as defined in § <a href="#">151.028</a> )							x	x	x	x	x	+	?	x	x	x	x	(1)	(1)
Multi-family dwellings, apartments including garden apartments, townhouses, patio homes and the like							x	x	?	x	?	?	?	x	x	x	x	(1)	(1)
Nursing home or public/private care home, but not an establishment administering outpatient or medical treatment for fees							x	x	+	x	✗	+	?	x	x	x	x	(1)	(1)
											+								



## § 151.129 RESTRICTED COMMERCIAL DISTRICT.

### (A) *Purpose.*

(1) To develop and reserve a quiet, uncongested office-type environment primarily for business and professional firms (reference commercial);

(2) To discourage encroachment by unrestricted commercial or wholesale businesses, industries or other uses adversely affecting the specialized district character;

(3) To discourage business uses which require outside display of merchandise, equipment or materials (particularly miscellaneous goods, used items or items not packaged or generally presenting a neat uniform appearance), except as allowed in the zoning permit, or approved by the Zoning Administrator; and

(4) To encourage the discontinuance of nonconforming areas.

### (B) *Permitted uses.* The following are approved uses by right.

#### (1) *Residential uses.*

(a) Customary home occupations (as defined in § [151.028](#)).

(b) Detached single-family dwelling.

(c) Duplex and two-family dwellings.

(d) Watchman's or caretaker's dwelling located on the premises with the permitted use and occupied by a company employee.

#### **(e) Nursing home or extended care facility not offering outpatient or medical services for a fee.**

(2) *Religious uses.* Places of worship located on major thoroughfares or collector streets, subject to zone minimum setback standards.

#### (3) *Educational uses.*

(a) Licensed nursery or preschool facility.

(b) Public library or museum, provided no structure is located within 30 feet of property boundaries on a minimum two acre site.

(c) Public/private school (not trade or business) on a minimum five acre site, and no structure or parking within 50 feet of property boundaries.

#### (4) *Recreational uses.*

(a) Country club, tennis club, swimming club, or golf course, provided no lighting impacts on adjacent uses.

(b) Private recreation facility of at least two acres, with no structure located within 30 feet of property boundaries.

(c) Public recreation facility, provided no structure is located within 30 feet of boundaries, and no overnight storage of vehicles/equipment.

(d) Semi-public club, lodge, union hall or social center, provided no residential or commercial activity is conducted on the premises.

(5) *Office, governmental, institutional uses.*

(a) Any publicly-owned facility, building or land.

(b) Business office for services specific to a profession such as an attorney, accountant, advertising agency, financial consultant, real estate, and the like.

(c) Governmental, business, professional or general purpose office, excluding storage, repair, or rental of equipment on premises.

(d) Office for professional or administrative support services such as word processing, printing, computer graphics, and the like.

(e) Professional healthcare offices such as medical, dental, chiropractic offices, and the like.

(f) Public transportation terminal/passenger facility.

(g) Public utility substation installed in compliance with buffer and screening requirements, and fenced to control access.

(h) Railroad rights-of-way, excluding all facilities other than those required for track operations.

(6) *Commercial uses.*

(a) Arts, crafts, or dance studio; art gallery.

(b) Emergency medical care facility.

(c) Enterprise rendering a personal or business service, or restricted retail activity (as defined in § [151.028](#)) in a specific product category.

(d) Hospital.

(e) Nursing home or extended care facility offering outpatient or medical services for a fee.

(f) Radio/television station or studio (excluding transmission towers).

(g) Specialty shops such as a florist, news stand, gift shop, or boutique.

(h) Veterinary clinic/animal hospital without boarding facilities.

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**PUBLIC HEARING**

2021-059 MAP AMENDMENT

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## STAFF REPORT FOR THE CITY OF GOOSE CREEK PLANNING COMMISSION & CITY COUNCIL

For reference, the City of Goose Creek Code of Ordinances are available online at  
<https://www.cityofgoosecreek.com/government/code-ordinances>

Agenda Item	
<b>Request #:</b>	2021-059 MA
<b>Applicant:</b>	Jones, Bruce D.
<b>Location/Address:</b>	Etling Avenue
<b>Requested Zoning District:</b>	RC-Restricted Commercial

Subject Parcel	
<b>Property Owner:</b>	Quality Care Residential Home SC Inc.
<b>Tax Map Number:</b>	243-08-05-052
<b>Approximate Acreage:</b>	.22
<b>NEW Comprehensive Plan Future Land Use Map Designation:</b>	Zoning class transitions from Neighborhood Mixed Use to Medium-Density Residential
<b>Current Zoning:</b>	R2-Medium Density Residential

Property Zoning to the		Property Uses to the	
<b>North:</b>	City limits - R2- Medium Density Residential	<b>North:</b>	VACANT PARCEL
<b>South:</b>	City limits - R2- Medium Density Residential	<b>South:</b>	Residential
<b>East:</b>	City limits - RC- Restricted Commercial	<b>East:</b>	Assisted Living
<b>West:</b>	City limits - R2- Medium Density Residential	<b>West:</b>	Residential

**Relationship to Comprehensive Plan**

The newly created Comprehensive Plan Future Land Use Map shows this area as Medium Density Residential. The current zoning for this area is (RC) Restricted Commercial, providing a good transitional zoning from General Commercial to Residential. A residential day care is not inconsistent with this land use.

**Staff Comments**

Rezoning was approved by Planning Commission back on this date but a detail was discovered which would have prohibited the Nursing Home from expanding. That Zoning Code detail is accompanying this re-request to rezone the property RC.

The subject property currently is a vacant .22 acre parcel west of the property currently identified as 107 Etling Av. 107 Etling Av. is currently a 29-bed assisted living facility known as Quality Care Residential Home SC, LLC. The applicant would like to join these two parcels together, rezone this parcel (RC) Restricted Commercial, and abandon the property line creating one larger parcel. This would allow the owner to build an additional eight (8) rooms onto the current 29-bed assisted living facility. A portion of the additional parcel would be used to meet additional parking requirements as outlined in the City Zoning Code of Ordinances. Therefore, the applicant is requesting to rezone the parcel from (R2) Medium Density Single-Family Residential to (RC) Restricted Commercial.

There currently is a residence, located to the West, with no development to the North. The parcel to the south is located in the City, owned by the applicant, and is currently zoned (RC) Restricted Commercial. Properties to the East are commercial in nature and extend as such out to St. James Av.

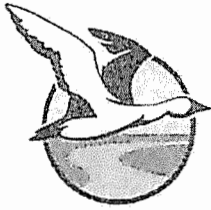
Staff recommends this rezoning request.

**Anticipated Meeting Schedule**

Body	Meeting Date	Action
Planning Commission	September 7, 2021	Pending
City Council Public Hearing	September 14, 2021	Pending
City Council Public hearing	October 12, 2021	Pending
<i>City Council Meetings subject to change. Please check the website for up-to-date information.</i>		

**Planning Commission Meeting Motion:**

**Planning Commission Voted on July 6th, 2021 to recommend the request by a vote of seven (7) to zero (0).**



CITY OF GOOSE CREEK LAND USE APPLICATION

TODAY'S DATE: 8/13/2021

PART I. PURPOSE OF SUBMITTAL

- Site Plan (See Checklist)
- Subdivision Plan (See Checklist)
- Plat Review
- Variance
- Rezoning
- Conditional Use Permit

PART II. GENERAL INFORMATION

1. Development Name: Quality Care Residential Home SC LLC
2. Street Address: 107 Etling Ave Goose Creek SC 29445
3. TMS #: 243 - 08 - 05 - 052
4. Zoning Classification: R-2  
Requested Classification: RC (For rezonings only)
5. Total Site Acres: .22

GOOSE CREEK ZONING DISTRICTS

CO: Conservation Open Space	GC: General Commercial
LI: Light Industrial	NC: Neighborhood Commercial
R-1: Residential Low Density	RC: Restricted Commercial
R-2: Residential Medium Density	PD: Planned Development
R-3: Residential High Density	PD-MHI: PD for Mobile Home

PART III. CONTACT INFORMATION

Owner/Developer Name: Bruce D. Jones

Street Address: [REDACTED] City: [REDACTED] St: [REDACTED] Zip: [REDACTED]

Telephone: [REDACTED] Cell Phone: [REDACTED] Fax: [REDACTED]

E-mail Address: [REDACTED]

PART IV. SUBMITTAL INFORMATION (IF APPLICABLE)

Proposed Building Use: Plan to add 8 rooms onto current 29 bed assisted living. Part will be used for additional parking.

Proposed Total Building Area (gross sq. ft.): 4,600

Max. Building Height: 24 ft. Total Number of Buildings/Units/Lots: 1 Building + parking

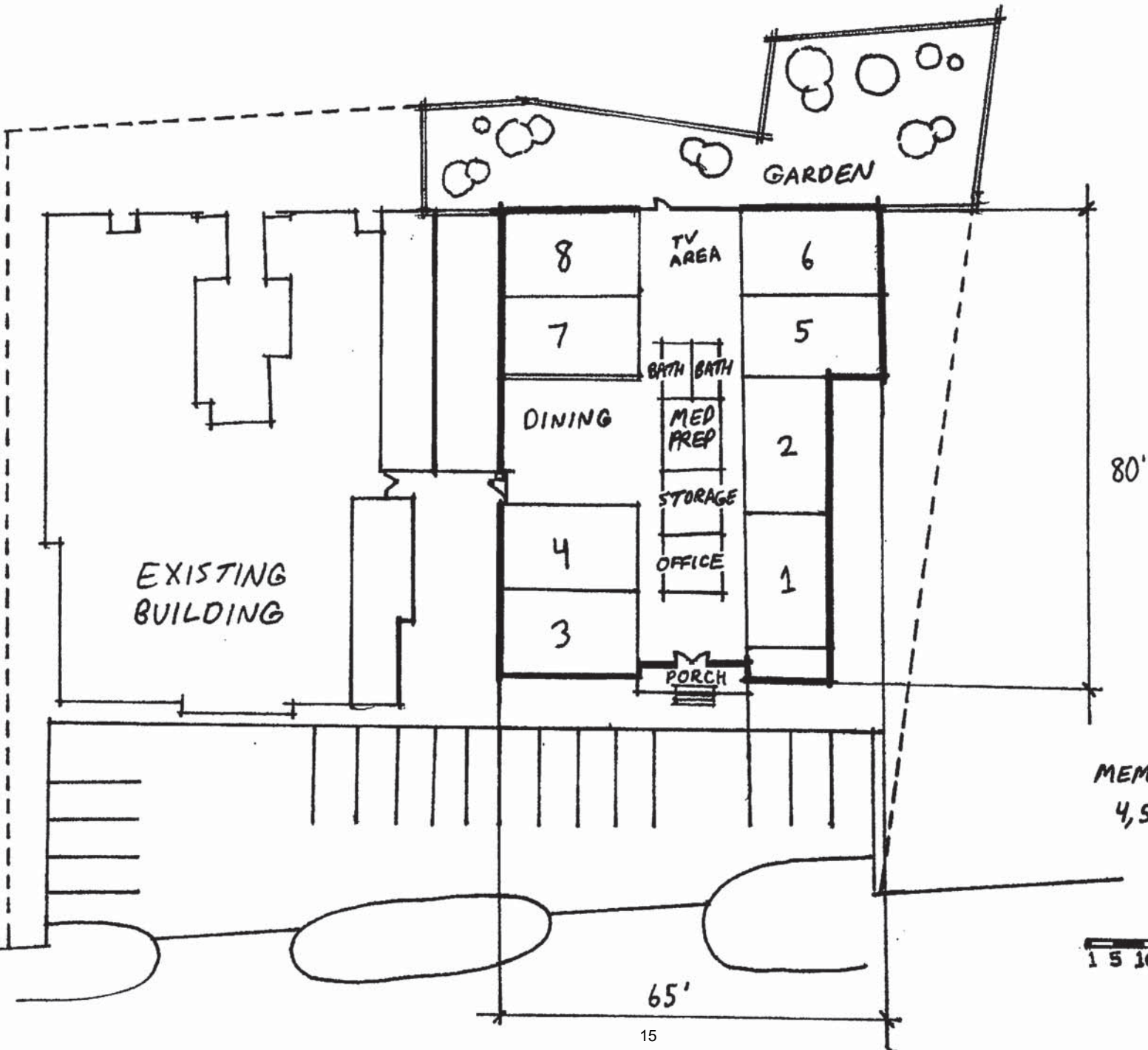
Is The Property Restricted by Any Recorded Covenant Which Conflicts With or Prohibits The Proposed Use: NO

AGENT WAIVER

*In filing this plan as the property owner, I do hereby agree and firmly bind myself, my heirs, executors, administrators, successors and assignees jointly and severally to construct all improvements and make all dedications as shown on this proposed site plan as approved by the City of Goose Creek, South Carolina. I hereby designate Bruce D. Jones to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meetings regarding this application.*

Print Name: Bruce D Jones Date: 8/13/2021

Signature: [Handwritten Signature]



EXISTING BUILDING

GARDEN

8

TV AREA

6

7

5

DINING

BATH BATH

2

MED PREP

STORAGE

1

4

OFFICE

3

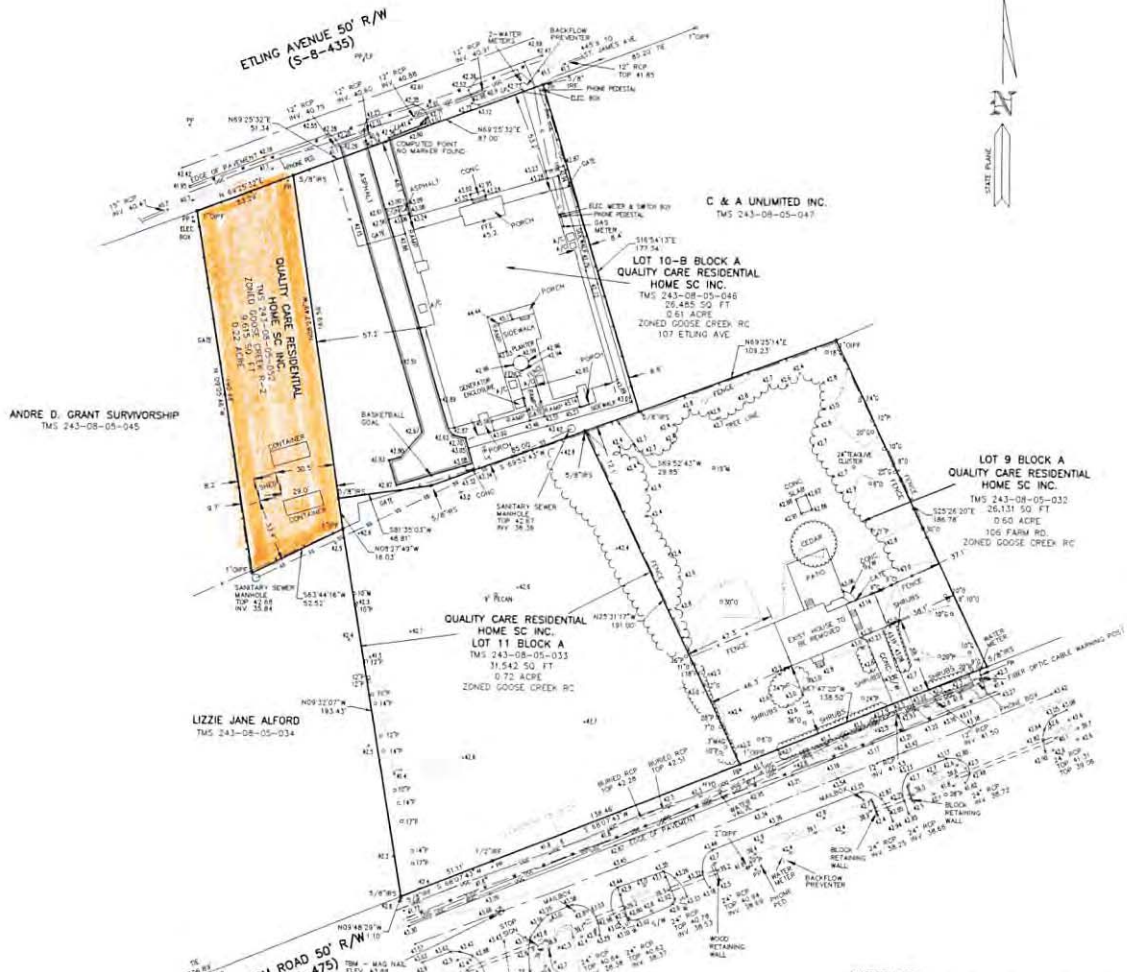
PORCH

80'

MEMORY CARE  
4,592 sq ft

65'

1 5 10 20 30



**PINEVIEW TERRACE**  
 BERKELEY COUNTY, S. C.  
 SURVEY OF LOT 10-B BLOCK A CONTAINING 0.51 ACRE,  
 LOT 11 BLOCK A CONTAINING 0.72 ACRE AND  
 LOT 9 BLOCK A CONTAINING 0.60 ACRE  
 TMS 243-08-05-052 CONTAINING 0.22 ACRE  
 ALL OWNED BY QUALITY CARE RESIDENTIAL HOME, S. C., INC.

SCALE: 1" = 30' JUNE 5, 2018



**REFERENCES:**  
 1. PLAT BY W. P. TOMPKINS, JR. INC. DATED FEB. 24, 1987.  
 RECORDED IN BERKELEY COUNTY REC. OFFICE  
 IN PLAT C.B. 2 PAGE 123

**TREE LEGEND**  
 CL CHERRY LAUREL  
 OL OLM  
 MA MAHOGANY  
 D OAK  
 P PINE

**LEGEND**  
 CLIFF OPEN TOP IRON PIPE FOUND  
 IFF IRON REBAR FOUND  
 IFS IRON REBAR SET  
 LP LIGHT POLE  
 PH POWER POLE  
 ELV EXISTING ELEVATION  
 F FENCE  
 G GAS  
 S SEWER  
 U UNDERGROUND CABLE  
 E UNDERGROUND ELECTRICAL  
 W WATER

**RC ZONING:**  
 LOT AREA: 5000 SF  
 WIDTH: 50 FEET  
 DEPTH: 10 FEET  
 MINIMUM SETBACKS:  
 FRONT: 20 FEET  
 SIDE MIN. TOTAL: 7/15 FEET  
 REAR: 20 FEET  
 COVERAGE: 40%  
 MAXIMUM HEIGHT: 40 / 3 STORIES

**R-2 ZONING:**  
 LOT AREA: 8000 SF  
 WIDTH: 60 FEET  
 DEPTH: 100 FEET  
 MINIMUM SETBACKS:  
 FRONT: 25 FEET  
 SIDE MIN. TOTAL: 8/20 FEET  
 REAR: 20 FEET  
 COVERAGE: 40%  
 MAXIMUM HEIGHT: 35 / 2.5 STORIES

**NOTES:**  
 1. AREA DETERMINED BY COORDINATES  
 2. BASED ON INTERPRETATION OF FEMA FLOOD INSURANCE RATE MAP NUMBER 4502C DATED 08/08/87. THE PROPERTY SHOWN HEREIN LIES IN FLOOD ZONE A (AREA OUTSIDE 500 YEAR FLOODPLAIN). THE ABSENCE OR PRESENCE OF U. S. ARMY CORPS OF ENGINEERS SUPPLEMENTAL METRAMS HAS NOT BEEN DETERMINED BY THIS SURVEY.  
 3. THERE IS NO GUARANTEE OR WARRANTY OF THE LOCATION OF UNIDENTIFIED OR BURIAL GROUNDS ON THIS PROPERTY.  
 4. SURFACE CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING SUBSURFACE GRAVE SITES THAT MAY AFFECT THE USE OR FURTHER DEVELOPMENT OF THIS PROPERTY.  
 5. UNDERGROUND UTILITY LINES SHOWN ON THIS SURVEY WERE LOCATED IN RESPONSE TO 58811 LOCATE NOTICE REQUESTS #180240738, #180240739, #180240784, AND #180240888

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

LEWIS E. SEABROOK  
 CIVIL ENGINEER & LAND SURVEYOR  
 S. C. REG. NO. 20966  
 P. O. BOX 96  
 MOUNT PLEASANT, S. C. 29502  
 (843) 684-4496

**E.M. SEABROOK**  
 Engineers & Surveyors  
 1037 Chapin Square West  
 Building # 1 Suite 200  
 Post Office Box 49  
 Mount Pleasant, SC 29405  
 Phone (843) 524-4498  
 www.emseabrook.com

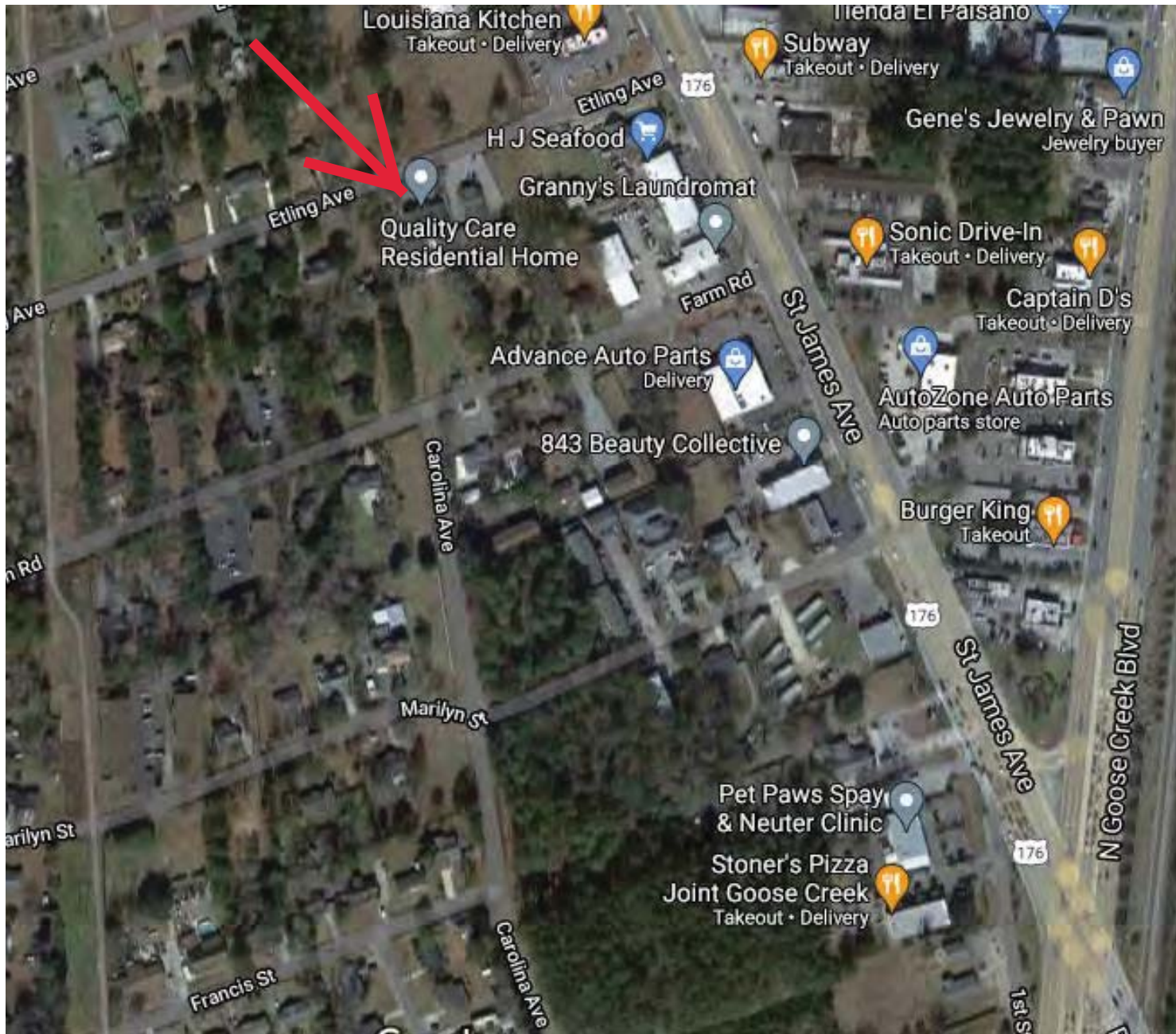
NGVD 29





**STREET VIEW PROVIDED BY GOOGLE FEBRUARY 2015**

Aerial Map





**SUBJECT PROPERTY**  
243-08-05-052

107

**Legend**

■ REZONE REQUEST

**GOOSE CREEK**

**Zoning Classifications**

- CO
- GC
- GI
- LI
- NC
- PD
- PD-MH
- R-1
- R-2
- R-3
- RC

— STREETS

**BERKELEY COUNTY**

- Berkeley



**REZONE REQUEST  
MAP**  
TMS#243-08-05-052  
GOOSE CREEK, SC

Produced by the City of Goose Creek Planning and Zoning Department. Information provided by Berkeley County GIS. Published 06-07-2021. www.cityofgoosecreek.com

# FUTURE LAND USE

## Legend

- Planning Area
- ▣ City Limits
- Conservation & Open Space
- Parks
- Low-Density Residential
- Moderate-Density Residential
- Village Node Mixed-use
- Employment District
- Commercial District
- Institutional