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**NEW BUSINESS: MAJOR APPLICATIONS**

2021-080 RENO

**HUCH FAMILY DENTISTRY**

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ARB SCOPE OF WORK FORM/

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

<b>Property Address:</b>		<b>TMS No.:</b> 243-070-5001
<b>Review request:</b> <input type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final	<b>For:</b> <input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations / Additions <input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other	<b>Preliminary meeting date requested:</b> 11/15/21 <input type="checkbox"/> Appeal Decision of Architectural Review Board

<b>Property Owner:</b> HUCH FAMILY DENTISTRY	<b>Daytime phone:</b> [REDACTED]
<b>Applicant:</b> CHRISTOPHER KARPUS	<b>Daytime phone:</b> [REDACTED]
<b>ARB Meeting Representative:</b> CHRISTOPHER KARPUS	<b>Contact Information:</b>
<b>Applicant's mailing address:</b> [REDACTED]	
<b>City:</b> [REDACTED]	<b>State:</b> [REDACTED] <b>Zip:</b> [REDACTED]
<b>Applicant's e-mail address:</b> [REDACTED]	
<b>Applicant's relationship:</b> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

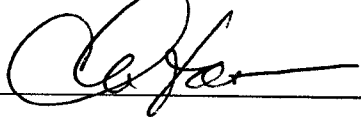
**Materials/Colors Used:** (specific color(s)/manufacture #'s listed: samples must be presented to Board  attached)  
(Example: Building Materials, Exterior Colors, Landscaping, Lighting)

- NO WORK BEING PERFORMED AT FRONT
- PORCH ENCLOSURE AT REAR
  - PAINTED TRIM TO MATCH EXISTING • SHERWIN WILLIAMS SW 2339 CONCORD BUFF
  - SIDING - VINYL ("KHAKI")
  - VENTED VINYL SOFFIT - WHITE

**Scope of Work:** (please give a detailed description)

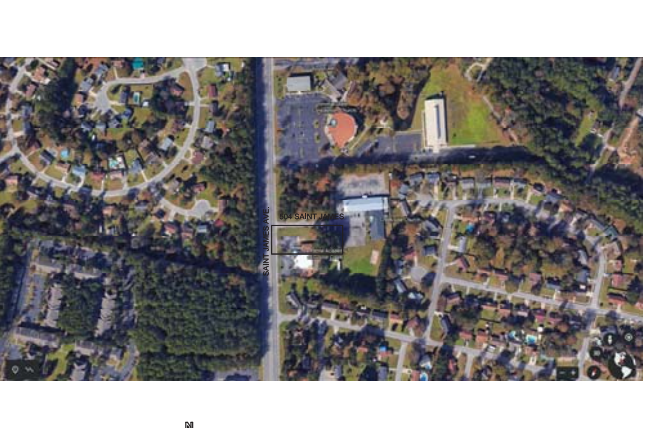
REAR PORCH ENCLOSURE - VINYL SIDING AND SOFFIT - PT WOOD STAIRS

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

**Applicant's signature:**  **Date:** 04 29, 2021

**Print name legibly:** CHRISTOPHER KARPUS

NO. OR #	NUMBER OR FOUND	ELEV.	ELEVATION	MFR	MANUFACTURER
&	AND		EQUIP.	MIN.	MINIMUM
@	AT		EQUAL SPACE	MTL.	METAL
A.B.	ANCHOR BOLT	EXIST.	EXISTING	NIC.	NOT IN CONTRACT
AFF	ABOVE FINISH FLOOR	EXP.	EXPANSION	NOM.	NOMINAL
ADJ.	ADJUSTABLE	EXT.	EXTERIOR	OC	ON CENTER
ALT.	ALTERNATE	F.O.D.	FLOOR DRAIN	O.H.	OPPOSITE HAND
ALUM.	ALUMINUM	FEC	FIRE EXTINGUISHER CABINET	P.T.	PRESSURE TREATED
ANODZ.	ANODIZED	F.O.B.	FACE OF BLOCK OR FACE OF BRICK	PLYWD.	PLYWOOD
APPROX.	APPROXIMATE	F.O.S.	FACE OF STUD	Q.T.	QUARRY TILE
ARCH.	ARCHITECTURAL	FV	FIELD VERIFY	R	RADIUS
BLDG	BUILDING	FD	FIRE DAMPER	R.D.	ROUGH DRAIN
BLK.	BLOCK	FE	FIRE EXTINGUISHER	R.O.	ROUGH OPENING
BRDG	BRIDGING	FF	FINISH FLOOR	RENIF.	REINFORCEMENT
CB	CATCH BASIN	FIN	FINISH	REQD.	REQUIRED
CJ	CONTROL JOINT	FLR.	FLOOR	RM.	ROOM
CT	CERAMIC TILE	FLUOR.	FLUORESCENT	SAB	SOUND ATTENUATION BATTS
CB	CATCH BASIN	FD.	FOUNDATION	S.S.	STAINLESS STEEL
CDX	TYPE OF WOOD	F.O.M.	FACE OF MASONRY	SIM.	SIMILAR
CLG.	CEILING	F.O.S.	FACE OF STUD	SPEC.	SPECIFICATIONS
CMU	CONCRETE MASONRY UNIT	FTG.	FOOTING	SQ.	SQUARE
CO	CASED OPENING	GA.	GALVE	STD.	STANDARD
COL.	COLUMN	GB	GALVANIZED	STL.	STEEL
CONC.	CONCRETE	GB	GRAB BAR	TEMP.	TEMPERED
CONST.	CONSTRUCTION	GL.	GLASS	THK.	THICKNESS
CONT.	CONTINUOUS	GWB	GYPSPUM WALL BOARD	T.O.J.	TOP OF JOIST
CORR	CORRIGATED	GYP	GYPSPUM	T.O.S.	TOP OF STEEL
CJ	CUBIC	HM	HOLLOW METAL	T.O.W.	TOP OF WALL
DF	DRINKING FOUNTAIN	HORIZ.	HORIZONTAL	TYP.	TYPICAL
DS	DOWNSPOUT	HT.	HEIGHT	U.L.	UNDERWRITERS LAB
DBL.	DOUBLE	HVAC	MECHANICAL	UNO	UNLESS NOTED OTHERWISE
DIA.	DIAMETER	INSUL.	INSULATION	V.B.	VAPOR BARRIER
DIM.	DIMENSION	INT.	INTERIOR	VCT.	VINYL COMPOSITION TILE
DNL.	DOWN	JAN.	JANITOR	VERT.	VERTICAL
DWG.	DRAWING	JST	JOIST	W.C.	WATER CLOSET
E.J.	EXPANSION JOINT	LAM	LAMINATE	WH.	WATER HEATER
E.O.F.	EDGE OF FRAME	LAV.	LAVATORY	W.W.F.	WELDED WIRE FABRIC
E.W.	EACH WAY	M.O.	MASONRY OPENING	W/	WITH
EWV.	ELECTRIC WATER COOLER	M.R.	MOISTURE RESISTANT	WD.	WOOD
ELEC.	ELECTRICAL	M.T.	METAL THRESHOLD		
		MAR	MARBLE		
		MAX.	MAXIMUM		



D3 VICINITY MAP  
SCALE: NTS

# Exterior Renovation To: HUCH FAMILY DENTISTRY

504 Saint James Ave.  
Berkeley County, South Carolina  
TMS 243-07-05-001

**INDEX OF SHEETS**

G0.0	COVER SHEET
A1.1	FLOOR PLANS
A2.1	EXTERIOR ELEVATIONS
A2.2	RENDERINGS

**D1 ABBREVIATIONS**

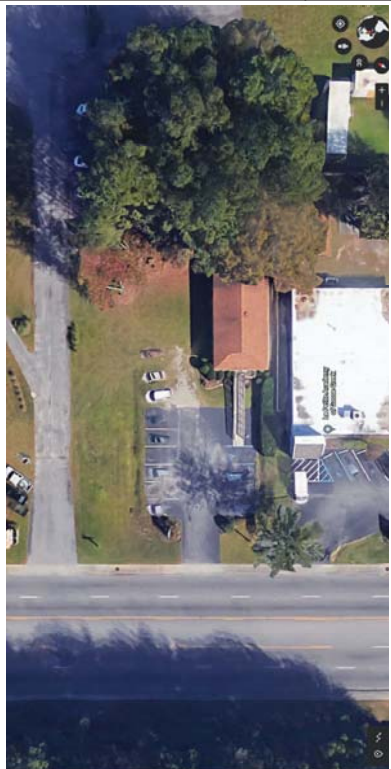
D1	ABBREVIATIONS
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**B1 LEGEND**

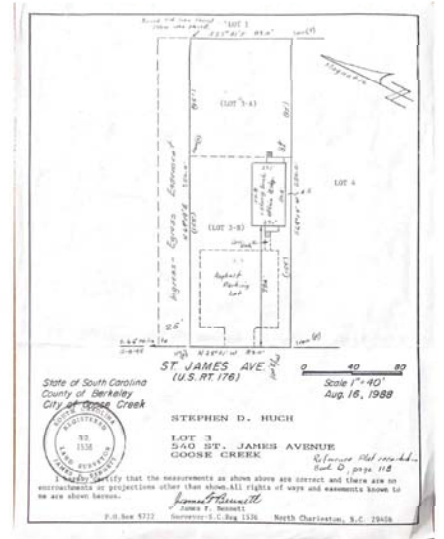
ROOM NAME	ROOM NAME & NUMBER
128	128
DETAIL NUMBER	DETAIL NUMBER
A1	A1
PLAN OR SECTION DETAIL	PLAN OR SECTION DETAIL
SHEET NO.	SHEET NO.
ROOM NUMBER	ROOM NUMBER
11	11
DOOR NUMBER, SEE SCHEDULE	DOOR NUMBER, SEE SCHEDULE
DOOR INDICATOR	DOOR INDICATOR
DETAIL NUMBER	DETAIL NUMBER
A2	A2
EXTERIOR ELEVATION DETAIL	EXTERIOR ELEVATION DETAIL
SHEET NO.	SHEET NO.
FE	FIRE EXTINGUISHER, TYPE ABC DRY CHEMICAL RECESSED CABINET
ILLUMINATED EXIT SIGN ABOVE	ILLUMINATED EXIT SIGN ABOVE

**GENERAL NOTES**

- FOR THE PURPOSE OF THESE DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS THE TERM "G.C." WILL REFER TO ITEMS PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR. THEIR SUBCONTRACTORS AND OR AGENTS. THE TERM "O.C." WILL REFER TO ITEMS PROVIDED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR. THE TERM "N.C." WILL REFER TO ITEMS NOT IN CONTRACT OR PROVIDED AND INSTALLED BY THE OWNER AND OR THEIR AGENTS.
- UNLESS NOTED OTHERWISE, ALL ITEMS ARE ASSUMED TO BE BY "G.C."
- ALL WORK TO BE PERFORMED SHALL COMPLY WITH ALL GOVERNING FEDERAL, STATE AND MUNICIPAL CODES AND ORDINANCES.
- DO NOT SCALE DRAWINGS
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY POSSIBLE CONFLICTS PRIOR TO INITIATING ANY WORK IN QUESTION.
- ALL CONTRACTORS AND SUB CONTRACTORS ARE TO REVIEW ARCHITECTS DRAWINGS AS WELL AS ENGINEERS DRAWINGS AND COORDINATE EACH WITH THEIR SPECIFIC FIELD. REFER ANY QUESTIONS OR CONFLICTS TO ARCHITECT BEFORE BEGINNING CONSTRUCTION
- GENERAL CONTRACTOR SHALL VERIFY EXISTENCE OF ALL UNDERGROUND UTILITIES AND PROTECT BEFORE BEGINNING WORK. GENERAL CONTRACTOR SHALL EMPLOY A LOCATION SERVICE AT HIS EXPENSE AND WILL BE RESPONSIBLE FOR ANY REPAIR NECESSARY AS A RESULT OF DAMAGES CAUSED BY CONSTRUCTION OPERATIONS.
- ANY REFERENCES TO STRUCTURAL REINFORCING IN THE ARCHITECTURAL DRAWINGS IS FOR REPRESENTATIONAL USE ONLY. SEE STRUCTURAL DRAWINGS FOR ALL REQUIRED REINFORCING



A4 AERIAL PHOTO OF SITE  
SCALE: NTS



A6 PLOT  
SCALE: NTS

**KARPUS DESIGN, LLC**  
P.O. Box 898  
Summersville, Ga., USA  
PH: 848.426.4108 Fax: 848.832.7331  
karpusdesign.com

**PROPERTY SERVICES**  
— LOTES —  
BY X MAP

Exterior Renovations to:  
**Huch Family Dentistry**  
504 Saint James Ave.  
Goose Creek, South Carolina

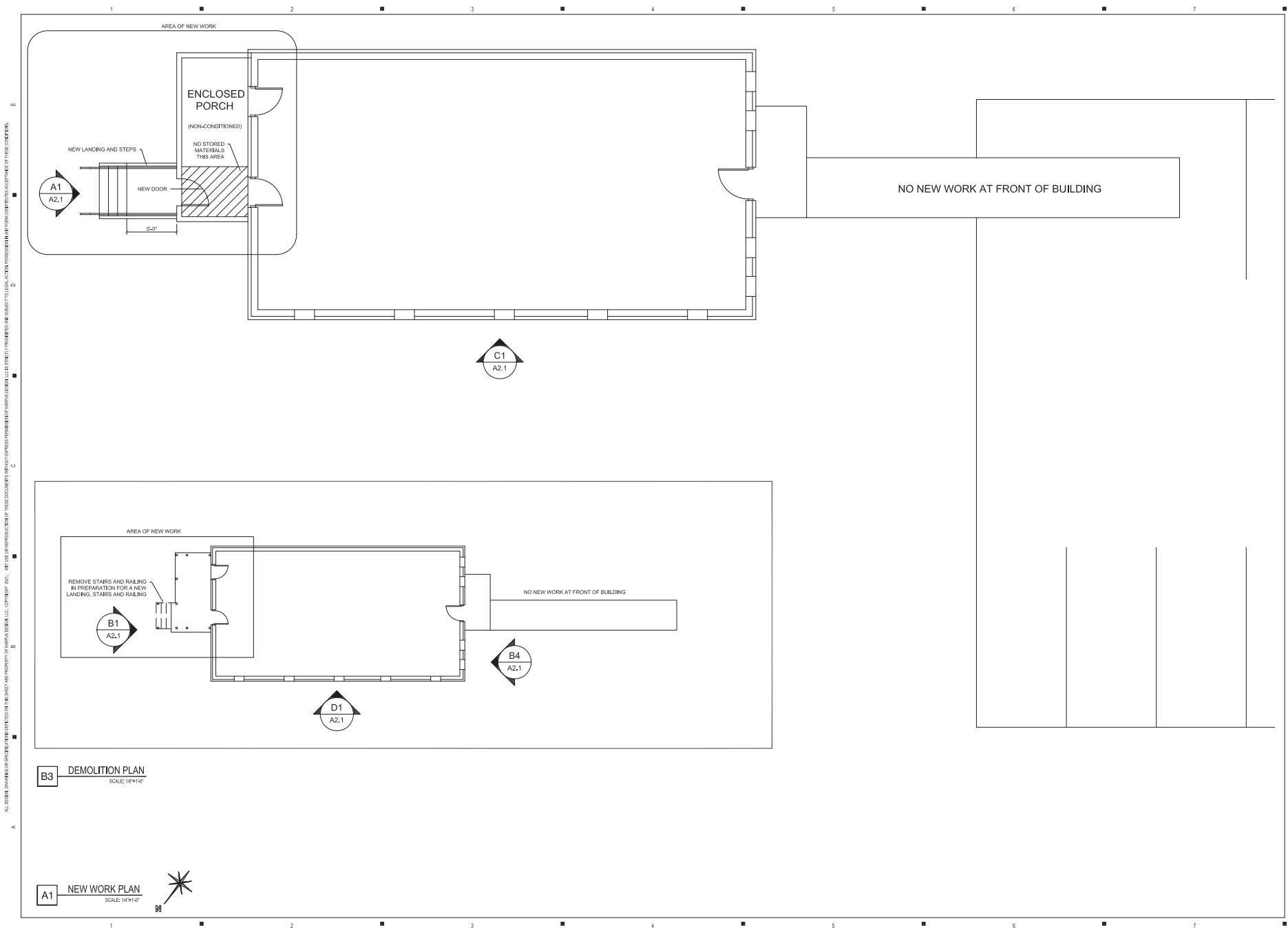
**ARB SUBMITTAL**

Rev.	Date	Description
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DRAWN BY: CMK  
CHECKED BY: CMK  
PROJECT NUMBER: 21011  
DATE: 10/29/21

SHEET TITLE:  
**COVER SHEET**

SHEET NUMBER:  
**G0.0**



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**B3** DEMOLITION PLAN  
SCALE: 1/8"=1'-0"

**A1** NEW WORK PLAN  
SCALE: 1/8"=1'-0"



**KARPUS DESIGN, LLC**  
 P.O. Box 986  
 Summerville, South Carolina, 29484  
 ph: 843.425.4124 | fax: 843.832.7331  
 karpusdesign.com



Exterior Renovations to:  
**Huch Family Dentistry**  
**504 Saint James Ave.**  
 Goose Creek, South Carolina

**ARB SUBMITTAL**

Rev.	Date	Description

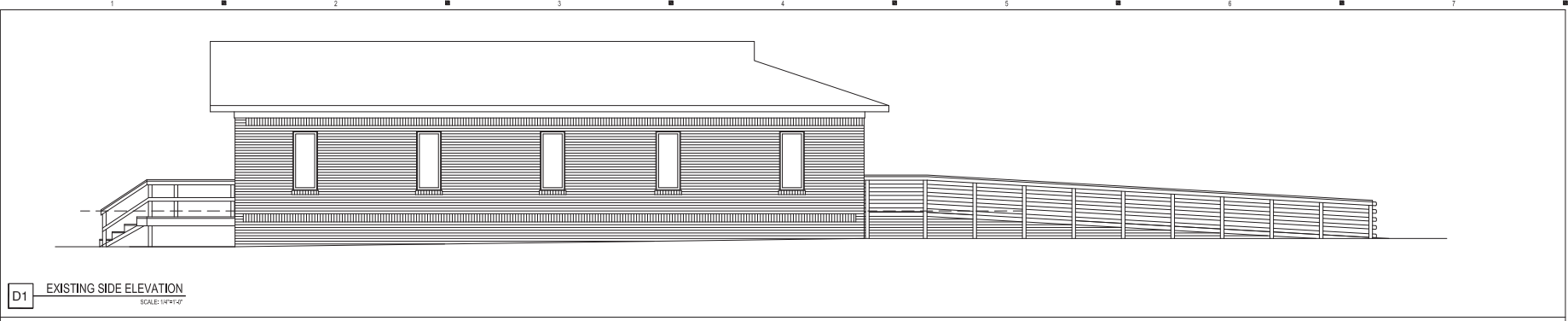
DRAWN BY: CMK  
 CHECKED BY: CMK  
 PROJECT NUMBER: 21011  
 DATE: 10/29/21

SHEET TITLE:  
**FLOOR PLANS**

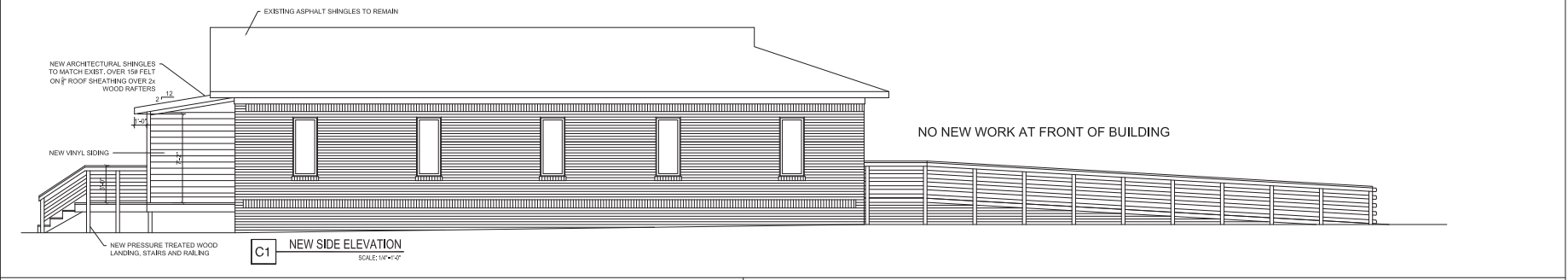
SHEET NUMBER:  
**A1.1**



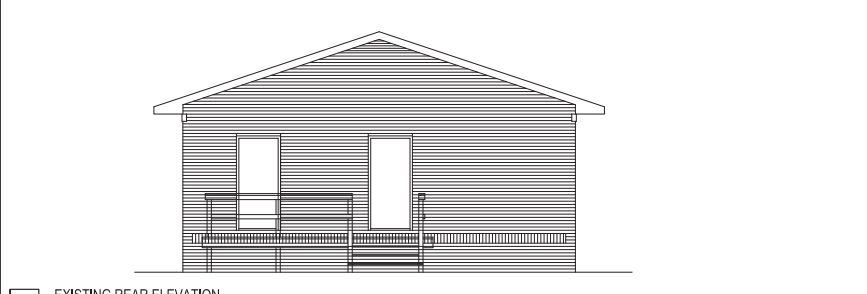
ALL DIMENSIONS UNLESS OTHERWISE NOTED OR INDICATED BY DIMENSION LINES. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2018 INTERNATIONAL BUILDING CODE (IBC). ANY USE OF THIS DOCUMENT FOR ANY OTHER PROJECT IS STRICTLY PROHIBITED AND SUBJECT TO LEGAL ACTION. PROSECCO DESIGN GROUP CONCEPTUAL ARCHITECTURE OF THESE CONCEPTS.



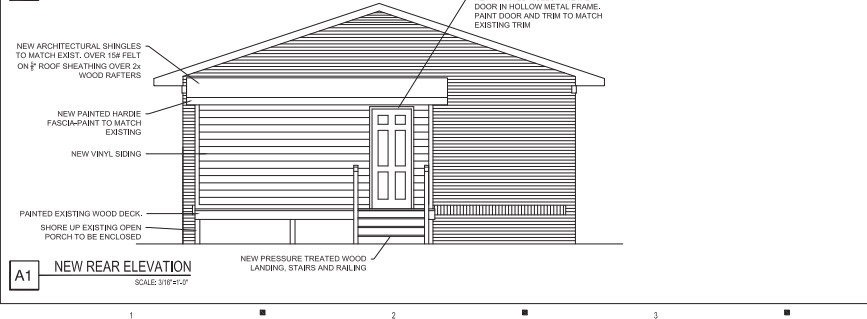
**D1** EXISTING SIDE ELEVATION  
SCALE: 1/4"=1'-0"



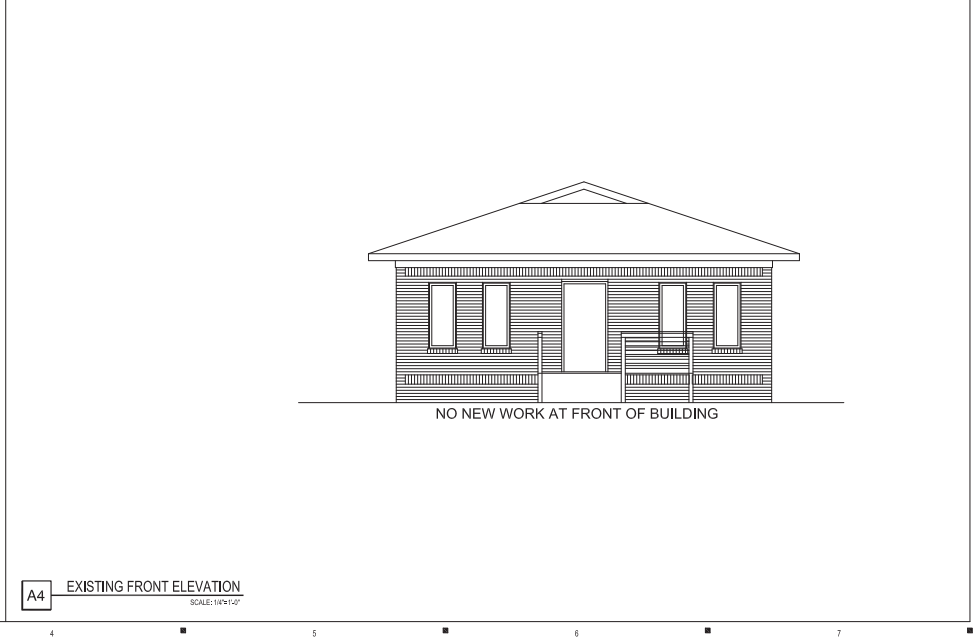
**C1** NEW SIDE ELEVATION  
SCALE: 1/4"=1'-0"



**B1** EXISTING REAR ELEVATION  
SCALE: 1/4"=1'-0"



**A1** NEW REAR ELEVATION  
SCALE: 3/16"=1'-0"



**A4** EXISTING FRONT ELEVATION  
SCALE: 1/4"=1'-0"

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EXIST. REAR PORCH



EXIST. SIDE ELEVATION

**E1** EXISTING EXTERIOR IMAGES  
SCALE: NTS



REAR PORCH ENCLOSURE



REAR PORCH ENCLOSURE

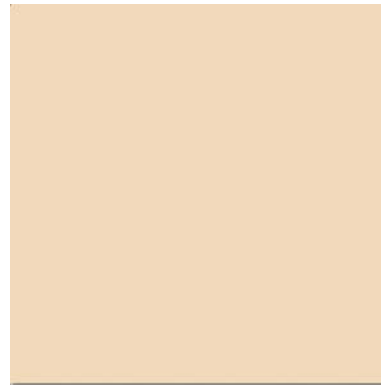
**A1** EXTERIOR RENDERINGS  
SCALE: NTS



PORCH VINYL SIDING COLOR: "KHAKI"



WHITE VINYL SOFFIT



Match of Sherwin Williams™ SW2339 Concord Buff \*

PAINTED FASCIA AND DOOR COLOR:  
SHERWIN WILLIAMS SW2339 "CONCORD BUFF"

**A4** FINISH COLORS



KARPUS DESIGN, LLC  
 P.O. Box 988  
 Summerville, South Carolina, 29484  
 ph: 843.425.4124 | fax: 843.832.7331  
 karpusdesign.com



Exterior Renovations to:  
**Huch Family Dentistry**  
 504 Saint James Ave.  
 Goose Creek, South Carolina

**ARB SUBMITTAL**

Rev.	Date	Description

DRAWN BY: CMK  
 CHECKED BY: CMK  
 PROJECT NUMBER: 21011  
 DATE: 10/29/21

**SHEET TITLE:**

RENDERINGS

**SHEET NUMBER:**

A2.2



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**NEW BUSINESS: MAJOR APPLICATIONS**

2021-081 NBLD

**GOOSE CREEK HEATING AND AIR**

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**ARB SCOPE OF WORK FORM /**

**APPLICATION / INFORMATION SUMMARY**

**DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118**

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

<b>Property Address:</b>		TMS No.: 243-09-02-003
<b>Review request:</b>	<b>For:</b>	Final <del>Preliminary</del> meeting date requested: Nov. 15, 2021
<input type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	

Property Owner: <b>Goose Creek Heating and Air, Inc.</b>	Daytime phone: [REDACTED]
Applicant: <b>Hoyt+Berenyi, LLC</b>	Daytime phone: [REDACTED]
ARB Meeting Representative: <b>Kyle Taylor, P.E.</b>	Contact Information: <b>Same as below</b>
Applicant's mailing address: [REDACTED]	
City: [REDACTED]	State: [REDACTED]   Zip: [REDACTED]
Applicant's e-mail address: [REDACTED]	
Applicant's relationship: <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

**Materials/Colors Used:** *(specific color(s)/manufacture #'s listed: samples must be presented to Board  attached)*  
*(Example: Building Materials, Exterior Colors, Landscaping, Lighting)*

Landscape materials provided on Landscape Drawings sheet L1.0-L2.0.

Architectural materials provided on sheet A4, A9 and sample boards.

**Scope of Work:** *(please give a detailed description)*

The Goose Creek Heating and Air Hamlet Circle project is situated on a 3.0 acre parcel, TMS #243-09-02-003 in the City of Goose Creek. The site is zoned Planned Development (PD) for commercial use, is currently mostly cleared with one (1) existing building, two (2) existing driveways with security fencing, utility services and formerly housed additional small buildings which have previously been demolished. Improvements include the construction of a new approx. 9,600 SF office/warehouse building, employee parking, stormwater pond BMP, and landscaping. The site currently has existing storm sewer infrastructure which is intended to remain with some modification to facilitate the proposed grades and new pond BMP. The project requires approx. 0.9 acres of disturbance and proposes an increase of approx. 0.6 acres of impervious area. The site is approx. 3,100 LF from an unnamed tributary to Bluehouse Swamp, and approx. 8,100 LF total to Bluehouse Swamp. The project involves no wetland impacts.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature:  Date: 10/18/2021

Print name legibly: Kyle A. Taylor





October 18, 2021

[via Email]

Lili Ortiz-Ludlum  
Administrative Assistant  
Planning & Zoning Department  
City of Goose Creek  
519 North Goose Creek Blvd  
Goose Creek, SC 29445

**RE: Goose Creek Heating and Air Hamlet Circle – City of Goose Creek  
TMS # 243-09-02-003  
Goose Creek ARB Submittal**

Dear Lili:

Attached please find in PDF format (1) 24"x36" Civil Plan Set, (1) 24"x36" Architectural Plan Set, (1) Goose Creek ARB Application, (1) Aerial Photos, (1) Adj. Property Photos, and (1) Architectural Rendering, hereby provided for Goose Creek ARB review. The next available meeting date is requested anticipated to be Nov. 15<sup>th</sup>, 2021.

The Goose Creek Heating and Air Hamlet Circle project is situated on a 3.0 acre parcel, TMS #243-09-02-003 in the City of Goose Creek. The site is zoned Planned Development (PD) for commercial use, is currently mostly cleared with one (1) existing building, two (2) existing driveways with security fencing, utility services and formerly housed additional small buildings which have previously been demolished. Improvements include the construction of a new approx. 9,600 SF office/warehouse building, employee parking, stormwater pond BMP, and landscaping. The site currently has existing storm sewer infrastructure which is intended to remain with some modification to facilitate the proposed grades and new pond BMP. The project requires approx. 0.9 acres of disturbance and proposes an increase of approx. 0.6 acres of impervious area.

Plans have been submitted to Berkeley County, SCDHEC and CWS concurrently for review. Submittal to the Crowfield ARB is forthcoming. Please review and comment as you see fit. If you have any questions, or require any additional information, please do not hesitate to contact me at (843) 870-7001, or via email at [KTaylor@HoytBerenyi.com](mailto:KTaylor@HoytBerenyi.com).

Sincerely,

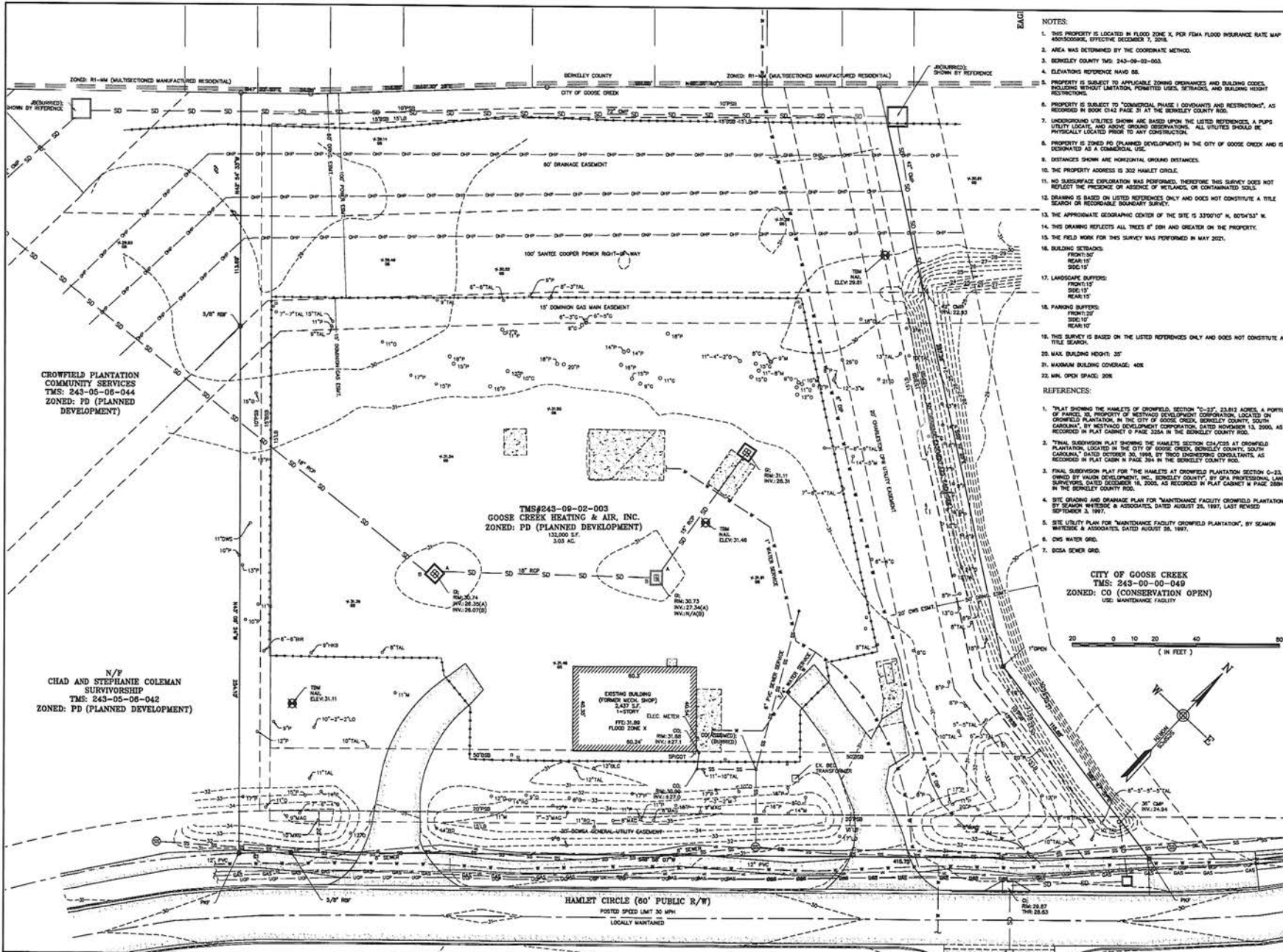
A handwritten signature in blue ink, appearing to read 'Kyle A. Taylor', is written over a white background.

Kyle A. Taylor, P.E.  
Senior VP of Engineering  
**Hoyt + Berenyi**  
[KTaylor@HoytBerenyi.com](mailto:KTaylor@HoytBerenyi.com)

Copy: 21-018







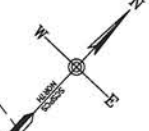
CROWFIELD PLANTATION  
COMMUNITY SERVICES  
TMS: 243-05-06-044  
ZONED: PD (PLANNED  
DEVELOPMENT)

N/Y/  
CHAD AND STEPHANIE COLEMAN  
SURVIVORSHIP  
TMS: 243-05-06-042  
ZONED: PD (PLANNED DEVELOPMENT)

TMS#243-09-02-003  
GOOSE CREEK HEATING & AIR, INC.  
ZONED: PD (PLANNED DEVELOPMENT)  
132,000 SF  
3.03 AC.

- NOTES:**
1. THIS PROPERTY IS LOCATED IN FLOOD ZONE X, PER FEMA FLOOD INSURANCE RATE MAP A0050000E, EFFECTIVE DECEMBER 7, 2015.
  2. AREA WAS DETERMINED BY THE COORDINATE METHOD.
  3. BERKELEY COUNTY TMS: 243-09-02-003.
  4. ELEVATIONS REFERENCED NAVD 83.
  5. PROPERTY IS SUBJECT TO APPLICABLE ZONING ORDINANCES AND BUILDING CODES, INCLUDING SETBACK LIMITATIONS, PERMITTED USES, SETBACKS, AND BUILDING HEIGHT RESTRICTIONS.
  6. PROPERTY IS SUBJECT TO "CONDOMINIUM PHASE I COVENANTS AND RESTRICTIONS", AS RECORDED IN BOOK C142 PAGE 31 AT THE BERKELEY COUNTY REG.
  7. UNDERGROUND UTILITIES SHOWN ARE BASED UPON THE LISTED REFERENCES, A PUPS UTILITY LOCATE, AND ABOVE GROUND OBSERVATIONS. ALL UTILITIES SHOULD BE PHYSICALLY LOCATED PRIOR TO ANY CONSTRUCTION.
  8. PROPERTY IS ZONED PD (PLANNED DEVELOPMENT) IN THE CITY OF GOOSE CREEK AND IS DESCRIBED AS A COMMERCIAL USE.
  9. DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
  10. THE PROPERTY ADDRESS IS 302 HAMLET CIRCLE.
  11. NO SUBSURFACE EXPLORATION WAS PERFORMED, THEREFORE THIS SURVEY DOES NOT REFLECT THE PRESENCE OR ABSENCE OF MTLANDS, OR CONTAMINATED SOILS.
  12. DRAWING IS BASED ON LISTED REFERENCES ONLY AND DOES NOT CONSTITUTE A TITLE SEARCH OR RECORDABLE BOUNDARY SURVEY.
  13. THE APPROXIMATE GEOGRAPHIC CENTER OF THE SITE IS 33°50'10" N, 80°45'33" W.
  14. THIS DRAWING REFLECTS ALL TREES 8" DBH AND GREATER ON THE PROPERTY.
  15. THE FIELD WORK FOR THIS SURVEY WAS PERFORMED IN MAY 2021.
  16. BUILDING SETBACKS:  
FRONT: 30'  
SIDE: 10'  
REAR: 10'
  17. LANDSCAPE BUFFERS:  
FRONT: 15'  
SIDE: 15'  
REAR: 15'
  18. PAVING BUFFERS:  
FRONT: 20'  
SIDE: 10'  
REAR: 10'
  19. THIS SURVEY IS BASED ON THE LISTED REFERENCES ONLY AND DOES NOT CONSTITUTE A TITLE SEARCH.
  20. MAX. BUILDING HEIGHT: 35'
  21. MAXIMUM BUILDING COVERAGE: 40%
  22. MIN. OPEN SPACE: 20%
- REFERENCES:**
1. "PLAT SHOWING THE HAMLETS OF CROWFIELD, SECTION "C-23", 23.817 ACRES, A PORTION OF PARCEL ID, PROPERTY OF WESTPAC DEVELOPMENT CORPORATION, LOCATED ON CROWFIELD PLANTATION, IN THE CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA", BY WESTPAC DEVELOPMENT CORPORATION, DATED NOVEMBER 13, 2006, AS RECORDED IN PLAT CABINET C PAGE 358 IN THE BERKELEY COUNTY REG.
  2. "FINAL SUBDIVISION PLAT SHOWING THE HAMLETS SECTION C/2/C3/A AT CROWFIELD PLANTATION, LOCATED IN THE CITY OF GOOSE CREEK, BERKELEY COUNTY, SOUTH CAROLINA, DATED OCTOBER 30, 1998, BY TROO ENGINEERING CONSULTANTS, AS RECORDED IN PLAT CABIN IN PAGE 394 IN THE BERKELEY COUNTY REG.
  3. FINAL SUBDIVISION PLAT FOR "THE HAMLETS AT CROWFIELD PLANTATION SECTION C-23, OWNED BY HAUS DEVELOPMENT, INC., BERKELEY COUNTY, BY SPA PROFESSIONAL LAND SURVEYORS, DATED DECEMBER 18, 2005, AS RECORDED IN PLAT CABINET W PAGE 259H IN THE BERKELEY COUNTY REG.
  4. SITE GRADING AND DRAINAGE PLAN FOR "MAINTENANCE FACILITY CROWFIELD PLANTATION", BY SEASON WETMORE & ASSOCIATES, DATED AUGUST 26, 1997, LAST REVISED SEPTEMBER 3, 1997.
  5. SITE UTILITY PLAN FOR "MAINTENANCE FACILITY CROWFIELD PLANTATION", BY SEASON WETMORE & ASSOCIATES, DATED AUGUST 26, 1997.
  6. C&S WATER GRID.
  7. BOSA SEWER GRID.

CITY OF GOOSE CREEK  
TMS: 243-09-00-049  
ZONED: CO (CONSERVATION OPRN)  
USE: MAINTENANCE FACILITY

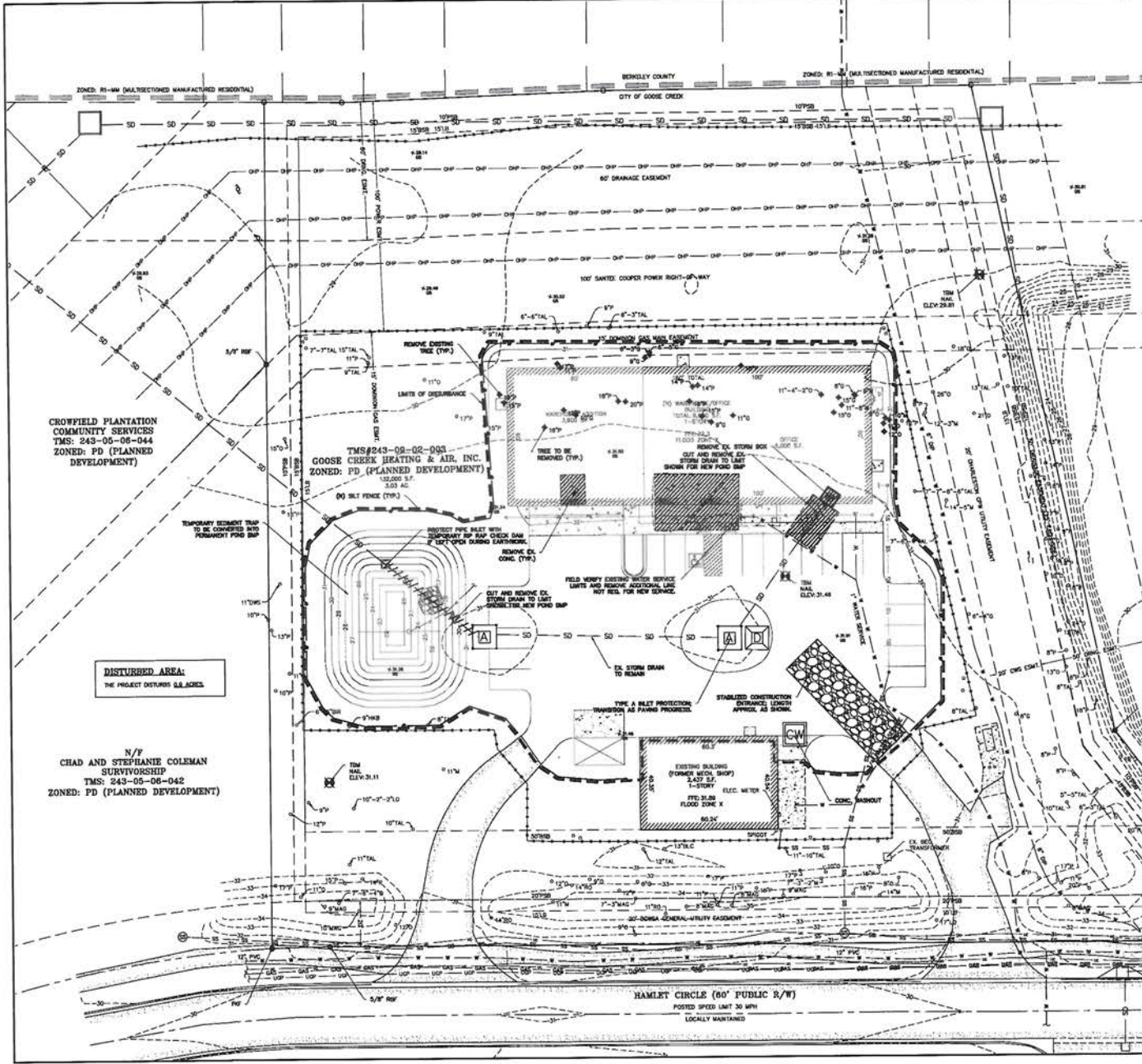


Goose Creek Heating and Air  
Hamlet Circle  
TMS: 243-09-02-003  
Goose Creek, SC

DATE	
DATE	
DATE	
DATE	
DATE	

DRAWN BY: Kyle A. Taylor, P.E.  
CHECKED BY: Kyle M. Neay, P.E.  
DATE: September 24, 2021  
PROJECT #: 21-018  
SCALE: 1" = 20'  
SHEET TITLE:  
Existing  
Conditions  
SHEET NUMBER:  
**C2.0**





**DEMOLITION NOTES**

1. THE CONTRACTOR IS ADVISED TO VISIT THE SITE AND VERIFY FIELD CONDITIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS, LICENSES AND PERMIT DRAWINGS HAVE BEEN OBTAINED FOR THE PERFORMANCE OF HIS JOB PRIOR TO CONSTRUCTION.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE BUILDING CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITY LOCATIONS.
4. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT WORK.
5. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF SITE. BURNING OF DEBRIS ON SITE IS PROHIBITED.
6. COORDINATE REMOVAL, ABANDONMENT, OR RELOCATION OF UTILITIES WITH UTILITY PROVIDER.
7. CONTRACTOR SHALL REMOVE OR CUT, CAP, AND FILL WITH NON-SHADE GROUT ALL UTILITIES PROPOSED FOR ABANDONMENT PRIOR TO DEMOLITION ACTIVITIES.

**SWPPP LEGEND**

DESCRIPTION	SYMBOL
SILT FENCE:	
TREE PROTECTION:	
TEMPORARY SEEDING:	
PERMANENT SEEDING:	
TYPE C - SURFACE COURSE CURB INLET FILTER:	
TYPE A - FABRIC INLET PROTECTION:	
TYPE D - ROAD PAVEMENT:	
STABILIZED CONSTRUCTION ACCESS:	
CONCRETE WASHOUT:	

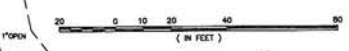
**EXISTING UTILITIES**

CONSIDERABLE EFFORT HAS BEEN TAKEN TO LOCATE EXISTING UTILITIES. DUE TO THE UNKNOWN BURIAL DEPTHS, THE CONTRACTOR SHALL EXERCISE CAUTION AND VERIFY UTILITY LOCATIONS PRIOR TO ABANDONMENT. IF UTILITIES COULD NOT BE LOCATED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ANY UTILITIES. THESE UTILITIES IDENTIFIED IN CONJUNCTION WITH PROPOSED IMPROVEMENTS, NOT SERVING ANY FUTURE PURPOSE, SHALL BE PROPERLY ABANDONED BY REMOVAL OR CAP/WELLS WITH GROUT. ALL UTILITIES SUCH AS COMMUNICATION, POWER, AND GAS SHALL BE COORDINATED WITH THE UTILITY PROVIDER.

**SWPPP NOTE**

THIS SHEET OUTLINES GENERAL EROSION AND SEDIMENT CONTROL REQUIREMENTS AND IS NOT PART OF A LARGER COMPREHENSIVE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE ENGINEER FOR A COPY OF THIS DOCUMENT, ANY REQUIRED PRE-CONSTRUCTION CONFERENCE, AND HOW THE SWPPP IS TO BE IMPLEMENTED BY THE CONTRACTOR, DURING CONSTRUCTION.

**CITY OF GOOSE CREEK**  
 TMS: 243-00-00-049  
 ZONED: CO (CONSERVATION OPEN)  
 USE: MAINTENANCE FACILITY



**HOYT + BERENY**  
 414 West 14th Street, Suite 200  
 Goose Creek, SC 29551  
 Phone: 803.791.1111  
 Website: www.hoytbereny.com

**Kyle A. Taylor, P.E.**  
 No. 27875  
 State of South Carolina

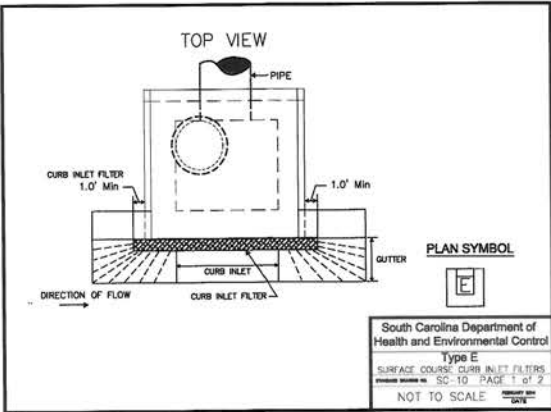
**Kyle M. Hux, P.E.**  
 No. 27875  
 State of South Carolina

Goose Creek Heating and Air  
 Hamlet Circle  
 Goose Creek, SC  
 TMS: 243-00-00-049

DRAWN BY: Kyle A. Taylor, P.E.	DATE: September 24, 2021
CHECKED BY: Kyle M. Hux, P.E.	PROJECT #: 21-018
SCALE: 1" = 20'	SHEET TITLE: Demo and SWPPP
SHEET NUMBER: <b>C3.0</b>	





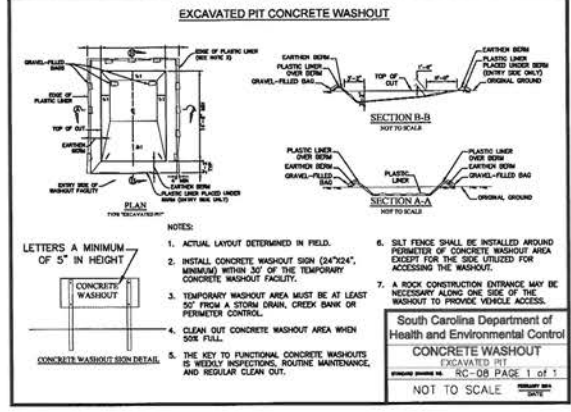


**SURFACE COURSE CURB INLET PROTECTION**

- GENERAL NOTES**
1. Only use surface curb inlet filters that have a minimum height or diameter of 3-inches and have a minimum length that is 2-feet longer than the length of the curb opening.
  2. Surface course inlet filters that are designed to completely block the inlet opening are prohibited. Acceptable inlet filters should allow for overflows to enter the catch basin.
  3. Surface course inlet filters should be constructed with a synthetic material that will allow stormwater to freely flow through while trapping sediment and debris.
  4. Straw, straw fiber, straw bales, pine needles and leaf mulch are not permissible filter materials.
  5. Each filter should have aggregate compartments for stone, sand, and other weighted materials or mechanisms to hold the unit in place. Fill aggregate compartments to a level (at least 1/2 full) to hold the filter in place and create a seal between the filter and the road surface.
  6. Use only Type E inlet filters appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #38, or filters that meeting the most current edition of the SC DOT Standard Specifications for Highway Construction.

- INSPECTION AND MAINTENANCE**
1. The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
  2. Regular inspections of all inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
  3. Attention to sediment accumulations in front of the inlet protection is extremely important. Accumulated sediment should be continuously monitored and removed when necessary.
  4. Remove accumulated sediment when soil and/or debris has built up around the filter preventing stormwater to flow through the filter.
  5. Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed areas. Stabilize the removed sediment after it is recovered.
  6. Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.

South Carolina Department of Health and Environmental Control  
**Type E**  
 SURFACE COURSE CURB INLET FILTERS  
 STANDARD NUMBER IS: SC-10 PAGE 2 OF 2  
 GENERAL NOTES



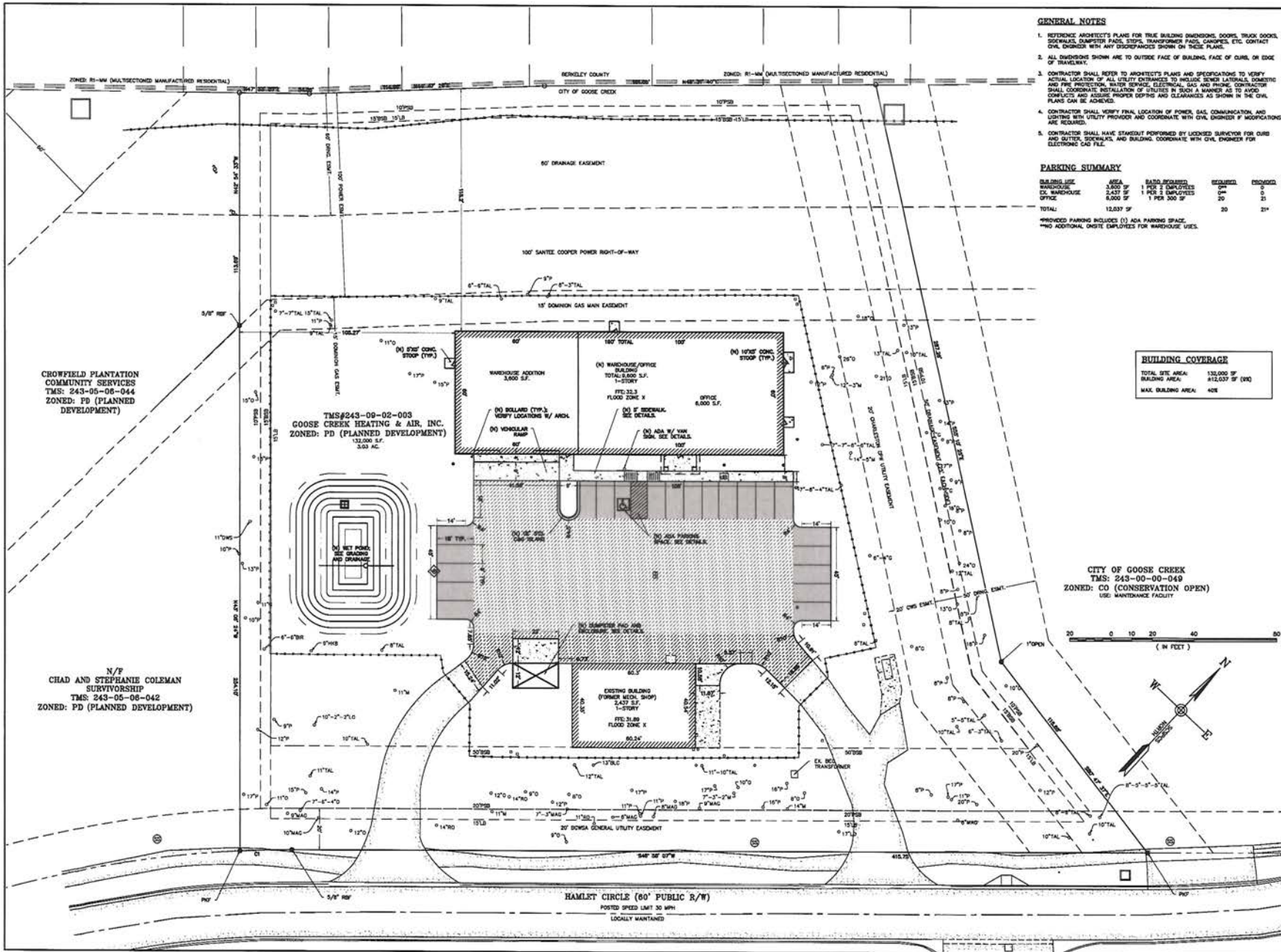
**HOYT + BERENYI**  
 200 Blue Hill Road, Suite 207, Jantux, SC 29524  
 TEL: 803-394-8800 | WWW.HOYTBERENYI.COM

Goose Creek Heating and Air  
 Hamlet Circle  
 TMS 0413-08-02-003  
 Goose Creek, SC

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DRAWN BY: Kyle A. Taylor, P.E.  
 CHECKED BY: Kyle M. Hoyt, P.E.  
 DATE: September 24, 2021  
 PROJECT #: 21-018  
 SCALE: As Noted  
 SHEET TITLE:  
**Demo and SWPPP Details**  
 SHEET NUMBER:  
**C3.2**





**GENERAL NOTES**

1. REFERENCE ARCHITECT'S PLANS FOR TRUE BUILDING DIMENSIONS, DOORS, TRUCK DOORS, SCHEDULES, DAMPERS, PANELS, SLOPS, TRANSFORMER PANS, CONCRETE, ETC. CONTACT CIVIL ENGINEER WITH ANY DISCREPANCIES SHOWN ON THESE PLANS.
2. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF BUILDING, FACE OF CURB, OR EDGE OF TRAVELWAY.
3. CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS TO VERIFY ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SEWER, LATERALS, DOMESTIC AND FIRE PROTECTION, WATER SERVICE, ELECTRICAL, GAS AND PHONE. CONTRACTOR SHALL COORDINATE INSTALLATION OF STRUCTS IN SUCH A MANNER AS TO AVOID COLLISIONS AND ASSURE PROPER DEPTHS AND CLEARANCES AS SHOWN IN THE CIVIL PLANS CAN BE ACHIEVED.
4. CONTRACTOR SHALL VERIFY FINAL LOCATION OF POWER, GAS, COMMUNICATION, AND LIGHTING WITH UTILITY PROVIDER AND COORDINATE WITH CIVIL ENGINEER IF MODIFICATIONS ARE REQUIRED.
5. CONTRACTOR SHALL HAVE STAKEOUT PERFORMED BY LICENSED SURVEYOR FOR CURB AND OUTER, SIDEWALKS, AND BUILDING. COORDINATE WITH CIVIL ENGINEER FOR CURB AND ELECTRONIC CAD FILE.

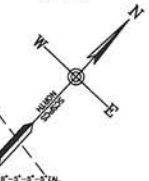
**PARKING SUMMARY**

BUILDING USE	AREA	REQUIREMENTS	REQUIRED	PROVIDED
WAREHOUSE	3,000 SF	1 PER 2 EMPLOYEES	0*	0
EX. WAREHOUSE	3,437 SF	1 PER 2 EMPLOYEES	0*	0
OFFICE	6,000 SF	1 PER 300 SF	20	21
<b>TOTAL:</b>	<b>12,037 SF</b>		<b>20</b>	<b>21*</b>

\*PROVIDED PARKING INCLUDES (1) ADA PARKING SPACE.  
\*\*NO ADDITIONAL OFFICE EMPLOYEES FOR WAREHOUSE USES.

BUILDING COVERAGE	
TOTAL SITE AREA:	132,000 SF
BUILDING AREA:	812,037 SF (0.0)
MAX. BUILDING AREA:	426

CITY OF GOOSE CREEK  
TMS: 243-09-00-049  
ZONED: CO (CONSERVATION OPEN)  
USE: MAINTENANCE FACILITY



HOYT+BERENYI  
P.O. Box 1478, Landon, SC 29424  
Tel: 803-225-7000 | www.hoytberenyi.com

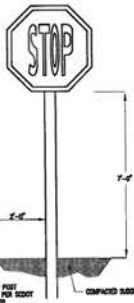


GOOSE CREEK HEATING AND AIR  
HAMLET CIRCLE  
TMS #243-09-02-003  
GOOSE CREEK, SC

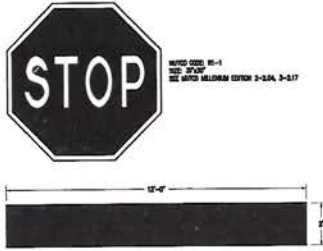
DRAWN BY: Kyle A. Taylor, P.E.  
CHECKED BY: Kyle M. Hoyt, P.E.  
DATE: September 24, 2021  
PROJECT #: 21-616  
SCALE: 1" = 20'  
SHEET TITLE: Site Plan

SHEET NUMBER:

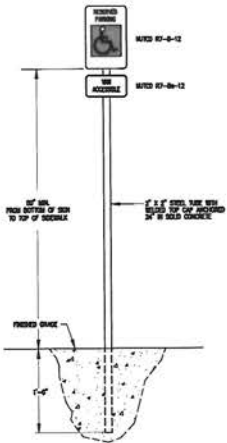
**C4.0**



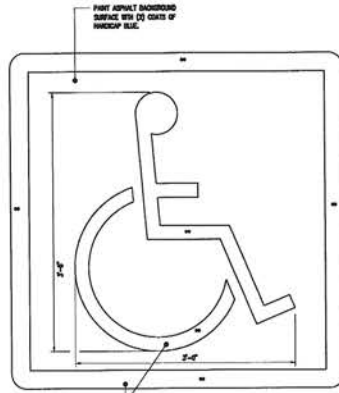
**STOP SIGN DETAIL**  
NOT TO SCALE



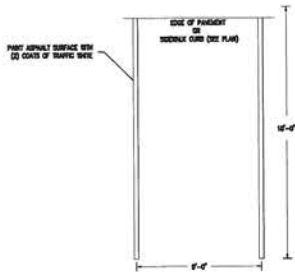
**STOP BAR**  
NOT TO SCALE



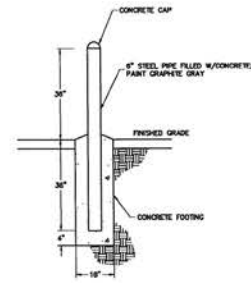
**ADA SIGN DETAIL**  
NOT TO SCALE



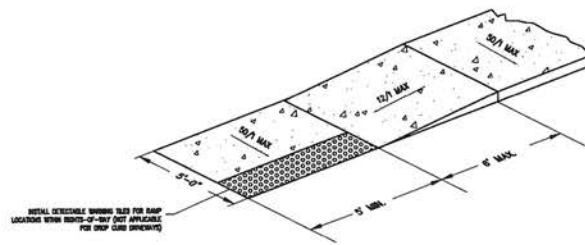
**ADA PARKING SPACE SYMBOL DETAIL**  
NOT TO SCALE



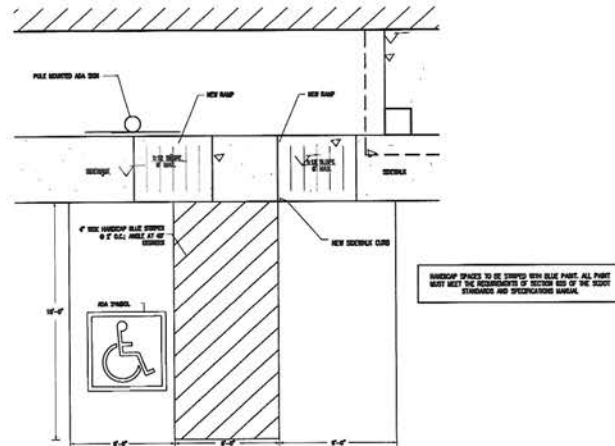
**TYPICAL PARKING SPACE**  
NOT TO SCALE



**BOLLARD**  
NOT TO SCALE



**RAMP DETAIL**  
NOT TO SCALE



**ADA PARKING DETAIL**  
SCALE: 1/2" = 1'-0"

**H3**  
**HOYT + BERENYI**  
315 East 4th Street, Suite 200  
COLUMBIA, SC 29201  
www.hoytberenyi.com

**SOUTH CAROLINA**  
**HOYT + BERENYI**  
No. 2763  
REGISTERED PROFESSIONAL ENGINEERS

**SOUTH CAROLINA**  
**HOYT + BERENYI**  
No. 2763  
REGISTERED PROFESSIONAL ARCHITECTS

GOOSE CREEK HEATING AND AIR  
HAMLET CIRCLE  
GOOSE CREEK, SC 29551  
TEL: 803.781.1111  
WWW.GOOSECREEKHEATINGANDAIR.COM

NO.	DATE	DESCRIPTION

SHEET NUMBER: **C4.1** OF 14



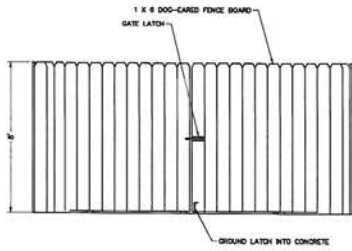
Goose Creek Heating and Air  
 Hamlet Circle  
 TNS #245.00.00.003  
 Goose Creek, SC

NO.	DESCRIPTION	DATE	BY

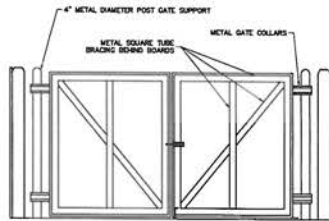
DRAWN BY: Kyle A. Taylor, P.E.  
 CHECKED BY: Kyle M. Hoyle, P.E.  
 DATE: September 24, 2021  
 PROJECT # 21-018  
 SCALE: As Noted  
 SHEET TITLE:  
 Site Plan  
 Details  
 SHEET NUMBER:

**C4.2** of 10

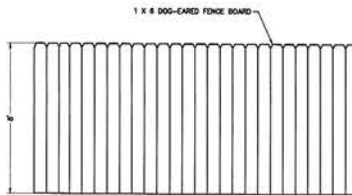
NOTE: FINISHED SIDE OF FENCE BOARD TO FACE OUT.



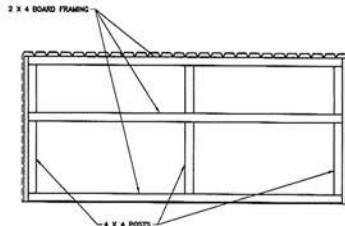
GATE SECTION VIEW



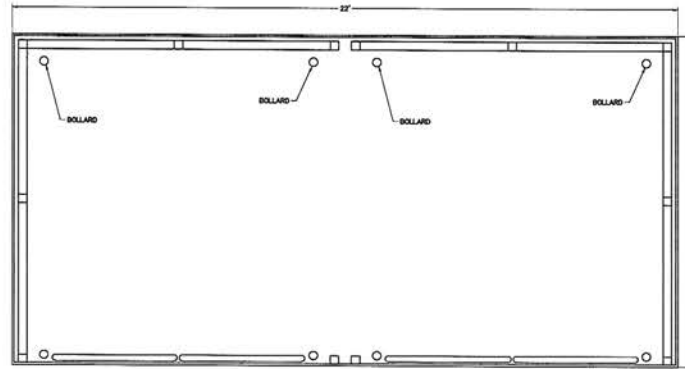
GATE FRAMING BEYOND



TYPICAL SECTION VIEW



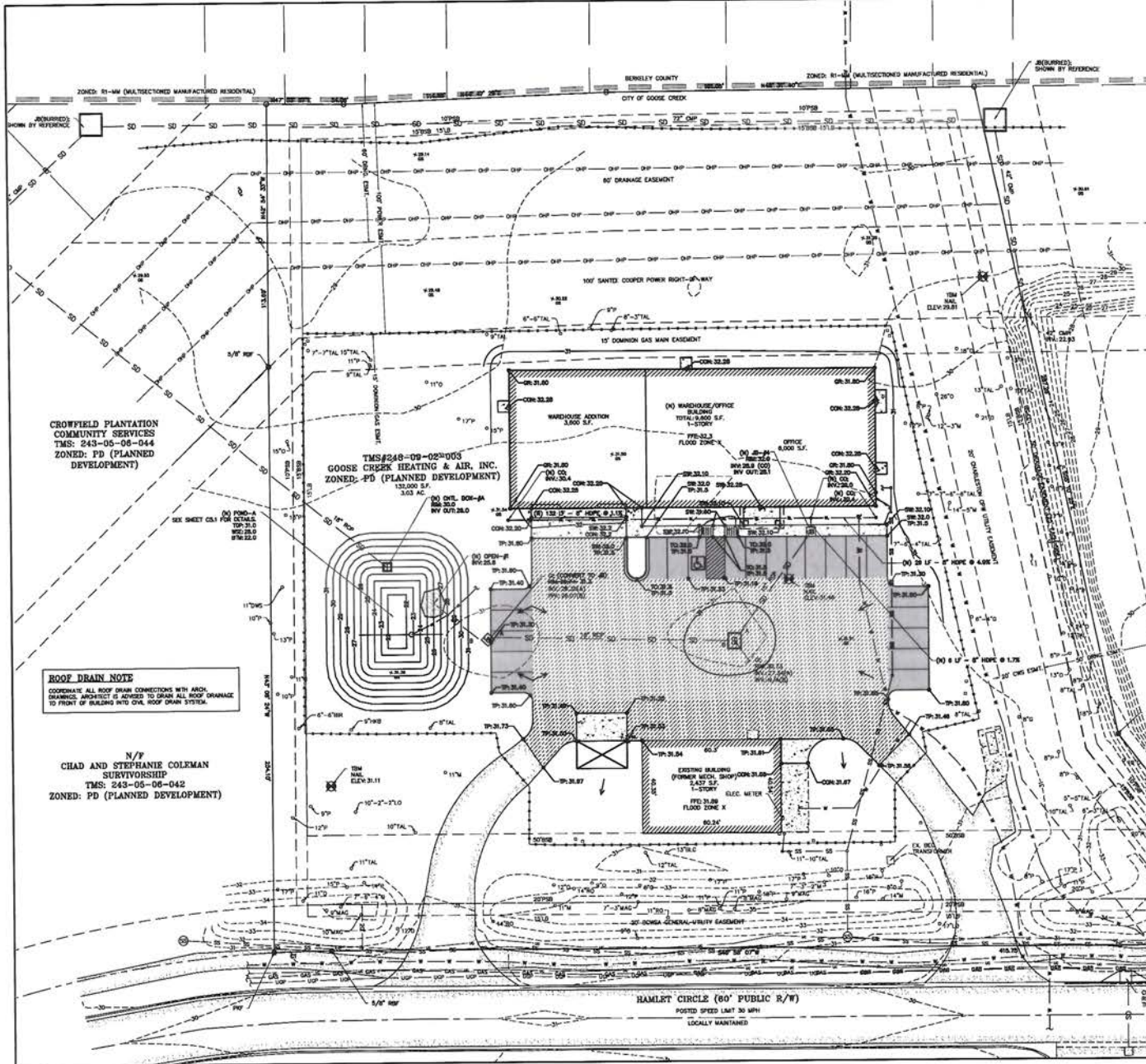
TYPICAL FRAMING BEYOND



PLAN VIEW

DUMESTER ENCLOSURE  
See Note





- GENERAL NOTES**
1. INSTALL STANDARD 18" CURB AND BUTTER PER CIVIL DETAILS UNLESS OTHERWISE NOTED. WHERE OTHER CURB IS NOTED OR IS EXISTING, ENSURE A GRADUAL TRANSITION BETWEEN CURB TYPES.
  2. ALL NEW STORM DRAINAGE PIPING SHALL BE CLASS B 8" RING JOINT ROP UNLESS OTHERWISE NOTED.
  3. 18" MINIMUM COVER SHALL BE PROVIDED AT ALL UTILITY CROSSINGS.
  4. CONTRACTOR SHALL COORDINATE ALL SITE UTILITIES AND STORM DRAINAGE INSTALLATION SCHEDULES TO AVOID POTENTIAL UTILITY CONFLICTS. GRAVITY DEPENDENT UTILITIES SHALL BE INSTALLED PRIOR TO NON-GRAVITY DEPENDENT UTILITIES.
  5. CONTRACTOR SHALL REMOVE SEDIMENT AND DEBRIS FROM ALL EXISTING AND PROPOSED STORM DRAINAGE STRUCTURES AND PIPES SHOWN WITHIN PROPERTY PRIOR TO PROJECT CLOSEOUT.
  6. CONTRACTOR SHALL PROVIDE STORMWATER AS-BUILTS PRIOR TO PROJECT CLOSEOUT.
  7. SEE SHEET C5.1 FOR POND SECTION, DESIGN STORM ELEVATIONS, AND CONTROL STRUCTURE DETAILS.
  8. ALL NEW GRATE INLETS (G) TO BE 24"x30".

**CLOSE OUT NOTE**

UPON COMPLETION OF CONSTRUCTION, THE OWNER SHALL PROVIDE THE ENGINEER AND GOSPEL COUNTY STORMWATER WITH AN AS-BUILT OF THE COMPLETED STORM DRAINAGE SYSTEM, AND ENSURE THE SITE IS STABILIZED IN ACCORDANCE WITH SCSDSFC AND COUNTY REQUIREMENTS. OWNER IS RESPONSIBLE FOR REQUESTING CLOSEOUT INSPECTION IN ACCORDANCE WITH COUNTY STORMWATER DESIGN MANUAL.

**PRE/POST AREA TABULATION**

TOTAL SITE AREA	= 3.03 AC
<b>DEVELOPMENT</b>	
PERVIOUS AREA	= 2.83 ACRES (8.7%)
IMPERVIOUS AREA	= 0.20 ACRES (6.7%)
<b>PAVED DEVELOPMENT</b>	
PERVIOUS AREA	= 2.35 ACRES (78.7%)
IMPERVIOUS AREA	= 0.78 ACRES (25.7%)

**PAVING LEGEND**

	CONCRETE
	STANDARD DUTY ASPHALT
	HEAVY DUTY ASPHALT (MIN. LIMITS SHOWN)

CITY OF GOOSE CREEK  
 TMS: 243-00-00-049  
 ZONED: CO (CONSERVATION OPEN)  
 USE: MAINTENANCE FACILITY

20 0 10 20 40 80  
 (IN FEET)

CROWFIELD PLANTATION  
 COMMUNITY SERVICES  
 TMS: 243-05-08-044  
 ZONED: PD (PLANNED DEVELOPMENT)

TMS: 248-09-02-003  
 GOOSE CREEK HEATING & AIR, INC.  
 ZONED: PD (PLANNED DEVELOPMENT)  
 133,000 S.F.  
 3.03 AC.

**ROOF DRAIN NOTE**

COORDINATE ALL ROOF DRAIN CONNECTIONS WITH ARCH. DRAWINGS. ARCHITECT IS ADVISED TO DRAIN ALL ROOF DRAINAGE TO FRONT OF BUILDING INTO CIVIL DRAIN SYSTEM.

N/F  
 CHAD AND STEPHANIE COLEMAN  
 SURVIVORSHIP  
 TMS: 243-05-06-042  
 ZONED: PD (PLANNED DEVELOPMENT)

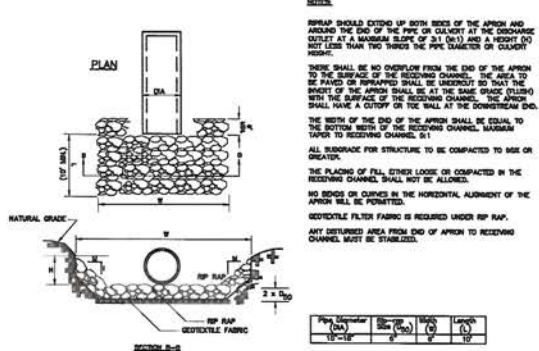
HAMLET CIRCLE (80' PUBLIC R/W)  
 POSTED SPEED LIMIT 30 MPH  
 LOCALLY MAINTAINED



Goose Creek Heating and Air  
 Hamlet Circle  
 Goose Creek, SC  
 TMS: 243-00-00-003

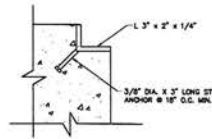
DESIGNED BY	John A. Taylor, P.E.
CHECKED BY	John M. Taylor, P.E.
DATE	September 24, 2021
PROJECT #	21-011
SCALE	As noted
SHEET TITLE	Paving, Grading and Drainage
SHEET NUMBER	C5.0



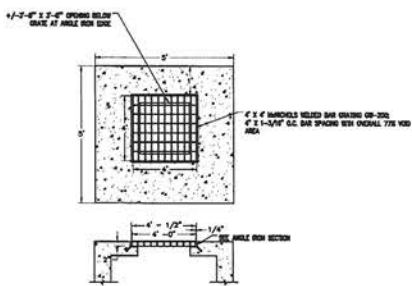


RIPPRAP APRON AT PIPE OUTLETS  
NOT TO SCALE

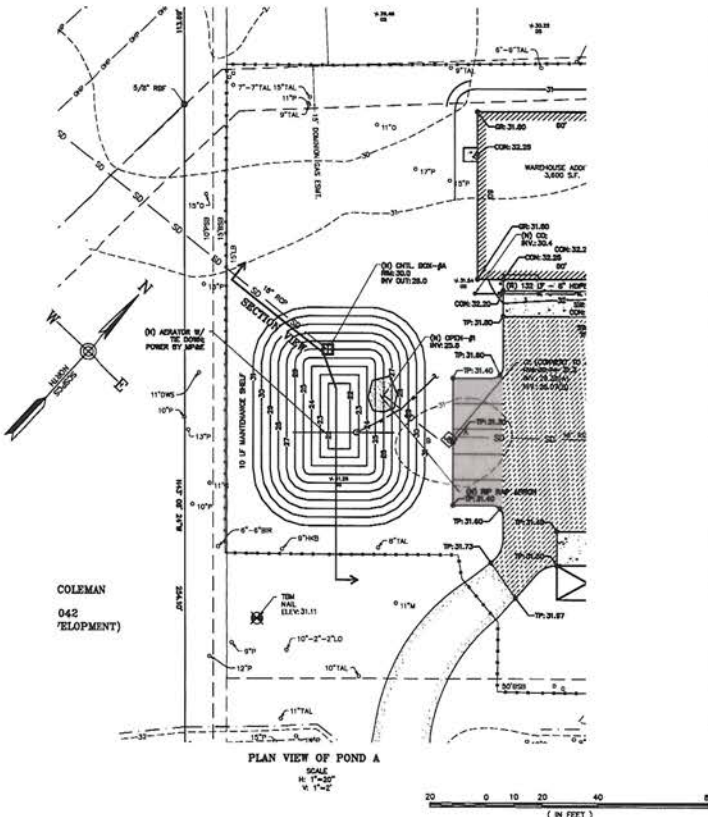
- POST CONSTRUCTION STORMWATER MAINTENANCE PLAN**
1. ALL GRASSED/PLANTED AREAS SHALL BE MAINTAINED IN A MANNER TO PROVIDE VEGETATIVE COVER BUT NOT IMPAIR THE FUNCTION OF THE OUTLET STRUCTURES OR STORMWATER DEVICES. THIS MAY INCLUDE PESTICIDE/TREATMENT MANAGEMENT, VOLUNTARY SHRUB TREE REMOVAL, MONTHLY MOWING OF GRASSED AREAS MINIMAL, ETC.
  2. MONITOR ONSET EROSION SEMI-ANNUAL MINIMUM. REPAIR UNDERLYING OR ERODED AREAS AS NECESSARY.
  3. TRASH TO BE REMOVED FROM WITHIN AND AROUND POND ON A WEEKLY BASIS.
  4. POND BANKS, BOTTOM, OUTLET STRUCTURE AND OUTLET PIPE TO BE CLEANED, INSPECTED, AND REPAIRED (IF NECESSARY) WITHIN 24 HOURS OF A STORM EVENT.
  5. SEDIMENT ACCUMULATION WITHIN THE POND SHALL BE INSPECTED AT LEAST ONCE PER YEAR. SEDIMENT ACCUMULATION GREATER THAN 4" IN ANY AREA SHALL REQUIRE CLEANING AND RE-ESTABLISHMENT OF DESIGN GRADE ELEVATIONS. OWNER SHALL MAINTAIN RECORD OF YEARLY INSPECTION AND ANY CLEANING PERFORMED.
  6. CONTROL STRUCTURE IS TO BE INSPECTED ROUTINELY TO ENSURE IT REMAINS UNLOCKED.



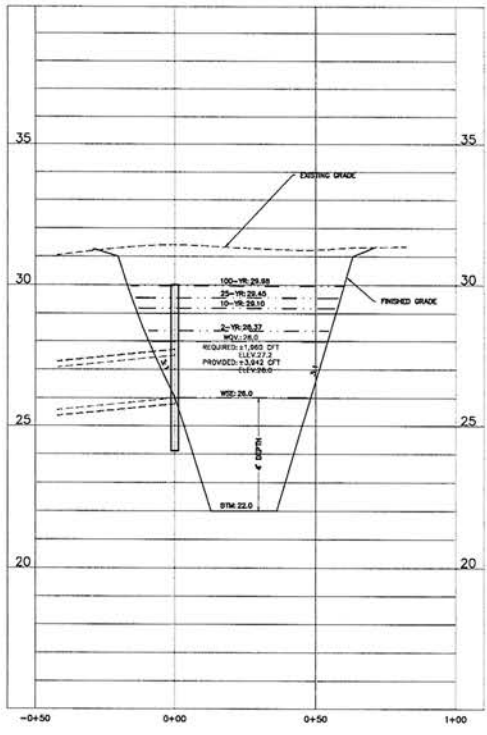
ANGLE IRON SECTION  
NOT TO SCALE



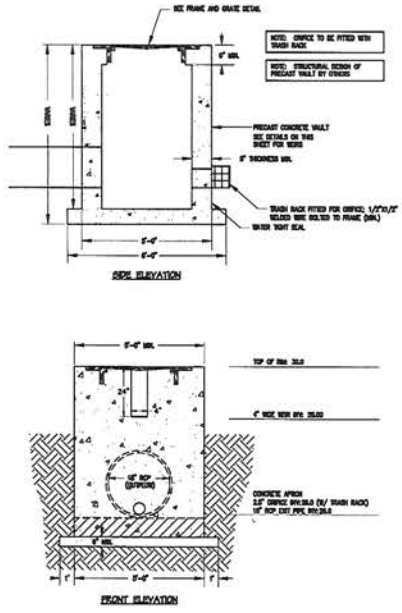
CONTROL STRUCTURE TYPICAL FRAME AND GRATE  
NOT TO SCALE



PLAN VIEW OF POND A  
SCALE: H: 1"=20' V: 1"=2'



SECTION VIEW OF POND A  
SCALE: H: 1"=20' V: 1"=2'



POND A CONTROL STRUCTURE  
NOT TO SCALE



Goose Creek Heating and Air  
Hamlet Circle

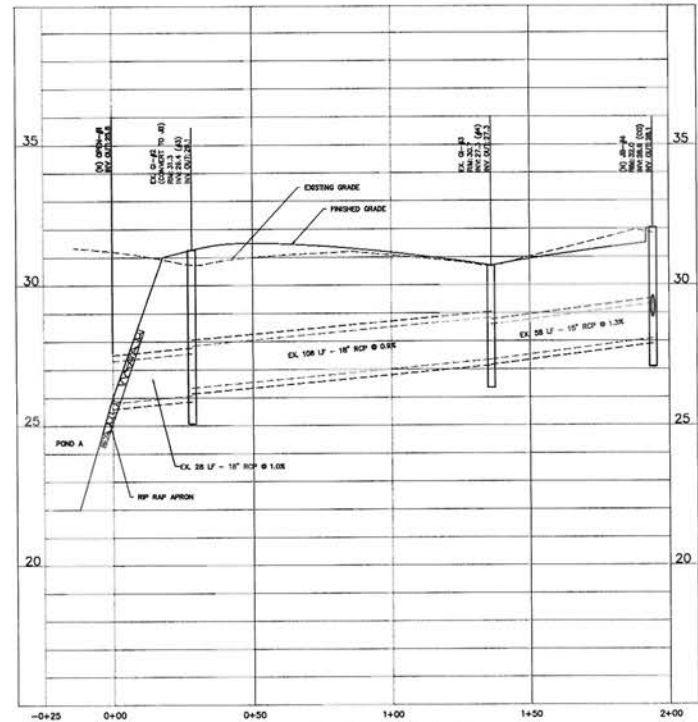
TRAC 4618 00-00-003  
Goose Creek, SC

NO.	DESCRIPTION
1	DATE
2	DATE
3	DATE
4	DATE
5	DATE
6	DATE
7	DATE
8	DATE
9	DATE
10	DATE

DRAWN BY: Kyle A. Taylor, P.E.  
CHECKED BY: Kyle M. Hoyt, P.E.  
DATE: September 24, 2021  
PROJECT #: 21-018  
SCALE: As Noted

SHEET TITLE: Stormwater Pond Details

SHEET NUMBER: C5.1



PROFILE VIEW OF STORM #1-#4  
SCALE  
H: 1"=20  
V: 1"=2



**HOYT • BERENYI**  
Professional Engineers, Inc.  
101 West Lake Street, Suite 200  
Greenville, SC 29601



GOOSE CREEK HEATING AND AIR  
HAMLET CIRCLE  
GOOSE CREEK, SC  
TMS 6245-09-02-003

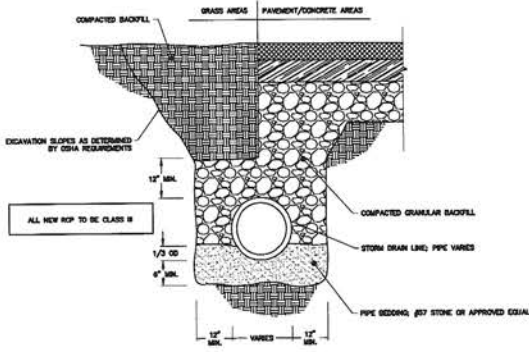
NO.	DATE	REVISION

DESIGNED BY: Mike A. Taylor, P.E.  
CHECKED BY: Kyle M. Price, P.E.  
DATE: September 24, 2011  
PROJECT #: 24-018  
SCALE: As Noted  
SHEET TITLE:  
**Storm Drainage Profiles**

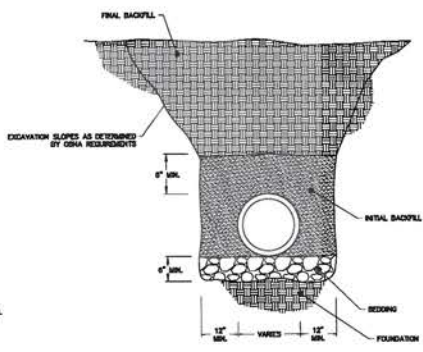
SHEET NUMBER:  
**C5.2**  
OF 10





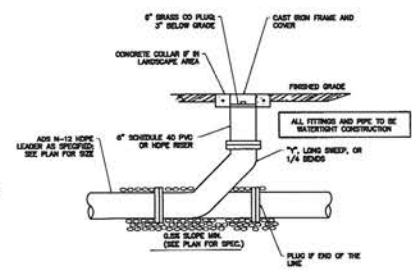


**STORM TRENCH DETAIL**  
NOT TO SCALE

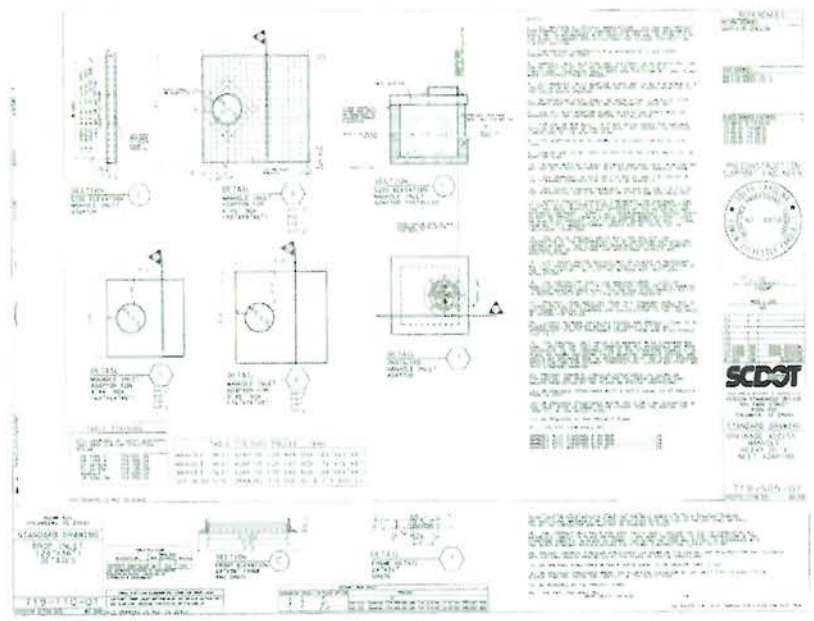
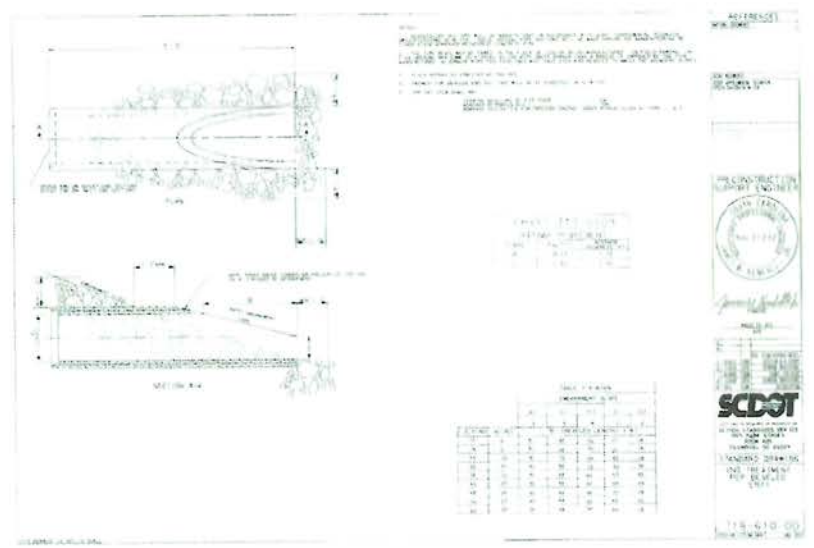


**ADS N-12 PIPE TRENCH DETAIL**  
NOT TO SCALE

- NOTES**
- ADS N-12 SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2231.
  - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER FOR PROPER EXCAVATION DEPTH OR FOUNDATION IMPROVEMENT.
  - DESIGNED SUITABLE MATERIAL SHALL BE CLASS L, S, OR H, AS INSTALLED PER THIS SPEC.
  - SMALL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS L, S, OR H IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE THE CROWN OF THE PIPE. INSTALL PER ASTM D2231.
  - SMALLER SIZES: MINIMUM COVER IS 12" FOR PIPE DIAMETERS UP TO 48", AND 24" FOR PIPE DIAMETERS UP TO 60".
  - CONTRACTOR SHALL FOLLOW PIPE MANUFACTURER'S SPECIFICATIONS FOR PIPE INSTALLATION. COORDINATE WITH CIVIL ENGINEER FOR ANY DISCREPANCIES WITH THIS DETAIL.



**CLEANOUT DETAIL**  
NOT TO SCALE



**H3**  
HOYT + BERENYI  
1110 East 14th Avenue, 3rd Floor  
Boulder, Colorado 80502  
www.hoytberenyi.com

**SCDOT**  
HOYT  
BERENYI  
No. 3009

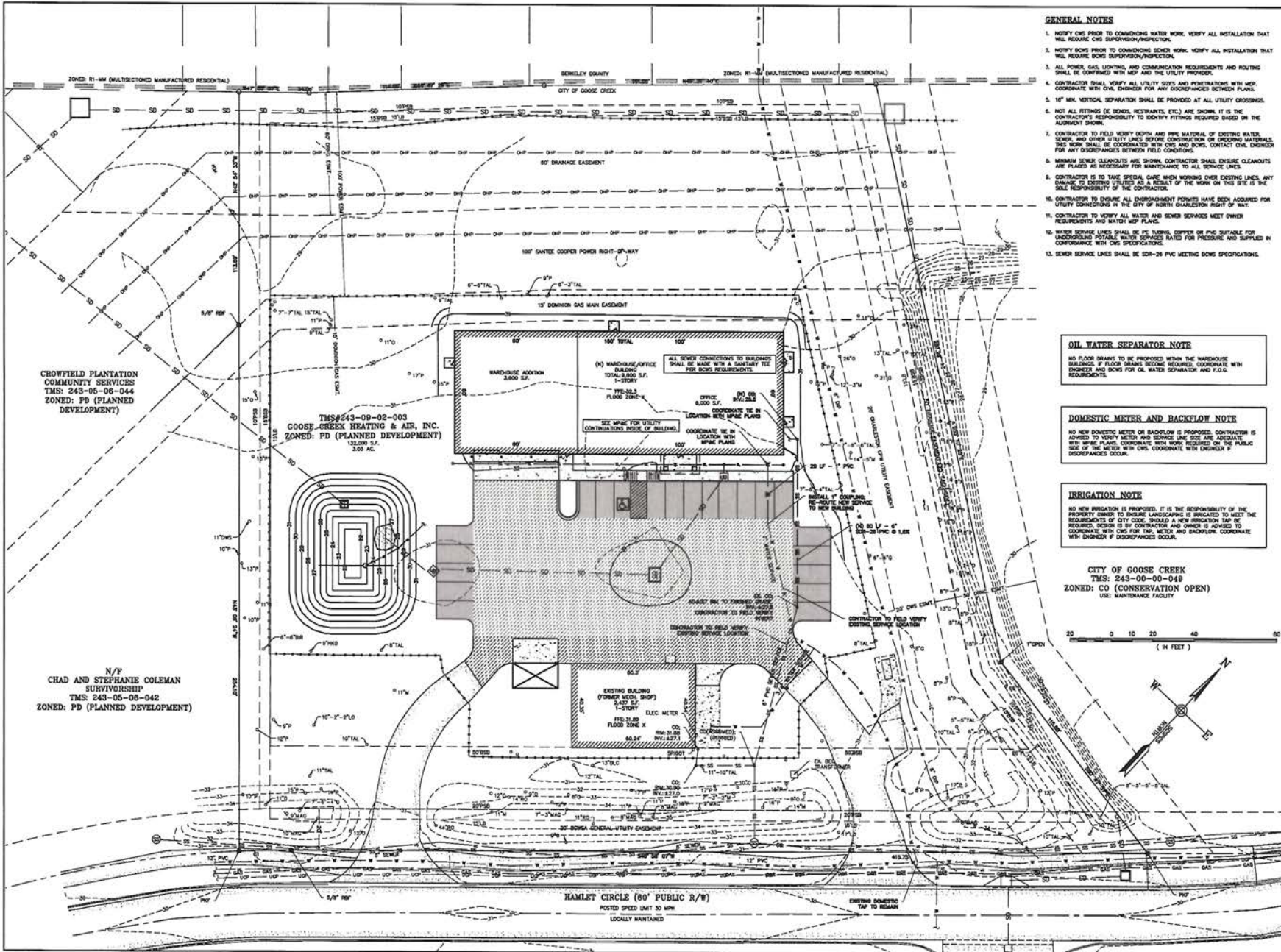
**SCDOT**  
HOYT  
BERENYI  
No. 2705

Goose Creek Heating and Air  
Hamlet Circle  
TMS 904-09-02-003  
Goose Creek, SC

DESIGNED BY: Kyle A. Taylor, P.E.  
CHECKED BY: Kyle M. Hoyt, P.E.  
DATE: September 24, 2021  
PROJECT #: 21-016  
SCALE: As Noted

**SHEET TITLE:**  
Paving, Grading  
and Drainage  
Details

**SHEET NUMBER:**  
**C5.4**



- GENERAL NOTES**
1. NOTIFY CWS PRIOR TO COMMENCING WATER WORK. VERIFY ALL INSTALLATION THAT WILL REQUIRE CWS SUPERVISION/INSPECTION.
  2. NOTIFY BOWS PRIOR TO COMMENCING SEWER WORK. VERIFY ALL INSTALLATION THAT WILL REQUIRE BOWS SUPERVISION/INSPECTION.
  3. ALL POWER CALL OUTINGS AND COMMUNICATION REQUIREMENTS AND ROUTING SHALL BE COORDINATED WITH MDP AND THE UTILITY PROVIDER.
  4. CONTRACTOR SHALL VERIFY ALL UTILITY SIZES AND PENETRATIONS WITH MDP. COORDINATE WITH CIVIL ENGINEER FOR ANY DISCREPANCIES BETWEEN PLANS.
  5. 18" MIN. VERTICAL SEPARATION SHALL BE PROVIDED AT ALL UTILITY CROSSINGS.
  6. NOT ALL FITTINGS (E.G. BONDS, RESTRAINTS, ETC.) ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY FITTINGS REQUIRED BASED ON THE ALIGNMENT SHOWN.
  7. CONTRACTOR TO FIELD VERIFY DEPTH AND PIPE MATERIAL OF EXISTING WATER, SEWER, AND OTHER UTILITY LINES BEFORE CONSTRUCTION OR DROPPING MATERIALS. SEE BOWS SHALL BE COORDINATED WITH CWS AND BOWS. CONTACT CIVIL ENGINEER FOR ANY DISCREPANCIES BETWEEN FIELD CONDITIONS.
  8. MINIMUM SEWER CLEANOUTS ARE SHOWN. CONTRACTOR SHALL DESIGN CLEANOUTS ARE PLACED AS NECESSARY FOR MAINTENANCE TO ALL SERVICE LINES.
  9. CONTRACTOR IS TO TAKE SPECIAL CARE WHEN WORKING OVER EXISTING LINES. ANY DAMAGE TO EXISTING UTILITIES AS A RESULT OF THE WORK ON THIS SITE IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  10. CONTRACTOR TO ENSURE ALL ENFORCEMENT PERMITS HAVE BEEN ACQUIRED FOR UTILITY CONNECTIONS IN THE CITY OF NORTH CHARLESTON RIGHT OF WAY.
  11. CONTRACTOR TO VERIFY ALL WATER AND SEWER SERVICES MEET OWNER REQUIREMENTS AND MATCH MDP PLANS.
  12. WATER SERVICE LINES SHALL BE 8" MINIMUM COPPER OR PVC SUITABLE FOR UNDERGROUND POTABLE WATER SERVICES RATED FOR PRESSURE AND SUPPLIED IN CONFORMANCE WITH CWS SPECIFICATIONS.
  13. SEWER SERVICE LINES SHALL BE 8"-12" PVC MEETING BOWS SPECIFICATIONS.

**OIL WATER SEPARATOR NOTE**

NO FLOOR DRAINS TO BE PROVIDED WITHIN THE WAREHOUSE BUILDING IF FLOOR DRAINS BECOME REQUIRED, COORDINATE WITH ENGINEER AND BOWS FOR OIL WATER SEPARATOR AND P.O.D. REQUIREMENTS.

**DOMESTIC METER AND BACKFLOW NOTE**

AS NEW DOMESTIC METER AND BACKFLOW IS PROPOSED, CONTRACTOR IS ADVISED TO VERIFY METER AND SERVICE LINE SIZE AND LOCATION. ACCURATE SIZE OF THE METER WITH CWS. COORDINATE WITH ENGINEER IF DISCREPANCIES OCCUR.

**IRRIGATION NOTE**

NO NEW IRRIGATION IS PROPOSED. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO DESIGN LANDSCAPING IS INDICATED TO MEET THE REQUIREMENTS OF CITY CODE. SHOULD A NEW IRRIGATION SYSTEM BE REQUIRED, COORDINATE WITH CWS FOR TAP, METER AND BACKFLOW. COORDINATE WITH ENGINEER IF DISCREPANCIES OCCUR.

**CITY OF GOOSE CREEK**  
 TMS: 243-00-00-049  
 ZONED: CO (CONSERVATION OPEN)  
 USE: MAINTENANCE FACILITY



Goose Creek Heating and Air  
 Hamlet Circle  
 TMS 243-00-00-003  
 Goose Creek, SC

DESIGNED BY:	Nyle A. Taylor, P.E.
CHECKED BY:	Nyle M. Hoyt, P.E.
DATE:	September 24, 2021
PROJECT #:	21-018
SCALE:	1"=20'
SHEET TITLE:	Utility Plan
SHEET NUMBER:	

**C6.0**



SEWER NOTES

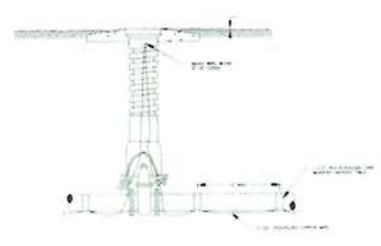
- 1. SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH THE STATE STANDARDS FOR SANITARY AND SEWER REGULATIONS...
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE STANDARDS FOR SANITARY AND SEWER REGULATIONS...
3. CONTRACTOR SHALL PROVIDE A PRO CONSTRUCTION SCHEDULE WITH A MINIMUM LEAD TIME OF 14 DAYS TO THE SANITARY DEPARTMENT...
4. CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FOR ALL WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
5. CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FOR ALL WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
6. CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FOR ALL WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
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9. CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FOR ALL WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
10. CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FOR ALL WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

SEWER PANEL 8

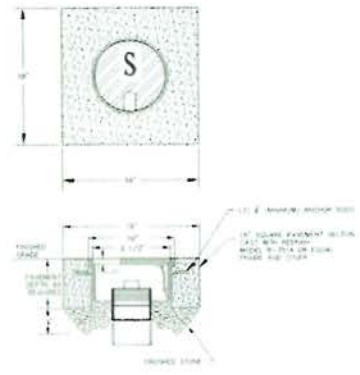
BERKELEY COUNTY WATER AND SANITATION POTABLE WATER & SANITARY SEWER STANDARDS

SEWER PANEL EIGHT

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
2. CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FOR ALL WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
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10. CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FOR ALL WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...



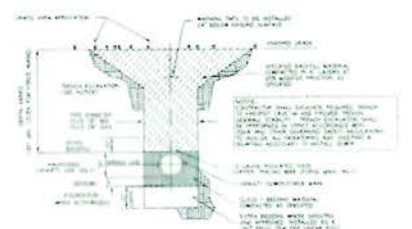
TRENCH WALL FOR FLUID OR HOPE WATER PIPING NOT TO SCALE



PAVEMENT CLEANOUT DETAIL NOT TO SCALE

SEWER PANEL IC

BERKELEY COUNTY WATER AND SANITATION POTABLE WATER & SANITARY SEWER STANDARDS



FORCE MAIN GRAVITY LINE TRENCH DETAIL NOT TO SCALE

SEWER PANEL 4

BERKELEY COUNTY WATER AND SANITATION POTABLE WATER & SANITARY SEWER STANDARDS

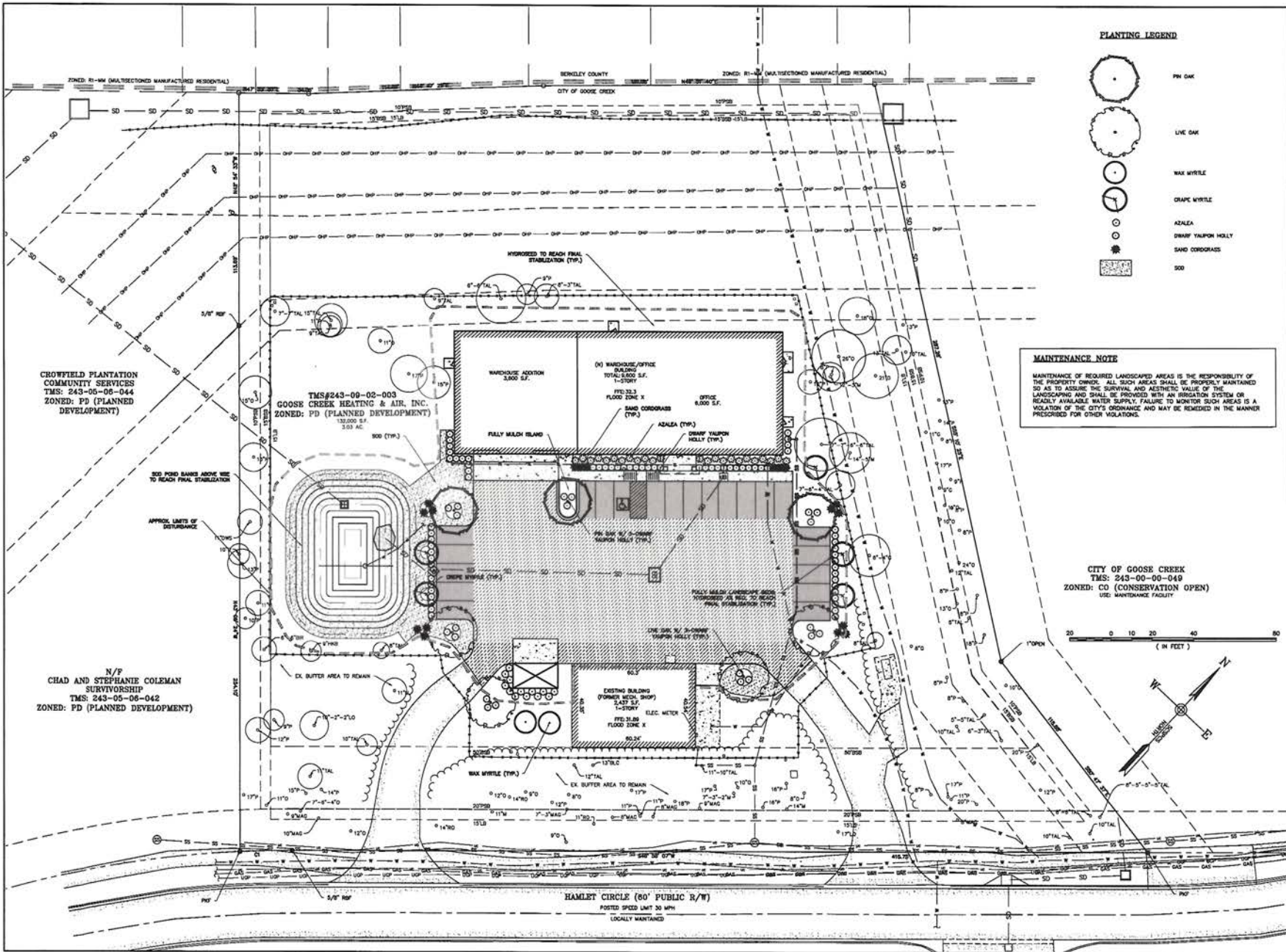


Goose Creek Heating and Air Hamlet Circle TMS 043-08-02-03 Goose Creek, SC









Table with columns for revision numbers and descriptions.

Metadata block containing: DRAWN BY: Kyle A. Taylor, P.E.; CHECKED BY: Kyle M. Hoyt, P.E.; DATE: September 24, 2021; PROJECT #: 21-010; SCALE: As Shown; SHEET TITLE: Water and Sewer Details; SHEET NUMBER: C6.1

C6.1



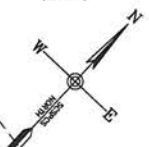
**PLANTING LEGEND**

-  PIN OAK
-  LIVE OAK
-  WAX MYRTLE
-  GRAPE MYRTLE
-  AZALEA
-  DWARF YAUPON HOLLY
-  SAND CORDGRASS
-  SOD

**MAINTENANCE NOTE**

MAINTENANCE OF REQUIRED LANDSCAPED AREAS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL SUCH AREAS SHALL BE PROPERLY MAINTAINED SO AS TO ASSURE THE SURVIVAL AND AESTHETIC VALUE OF THE LANDSCAPING AND SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM OR READILY AVAILABLE WATER SUPPLY. FAILURE TO MONITOR SUCH AREAS IS A VIOLATION OF THE CITY'S ORDINANCE AND MAY BE REMEDIED IN THE MANNER PRESCRIBED FOR OTHER VIOLATIONS.

CITY OF GOOSE CREEK  
TMS: 243-00-00-049  
ZONED: CO (CONSERVATION OPEN)  
USE: MAINTENANCE FACILITY



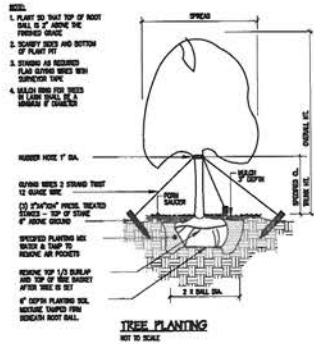
Drawn by: Kyle A. Taylor  
**Goose Creek Heating and Air**  
**Hamlet Circle**  
 TMS 243-00-00-049  
 Goose Creek, SC

NO.	DATE	DESCRIPTION

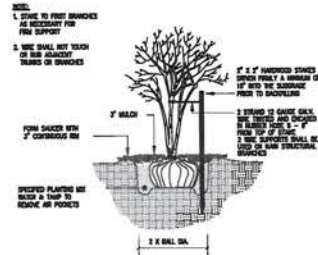
DRAWN BY: Kyle A. Taylor, P.E.  
 CHECKED BY: Kyle M. Heik, P.E.  
 DATE: September 24, 2021  
 PROJECT #: 21-018  
 SCALE: 1" = 20'  
 SHEET TITLE: Landscape Plan

SHEET NUMBER: **L1.0**

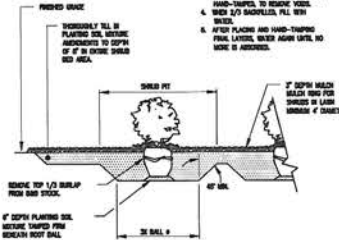




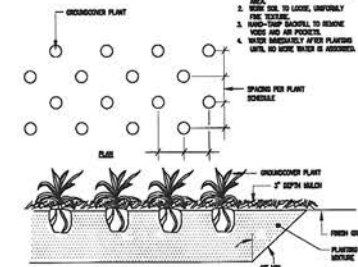
**TREE PLANTING**  
NOT TO SCALE



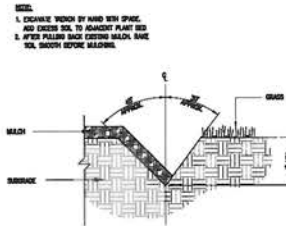
**MULTI-TRUNK TREE STAKING**  
NOT TO SCALE



**PAN AND CONTAINER SHRUB PLANTING**  
NOT TO SCALE



**GROUNDCOVER PLANTING**  
NOT TO SCALE



**TRENCHED LAWN EDGE**  
NOT TO SCALE

**PLANTING NOTES:**

1. ADD PRESTRAP TO ALL BEDS AT 2' HCH 80%.
2. SEE DETAILS, INCLUDING PLANTING METHOD AND PLANT SCHEDULE THIS SHEET.
3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL INSTALLED PLANTS AND LAWN AREAS UNTIL SIGNATURE OF WRITER CONSTITUTE OF FINAL CONSTRUCTION.
4. LANDSCAPE CONTRACTOR IS TO MAINTAIN PLANT MATERIAL FOR (1) ONE YEAR.
5. PLANT MATERIAL LIST IS PREPARED FOR CONTRACTOR PLANTING ONLY. CONTRACTORS SHALL HAVE THEIR OWN QUANTITY ESTIMATORS REVIEWED TO OBTAIN QUANTITIES TO THEIR SATISFACTION, REPORTING ANY DISCREPANCIES WHICH MAY AFFECT QUANTITIES TO LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL SEAL ALL OPENING AREAS.
7. THE CONTRACTOR SHALL LOCATE ALL PROPOSED AND EXISTING UTILITIES PRIOR TO THE BEGINNING OF WORK. THE CONTRACTOR SHALL REPORT ANY CHANGES TO UTILITIES THAT ARE DISCOVERED AS A RESULT OF THE WORK.
8. THE CONTRACTOR SHALL MAINTAIN ALL EXPOSED AREAS, INCLUDING THE REPAIR OF EXISTING AREAS, UNTIL GREAT HAS REACHED THE LEVEL OF FINAL ACCEPTANCE AND THROUGHOUT MAINTENANCE CONTRACT PERIOD IF APPLICABLE.
9. ALL AREAS THAT ARE DAMAGED BY CONSTRUCTION WORK OR OUTSIDE THE LIMITS OF WORK SHALL BE REPAIRED, GRADED, AND DRAINAGE.
10. ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF CONSTRUCTION. ALL WORK IN THESE AREAS IS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
11. ALL TREES, SHRUBS, AND GROUNDCOVER MATERIAL SHALL BE PLANTED WITHIN 24 HOURS AFTER DELIVERY.
12. ANY PLANTS LOCATED IN STREET CURB SHALL BE MAINTAIN PLANT AREA.
13. ALL PLANT MATERIAL TO BEET OR EXCEED AIR STANDARDS.
14. ALL GROUNDCOVER BEDS TO BE PREPARED IN THE FOLLOWING MANNER AND 2' COMPACT AND TILL TO 80% WITH 2\"/>
- 15. FINAL CLEANUP OF SITE AS A RESULT OF LANDSCAPE OPERATIONS AND ALL FODD WASTE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- 16. ALL PLANT MATERIAL AND EQUIPMENT TO BE QUANTIFIED FOR ONE YEAR FROM THE DATE OF FINAL WRITTEN ACCEPTANCE BY THE OWNER OR CHANGE ORDER/REVISION. PLANT REPLACEMENT TO OCCUR ONE YEAR.
- 17. IN ORDER TO KEEP ALL BEDS EXISTING, ESTIMATED UNIT PRICES MUST BE GIVEN ON PLANT TYPE AND SIZE, AS LISTED IN PLANT SCHEDULE. THESE ESTIMATES UNIT PRICES SHOULD BE WITHIN A NORMAL, REASONABLE MARKET PRICING RANGE.
- 18. WORK OF INSTALLED PLANT MATERIAL IS TO BE COVERED BY BRUSHING GRASS OR OTHER STABLE SEEDS, WITH EXCEPTED STREET TREES AND SHRUBS SHOULD HAVE SHAP SHROUDING, AND LANDSCAPE CONTRACTOR, WHO SHOULD HAVE STRIP MULCH, CONTRACTOR TO APPLY BRUSHING PLANS PRIOR TO BEGINNING CONSTRUCTION.
- 19. CONTRACTOR IS RESPONSIBLE FOR NOTING QUANTITIES AND QUANTITIES. THIS IS TO INCLUDE BUT IS NOT LIMITED TO PLANT COSTS, MULCH, STAKES, STAPLES, AND FENCES.
- 20. THERE SHALL BE NO SUBSTITUTIONS, REDUCTIONS, OR ADDITIONS WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT.

**PLANT SCHEDULE**

BOTANICAL NAME	COMMON NAME	QUANTITY	HEIGHT	SPREAD/SIZE	SPACING	REMARKS
<b>CANOPY TREES</b>						
QUERCUS PALMIS	PIN OAK	3	12' HT MIN.	2-1/2' CAL. MIN.	AS SHOWN	HEALTHY AND FULL
QUERCUS VIRGINIANA	WHITE OAK	4	12' HT MIN.	2-1/2' CAL. MIN.	AS SHOWN	HEALTHY AND FULL
<b>LANDSCAPE TREES</b>						
MYRTICA CONFERTA	WAX MYRTLE	2	10' HT MIN.	2' CAL. MIN.	AS SHOWN	HEALTHY AND FULL
LACERTRODIA INDIKA	CRAPPE MYRTLE	4	10' HT MIN.	2' CAL. MIN.	AS SHOWN	HEALTHY AND FULL
<b>SHRUBS</b>						
ENDODORON 'AUTUMN ANGEL'	'AUTUMN ANGEL' ENDORE AZALEA	24	24" MIN.	3 CAL.	3' O.C.	HEALTHY AND FULL, WHITE FLOWER
ILEX VIRENTOXA 'TINKA'	SHINY YALPOON HOLLY	50	24" MIN.	3 CAL.	3' O.C.	HEALTHY AND FULL
SPHYNDA BAIKON	SHAD CROCK GRASS	10	24" MIN.	3 CAL.	3' O.C.	HEALTHY AND FULL
<b>GRASSING</b>						
CENTIPSE SOD		4,000 SF				ALL DISTURBED AREAS OUTSIDE OF MULCH BEDS SHALL BE STABILIZED AS SHOWN. POND SHALL BE SOD.
<b>MULCH</b>						
	PRESTRAP	AS REQ.				MULCH ALL BEDS



Goose Creek Heating and Air  
Hamlet Circle  
TMS #843-00-00-003  
Goose Creek, SC

NO.	DATE	REVISION

DRAWN BY: Kyle A. Taylor, P.E.  
 CHECKED BY: Kyle A. Taylor, P.E.  
 DATE: September 24, 2021  
 PROJECT #: 21-018  
 SCALE: As Noted  
 SHEET TITLE: Plant Schedule and Details  
 SHEET NUMBER:

**L2.0**

10 SYMBOLS

- BUILDING SECTION
WALL OR DETAIL SECTION
EXTERIOR ELEVATION
INTERIOR ELEVATION
PLAN DETAIL
COLUMN CENTERLINE
CENTERLINE
PROPERTY LINE
MATCHLINE
ELEVATION
PARTITION TYPE
ROOM NUMBER
DOOR NUMBER
WINDOW TYPE
REVISION
SPOT ELEVATION

- ACOUSTICAL TILE
ASPHALT PAVING
BATT INSULATION
BRICK
CONCRETE
CONCRETE MASONRY UNIT
EARTH
GRAVEL
GYPSUM BOARD
PARTICLE BOARD
PLYWOOD
RIGID INSULATION
SAND
STEEL
STUCCO
WOOD
WOOD - ROUGH
WOOD - BLOCKING

08 ABBREVIATIONS

Table with 2 columns of abbreviations and their corresponding full names, including terms like ARCHITECT, ENGINEER, CONTRACTOR, etc.

07 GENERAL NOTES

- 1. THE ARCHITECT ASSUMES THAT ALL LOCAL, STATE, AND NATIONAL CODES IN FORCE AT THE CITY OF GOOSE CREEK, SC WILL BE MET BY PERSON OR PERSONS INVOLVED IN THE CONSTRUCTION PROCESS.
2. THE ARCHITECT ASSUMES THAT ALL WORK WILL BE PERFORMED IN THE BEST AND MOST PROFESSIONAL MANNER BY TRADESMEN SKILLED IN THEIR RESPECTIVE TRADES.
3. BY ACCEPTING THESE DRAWINGS THE GENERAL CONTRACTOR FINDS THEIR AGENT FOR PROPER COMPLETION OF THE PROJECT.
4. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION SUPERVISION, SAFETY, COSTS, AND/OR INSPECTIONS.
5. THE ARCHITECT ASSUMES THAT THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
6. THE ARCHITECT ASSUMES THAT ALL REFERENCES FOR HVAC, ELECTRICAL, AND PLUMBING DESIGN WILL BE MADE TO THE APPROPRIATE ENGINEER'S DRAWINGS AND SPECIFICATIONS.
7. THE ARCHITECT ASSUMES THAT ALL HANDCAPPED RELATED WORK WILL MEET ALL ADA AND ADA REQUIREMENTS.
8. THE GENERAL CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
9. ANY CHANGES DURING CONSTRUCTION OF THIS PROJECT WHICH DEVIATE FROM THE INTENT OF THESE DOCUMENTS WITHOUT THE CONSULTATION AND/OR PERMISSION OF THE ARCHITECT BECOMES THE RESPONSIBILITY OF THE PERSON AND/OR PERSONS INVOLVED IN THAT CHANGE.
10. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR SPECIFICATIONS OR SELECTION OF MATERIALS AND FURTHER ASSUMES THAT PERSONS DOING SO ARE QUALIFIED TO MAKE SUCH SELECTIONS.
11. THE ARCHITECT ASSUMES THAT ALL INTERIOR FINISHES WILL MEET OR EXCEED INTERNATIONAL BUILDING CODE REQUIREMENTS FOR MINIMUM WIDE SPREAD CLASSIFICATION OF FINISH MATERIALS BASED ON A 5-2 & B OCCUPANCY.
12. AN INDEPENDENT AND SEPARATE SOURCE OF POWER FOR EXISTING AND A SEPARATE OR EMERGENCY SOURCE OF ILLUMINATION IS REQUIRED BY CODE TO BE PROVIDED AT EXITS, CORRIDORS, LOBBY, RESTROOMS, ETC.

04 ZONING DATA

05 PROGRAM

01 SHEET INDEX

- A1 DATA SHEET
A2 LIFE SAFETY PLAN
A3 BUILDING PLAN
A4 EXTERIOR ELEVATIONS
A5 ENLARGED OFFICE PLAN
A6 OFFICE REFLECTED CEILING PLAN
A7 RESTROOM PLANS/ELEVATIONS
A8 WALL SECTIONS
A9 SCHEDULES

09 CODE DATA/LIFE SAFETY

2018 INTERNATIONAL BUILDING CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE
ICC A117.1-2017
A NEW OFFICE/WAREHOUSE BUILDING FOR AN HVAC BUSINESS.
OCCUPANCY CLASSIFICATION: STORAGE - GROUP S-2 LOW HAZARD BUSINESS - GROUP B
SECTION 502.2 - CONSTRUCTION TYPE: I-B
TABLE 504.3 - ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE
TABLE 506.1 - ALLOWABLE AREA FACTOR IN SQUARE FEET
TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES (HOURS)
TABLE 601 FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS
TABLE 602 FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS
TABLE 603.1 - INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY
SECTION 703 AUTOMATIC SPRINKLER SYSTEM
TABLE 1004.5 MINIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

TABLE 1008.2.1 SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY
TABLE 1010.1 DOORS
TABLE 1013 EXIT SIGNS
CHAPTER 11 - ACCESSIBILITY
CHAPTER 1209 - TRAVEL AND CIRCULATION REQUIREMENTS
CHAPTER 13 - SAFETY/RISK DURING CONSTRUCTION

06 VICINITY MAP

02 CONSULTANTS

03 PRINTING

ISSUED FOR PERMIT 8/23/21

PROJECT NUMBER:

2021.05

DATE:

8/10/21

REVISIONS:

PROJECT:

A NEW BUILDING FOR:
Goose Creek Heating & Air, LLC
302 HAMLET CIRCLE
GOOSE CREEK, SC

A DESIGN-BUILD PROJECT WITH:



design-build construction

9061 HAMBURG ROAD
LAURENS, SC 29540-4328
PHONE: (843) 961-1449
FAX: (843) 961-9716



SHELTER ARCHITECTURE, LLC

RESIDENTIAL+COMMERCIAL+RENOVATION

130 BARONS ROAD
SUMMERVILLE, SOUTH CAROLINA 29483

843-209-5947 OFFICE

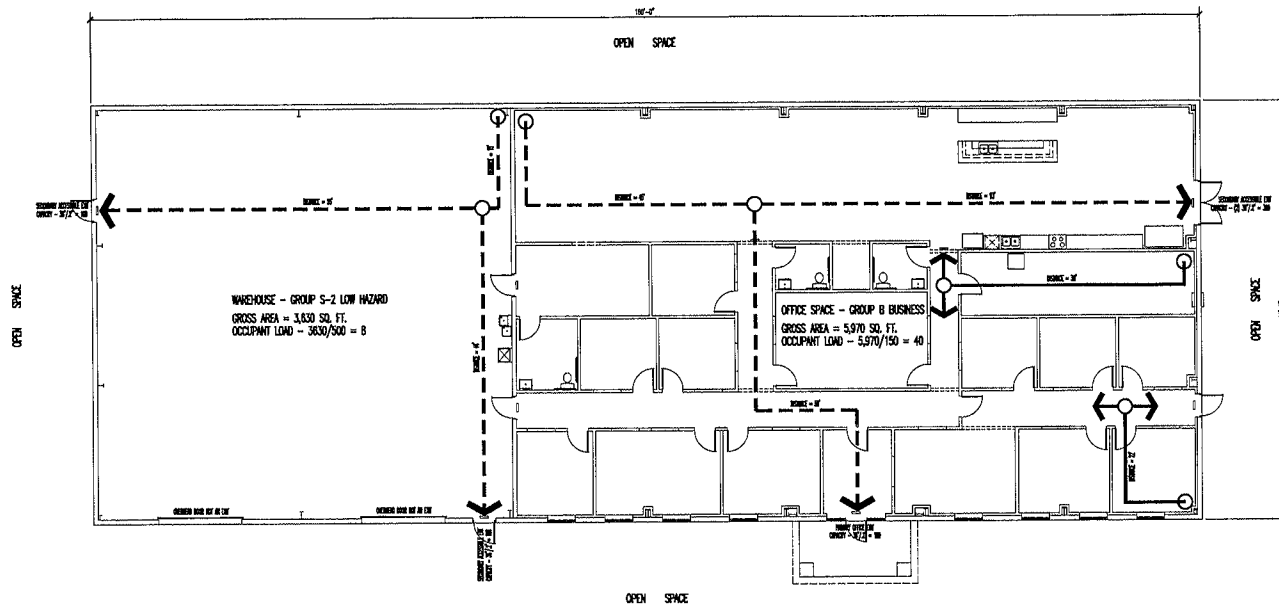
rpollar002@protonmail.com EMAIL

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SHEET NUMBER:

A1



01 Life Safety Plan  
 SCALE 1/8" = 1'-0"  
 TOTAL GROSS AREA = 9,600 S.F.

PROJECT NUMBER:

2021.05

DATE:

8/10/21

REVISIONS:

PROJECT:

A NEW BUILDING FOR:  
**Goose Creek Heating & Air, LLC**  
 302 HAMLET CIRCLE  
 GOOSE CREEK, SC

A DESIGN BUILD PROJECT WITH:

**design-build construction**  
 9641 HAMBERS ROAD  
 LADSON, SC 29405-4323  
 PHONE: (843) 881-1449  
 FAX: (843) 881-9718



**SHELTER ARCHITECTURE, LLC**

RESIDENTIAL+COMMERCIAL+RENOVATION

130 BARONS ROAD  
 SUMMERVILLE, SOUTH CAROLINA 29483  
 843-209-5947 OFFICE  
 rpolard002@protonmail.com EMAIL

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SHEET NUMBER:

A2

PROJECT NUMBER:

2021.05

DATE:

8/10/21

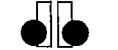
REVISIONS:

PROJECT:

A NEW BUILDING FOR:

**Goose Creek Heating & Air, LLC**  
302 HAMLET CIRCLE  
GOOSE CREEK, SC

A DESIGN BUILD PROJECT WITH:



**design-build  
construction**

6041 HAMBURG ROAD  
LAWRENCE, SC 29406-4322  
PHONE: (843) 861-1440  
FAX: (843) 861-0716



**SHELTER**  
ARCHITECTURE, LLC

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130 BARONS ROAD  
SUMMERVILLE, SOUTH CAROLINA 29407

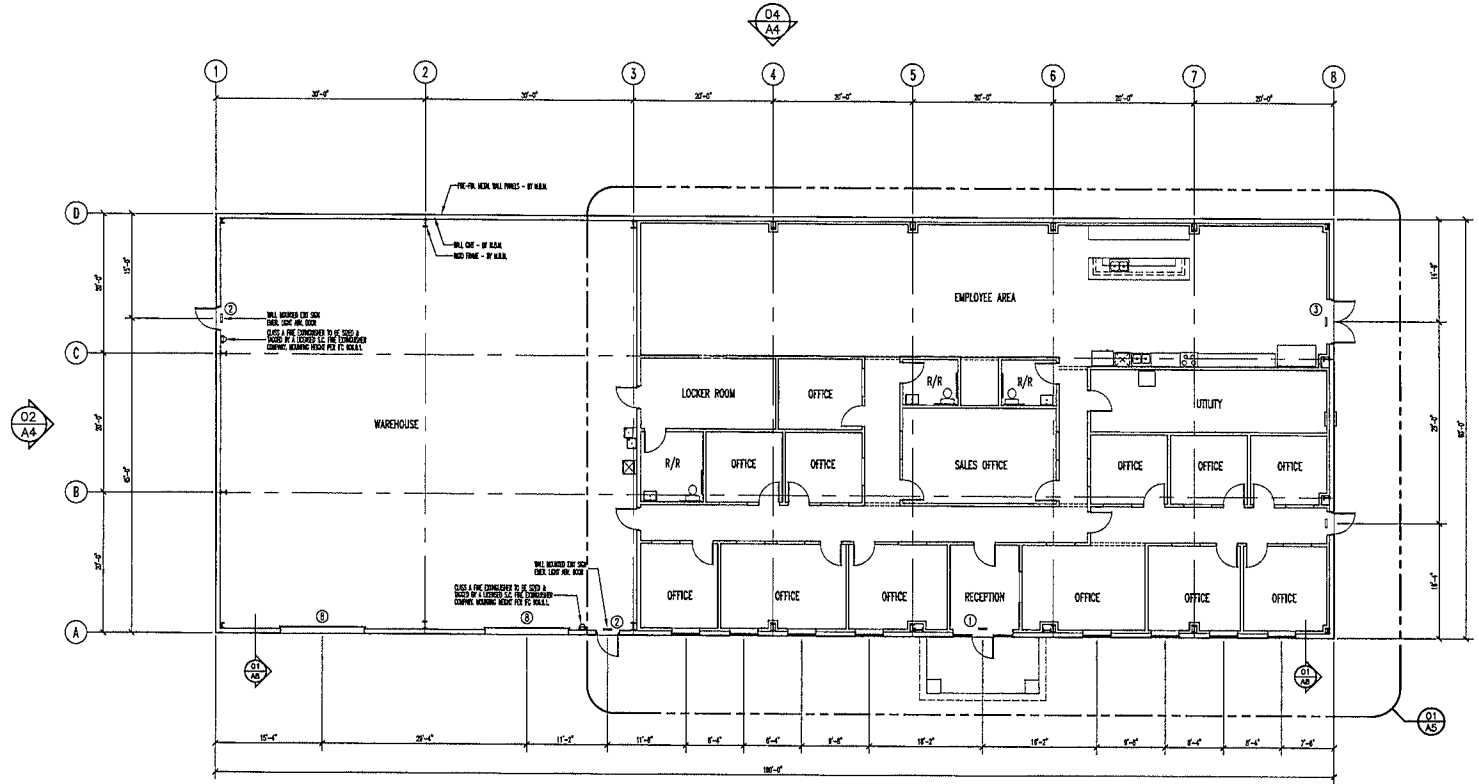
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rpollard302@protonmail.com EMAIL

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SHEET NUMBER:

**A3**



**01 Building Plan** PRE-ENGINEERED METAL BUILDING

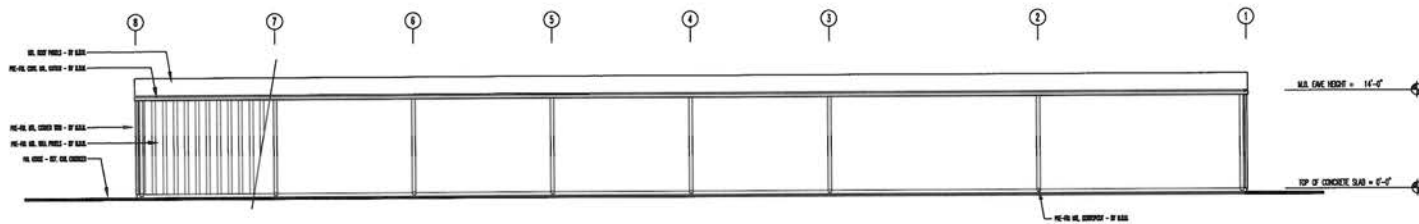
SCALE 1/8" = 1'-0"

TOTAL GROSS AREA = 9,600 S.F.

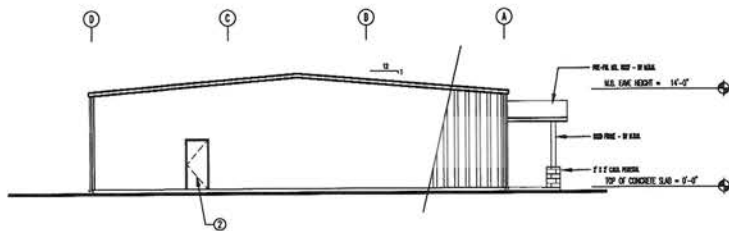
NOTES:

1. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO THE COMMENCEMENT OF THE WORK AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES AND/OR ANY EXISTING SITE CONDITIONS THAT ARE INCONCIDENT WITH THESE DRAWINGS.
2. REFERENCE THE METAL BUILDING MANUFACTURER'S DRAWINGS FOR ALL INFORMATION RESPECTING THE PRE-ENGINEERED METAL BUILDING.
3. ALL EXTERIOR DOORS WITH THE EXCEPTION OF THE OVERHEAD DOORS ARE ACCESSIBLE AND MEET REQUIREMENTS OF 2018 IRC 1010.1.5 & 1028.3.

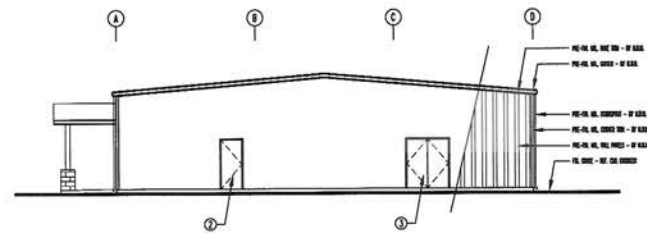




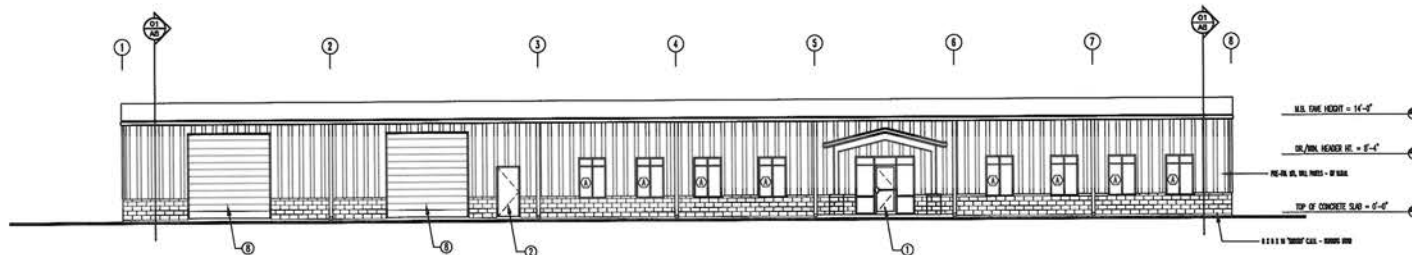
04 West Elevation  
SCALE 1/8" = 1'-0"



02 South Elevation  
SCALE 1/8" = 1'-0"



03 North Elevation  
SCALE 1/8" = 1'-0"



01 East Elevation  
SCALE 1/8" = 1'-0"

PROJECT NUMBER:

2021.05

DATE:

8/10/21

REVISIONS:

PROJECT:

A NEW BUILDING FOR:  
**Goose Creek Heating & Air, LLC**  
302 HAMLET CIRCLE  
GOOSE CREEK, SC

A DESIGN BUILD PROJECT WITH:



**design-build  
construction**

9861 HANOVER ROAD  
FARMING, SC 29040-4828  
PHONE: (843) 801-1440  
FAX: (843) 801-8718



**SHELTER**  
ARCHITECTURE, LLC

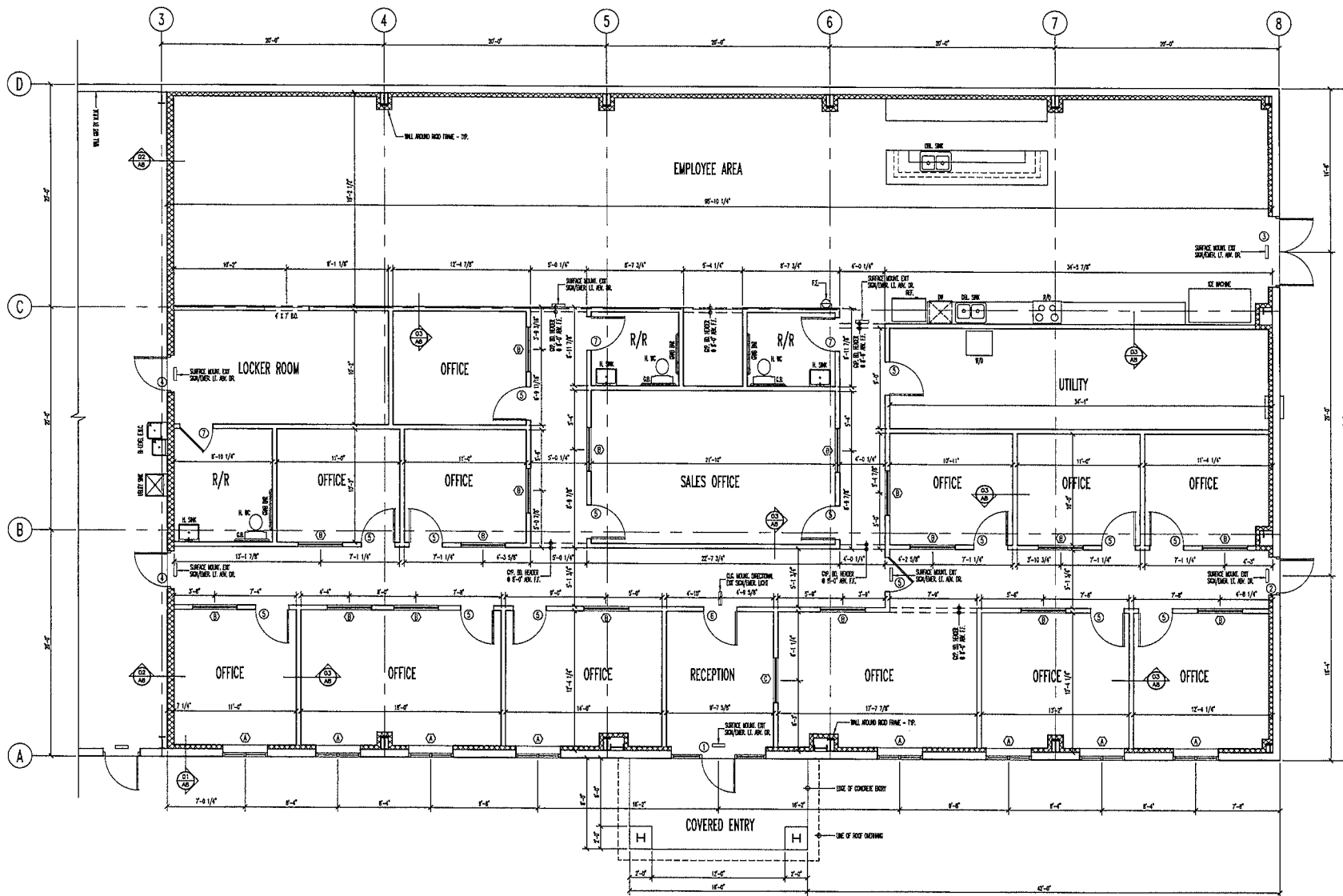
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130 BARONS ROAD  
SUMMERVILLE, SOUTH CAROLINA 29407  
843-209-5947 OFFICE  
rpollard002@protonmail.com EMAIL

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SHEET NUMBER:

**A4**



**01** Enlarged Office Plan  
SCALE: 1/4" = 1'-0"

- NOTES:
1. INTERIOR DIMENSIONS ARE TO FACE OF SYSTEM WALLS/DOOR.
  2. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL INFORMATION REGARDING THE FIRE-RATED WALLS, CEILING.
  3. REFER TO SHEET 02 FOR ACCESSIBLE ENTRANCE COMPLIANCE DIMENSIONS.
  4. E.G. - CLASS A FIBER OPTIC CABLE TO BE TESTED & CURED BY A LICENSED E.C. FIRE CERTIFIED CONTRACTOR, BEFORE USING FOR E.C. INSTALL.

PROJECT NUMBER:

2021.05

DATE:

8/10/21

REVISIONS:

PROJECT:

A NEW BUILDING FOR:  
**Goose Creek Heating & Air, LLC**  
302 HAMLET CIRCLE  
GOOSE CREEK, SC

A DESIGN BUILD PROJECT WITH:



9061 HAMLETS ROAD  
LADSON, SC 29406-4389  
PHONE: (843) 963-1449  
FAX: (843) 821-8718



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ARCHITECTURE, LLC

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130 BARONS ROAD  
SUMMERSVILLE, SOUTH CAROLINA 29483

843-209-5947 OFFICE

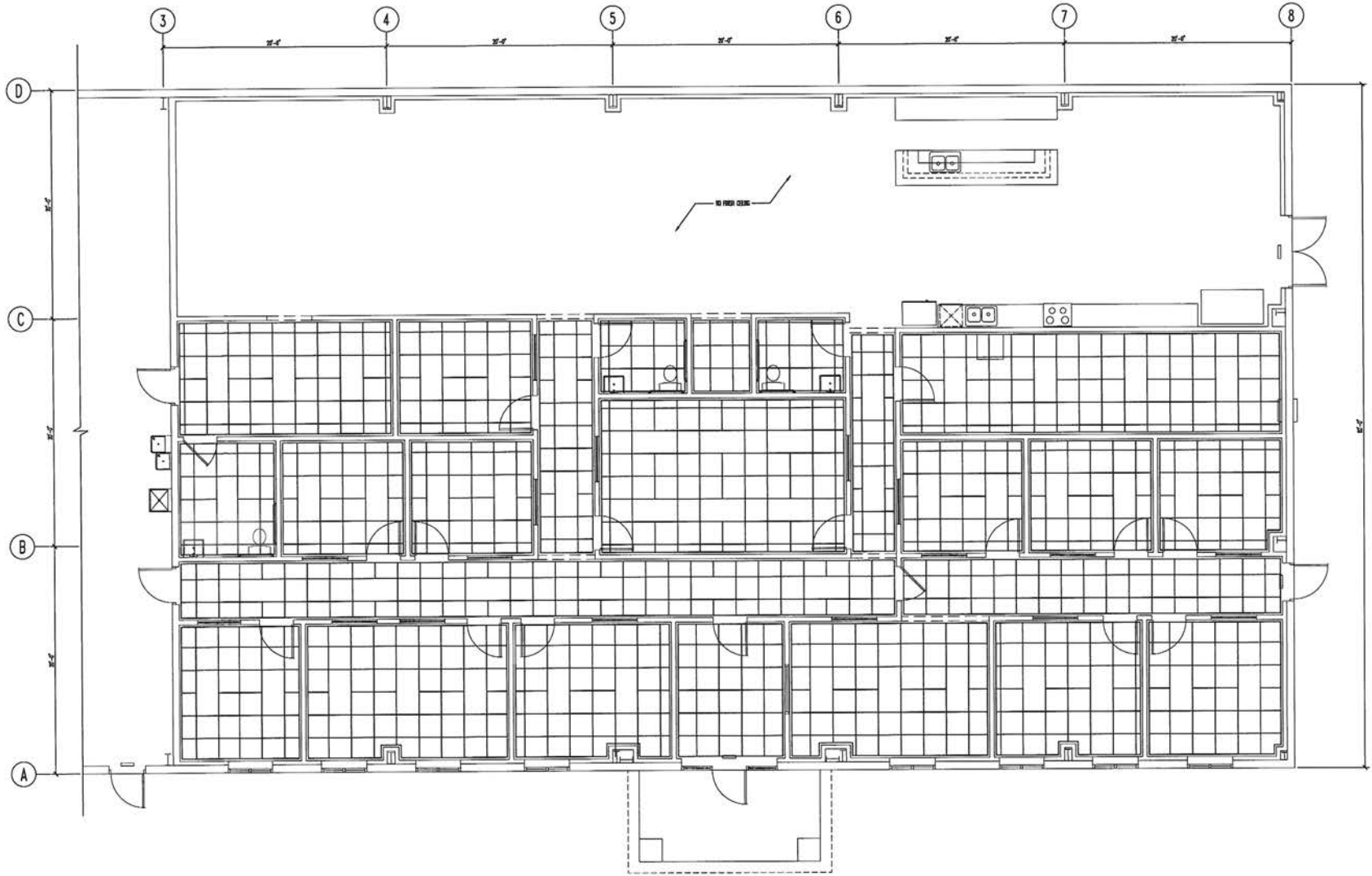
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SHEET NUMBER:

**A5**



01 Office Reflected Ceiling Plan  
SCALE 1/4" = 1'-0"

PROJECT NUMBER:

2021.05

DATE:

8/10/21

REVISIONS:

PROJECT:

A NEW BUILDING FOR:  
**Goose Creek Heating & Air, LLC**  
302 HAWLEY CIRCLE  
GOOSE CREEK, SC

A DESIGN-BUILD PROJECT WITH:

**design-build  
construction**  
9041 SHAWNEE ROAD  
LAWRENCE, SC 29402-4822  
PHONE: (843) 861-1449  
FAX: (843) 861-8718



**SHELTER** ARCHITECTURE, LLC

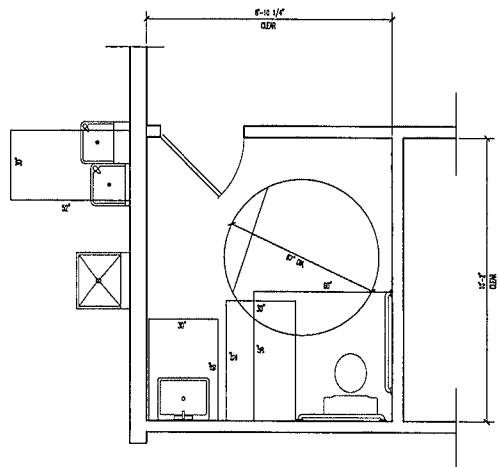
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130 BARONS ROAD  
SUMMERVILLE, SOUTH CAROLINA 29483  
843-203-5947 OFFICE  
rpollard002@protonmail.com EMAIL

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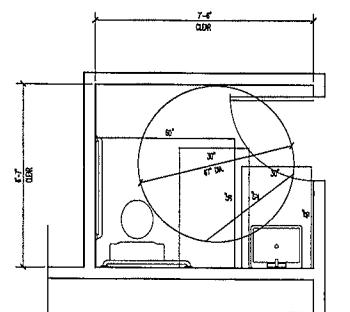
SHEET NUMBER:

**A6**



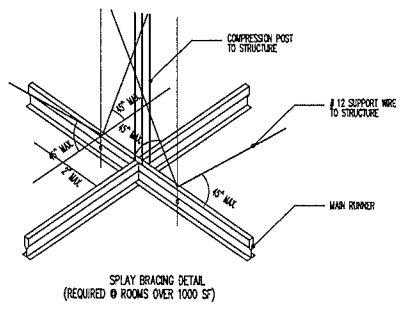


07 Detail Restroom Plan  
SCALE: 1/2" = 1'-0"

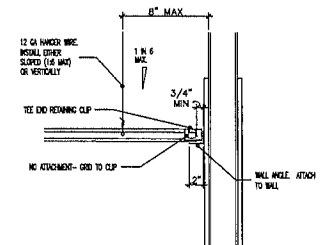


06 Detail Restroom Plan  
SCALE: 1/2" = 1'-0"

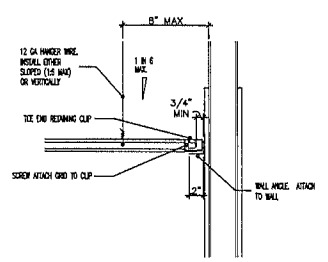
- CEILING NOTES:
- SUSPENDED CEILING IN SEISMIC DESIGN CATEGORY II, III, IV, V, VI, VII, VIII, IX, X SHALL BE DESIGNED & INSTALLED IN ACCORDANCE WITH ASCE 7-16 & THE FOLLOWING:
  - CEILING AREAS LESS THAN 144 SQ. FT. ARE EXEMPT FROM THESE REQUIREMENTS.
  - HEAVY-DUTY UNO-FRAMERS SHALL BE USED.
  - THE WIDTH OF THE PERIMETER SUPPORTING CLOSURE ANGLE SHALL BE NOT LESS THAN 2".
  - IN EACH SPACING, HORIZONTAL BRACING ONE END OF THE CEILING GRID SHALL BE ATTACHED TO THE CLOSURE ANGLE. THE OTHER END SHALL HAVE A 1/2" CLEARANCE FROM THE WALL AND SHALL REST UPON AND BE FREE TO SLIDE ON A CLOSURE ANGLE.
  - A HORIZONTAL RESTRAINT OF THE CEILING TO THE STRUCTURE SHALL BE PROVIDED.
  - REFERENCE ALL ELECTRICAL & MECHANICAL ENGINEERS DRAWINGS FOR SEISMIC ATTACHMENT OF THEIR EQUIPMENT TO THE CEILING GRID.



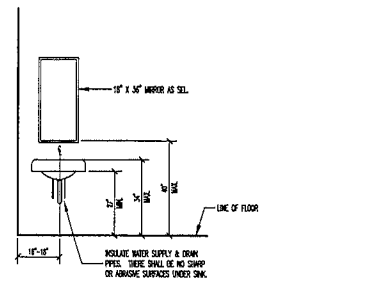
05 Suspended Ceiling Details  
NO SCALE



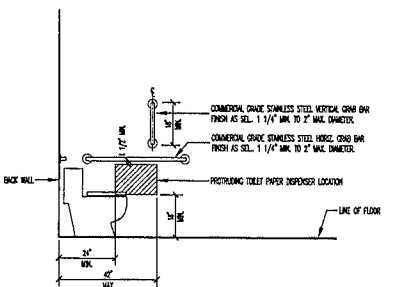
DETAIL OF TWO ADJACENT WALLS WITH NO ATTACHMENT TO WALL ANGLES



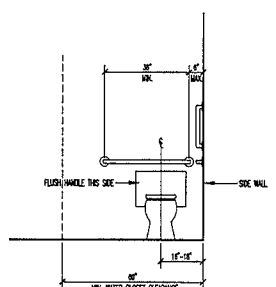
DETAIL OF TWO ADJACENT WALLS WITH GRID ATTACHED TO WALL ANGLE



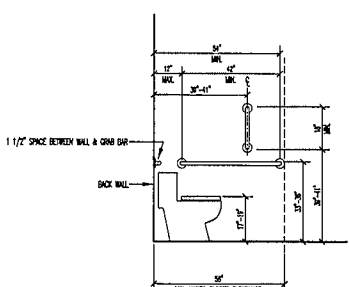
04 Rear Wall Elevation Lavatory  
SCALE: 1/2" = 1'-0"



03 Side Wall Elevation Toilet Paper Dispenser  
SCALE: 1/2" = 1'-0"



02 Rear Wall Elevation Water Closet  
SCALE: 1/2" = 1'-0"



01 Side Wall Elevation Water Closet  
SCALE: 1/2" = 1'-0"

PROJECT NUMBER:

2021.05

DATE:

8/10/21

REVISIONS:

PROJECT:

A NEW BUILDING FOR:  
**Goose Creek Heating & Air, LLC**  
302 HAMLET CIRCLE  
GOOSE CREEK, SC

A DESIGN BUILD PROJECT WITH:



9501 HAMMERS ROAD  
LADSON, SC 29405-4322  
PHONE: (843) 951-1449  
FAX: (843) 851-2718



**SHELTER**  
ARCHITECTURE, LLC

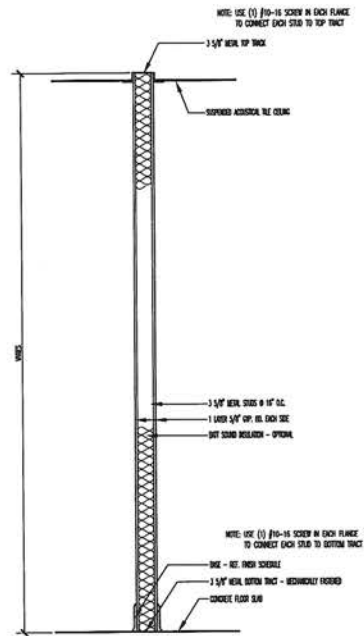
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130 BARONS ROAD  
SUMMERSVILLE, SOUTH CAROLINA 29407  
843-209-5947 OFFICE  
rpollar002@protonmail.com EMAIL

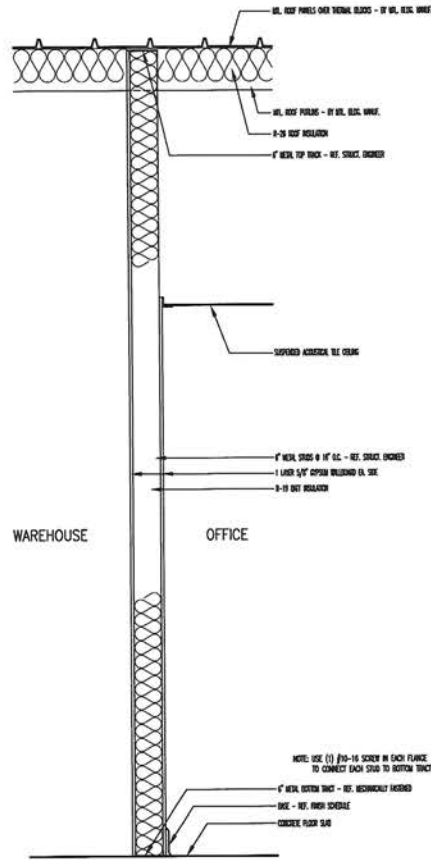
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SHEET NUMBER:

A7

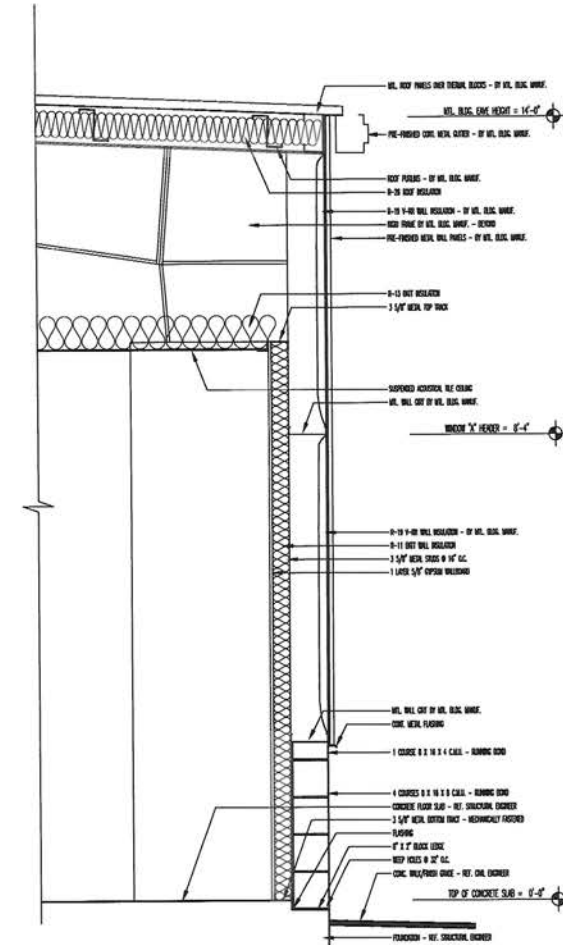


**03** Wall Section  
SCALE 1" = 1'-0"  
NON-LOAD BEARING  
NON-RATED



**02** Wall Section  
SCALE 1" = 1'-0"  
NON-LOAD BEARING  
NON-RATED

NOTES:  
1. ANGULAR BRACING AT ALL WALL INTERSECTIONS PROVIDE 3" LONG 22 GA. STUD OR GREATER IN AN APPROX. 45 DEGREE ANGLE AT CORNERS ATTACH TO TOP TRACK OF WALL WITH NOT LESS THAN FOUR #10 TENS SCREWS AT EACH END.



**01** Wall Section  
SCALE 1" = 1'-0"  
NON-LOAD BEARING  
NON-RATED

PROJECT NUMBER:

2021.05

DATE:

8/10/21

REVISIONS:

PROJECT:

A NEW BUILDING FOR:  
**Goose Creek Heating & Air, LLC**  
302 HAMLET CIRCLE  
GOOSE CREEK, SC

A DESIGN BUILD PROJECT WITH:



**SHELTER** ARCHITECTURE, LLC

RESIDENTIAL + COMMERCIAL + RENOVATION

130 BARONS ROAD

SUMMERVILLE, SOUTH CAROLINA 29407

843-208-5947 OFFICE

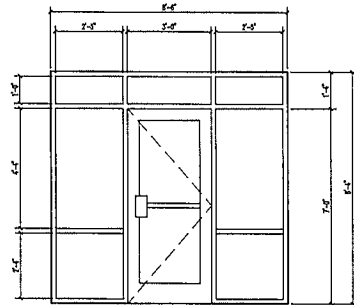
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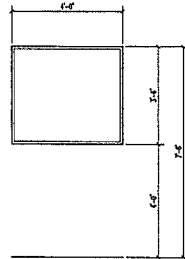
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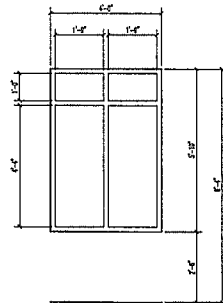
**A8**



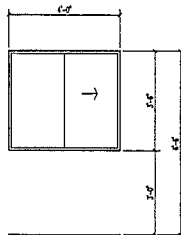
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Ⓒ

**DOOR SCHEDULE**

MARK	SIZE	THICK.	MATERIAL	FRAME	HARDWARE	TYPE	REMARKS	QUANTITY
1	3'-0" X 7'-0"	1 3/4"	ALUM.	ALUM.	HW1	SWING	CONGR. W/ PANEL, TIE-ON HINGE ALONG TOP-C, 4" SQUARE FINISH, SCHEDULE 40 W/ PANEL	1
2	3'-0" X 7'-0"	"	H.M.	H.M.	HW1	"	CONGR. W/ PANEL, TIE-ON HINGE ALONG TOP-C, 4" SQUARE FINISH, SCHEDULE 40 W/ PANEL	3
3	PR. 3'-0" X 7'-0"	"	"	"	HW1	"	CONGR. W/ PANEL, TIE-ON HINGE ALONG TOP-C, 4" SQUARE FINISH, SCHEDULE 40 W/ PANEL	1
4	3'-0" X 7'-0"	"	"	"	HW2	"	CONGR. W/ PANEL, TIE-ON HINGE ALONG TOP-C, 4" SQUARE FINISH, SCHEDULE 40 W/ PANEL	2
5	3'-0" X 7'-0"	1 3/8"	WOOD	WOOD	HW3	"	CONGR. W/ PANEL, TIE-ON HINGE ALONG TOP-C, 4" SQUARE FINISH, SCHEDULE 40 W/ PANEL	14
6	3'-0" X 7'-0"	"	"	"	HW4	"	CONGR. W/ PANEL, TIE-ON HINGE ALONG TOP-C, 4" SQUARE FINISH, SCHEDULE 40 W/ PANEL	1
7	3'-0" X 7'-0"	"	"	"	HW5	"	CONGR. W/ PANEL, TIE-ON HINGE ALONG TOP-C, 4" SQUARE FINISH, SCHEDULE 40 W/ PANEL	3
8	12'-0" X 12'-0"	"	METAL	"	"	ROLL-UP	CONGR. W/ PANEL, TIE-ON HINGE ALONG TOP-C, 4" SQUARE FINISH, SCHEDULE 40 W/ PANEL	2

HANDICAP SIGNAGE PER BUILDING CODE TO BE INSTALLED ON RESTROOM DOORS.  
DOOR BUMPERS TO BE INSTALLED FOR ALL INTERIOR SWING DOORS.

**HARDWARE SCHEDULE**

MARK	HINGES	CLOSERS	LOCKS	PANIC HARDWARE	REMARKS
HW1	4 1/2 X 4 1/2 X 1 1/2 PR.	OVHD./SURFACE MOUNT	SINGLE CYLINDER	---	FINISH AS SELECTED
HW2	4 1/2 X 4 1/2 X 1 1/2 PR.	---	KEYED	---	"
HW3	PRE-HUNG, SPLIT JAMB	---	KEYED	---	"
HW4	PRE-HUNG, SPLIT JAMB	---	PASSAGE	---	"
HW5	PRE-HUNG, SPLIT JAMB	---	PRIVACY	---	"

ALL DOOR HANDLES TO BE LEVER TYPE - MUST MEET A.D.A. STANDARDS

**WINDOW SCHEDULE**

MARK	SIZE	TYPE	MATERIAL	REMARKS	QUANTITY
A	4'-0" X 5'-10"	FIXED	ALUM.	CONGR. W/ PANEL, TIE-ON HINGE ALONG TOP-C, 4" SQUARE FINISH, SCHEDULE 40 W/ PANEL	8
B	4'-0" X 3'-6"	FIXED	ALUM.	CONGR. W/ PANEL, TIE-ON HINGE ALONG TOP-C, 4" SQUARE FINISH, SCHEDULE 40 W/ PANEL	17
C	4'-0" X 3'-6"	HORIZ. SLDR.	ALUM.	CONGR. W/ PANEL, TIE-ON HINGE ALONG TOP-C, 4" SQUARE FINISH, SCHEDULE 40 W/ PANEL	1

**FINISH SCHEDULE**

NO.	ROOM NAME	FLOOR			WALLS				CEILING		REMARKS	
		MATERIAL	FINISH	BASE	NORTH	SOUTH	EAST	WEST	MATERIAL	FINISH		HEIGHT
	RECEPTION	CONC.	LYT	4" VINYL	CONC.	CONC.	CONC.	CONC.	S.A.T.C.	AS SEL.	10'-0"	
	OFFICES	"	"	"	CONC.	CONC.	CONC.	CONC.	"	"	"	
	SALES OFFICE	"	"	"	CONC.	CONC.	CONC.	CONC.	"	"	"	
	CORRIDORS	"	"	"	CONC.	CONC.	CONC.	CONC.	"	"	"	
	LOCKER ROOM	"	SEALER	"	CONC.	CONC.	CONC.	CONC.	"	"	"	
	UTILITY ROOM	"	"	"	CONC.	CONC.	CONC.	CONC.	"	"	9'-0"	
	RESTROOMS	"	"	"	CONC.	CONC.	CONC.	CONC.	"	"	"	
	STAFF AREA	"	"	"	CONC.	CONC.	CONC.	CONC.	MTL. BLDG.	"	VARIES	
	WAREHOUSE	"	"	"	CONC.	CONC.	CONC.	CONC.	"	"	"	

FLOOR:  
CONC. - CONCRETE SLAB  
SEALER - CONCRETE SEALER  
LYT - LUXURY VINYL TILE, AS SEL.

BASE:  
4" VINYL - 4" VINYL CORE BASE, AS SEL.

WALLS:  
CONC. - CONCRETE WALLBOARD  
PAINT - 1 COAT LATEX PRIMER, 2 COATS LATEX FINISH  
MTL. BLDG. - EXPOSED PRE-ENGINEERED METAL BUILDING

CEILING:  
S.A.T.C. - 2' X 2' SUSPENDED ACoustICAL TILE CEILING  
MTL. BLDG. - EXPOSED PRE-ENGINEERED METAL BUILDING

AS SEL. - AS SELECTED BY OWNER

PROJECT NUMBER:

2021.05

DATE:

8/10/21

REVISIONS:

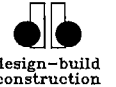
PROJECT:

A NEW BUILDING FOR:

**Goose Creek Heating & Air, LLC**

302 HAMLET CIRCLE  
GOOSE CREEK, SC

A DESIGN-BUILD PROJECT WITH:



design-build  
construction

1001 BARONS ROAD  
LAWRENCE, NC 28450-6828  
PHONE: (643) 801-1449  
FAX: (643) 801-0718



**SHELTER**  
ARCHITECTURE, LLC

RESIDENTIAL + COMMERCIAL + RENOVATION

130 BARONS ROAD  
SUMMERSVILLE, SOUTH CAROLINA 29483

843-209-5947 OFFICE

rpolar002@protonmail.com EMAIL

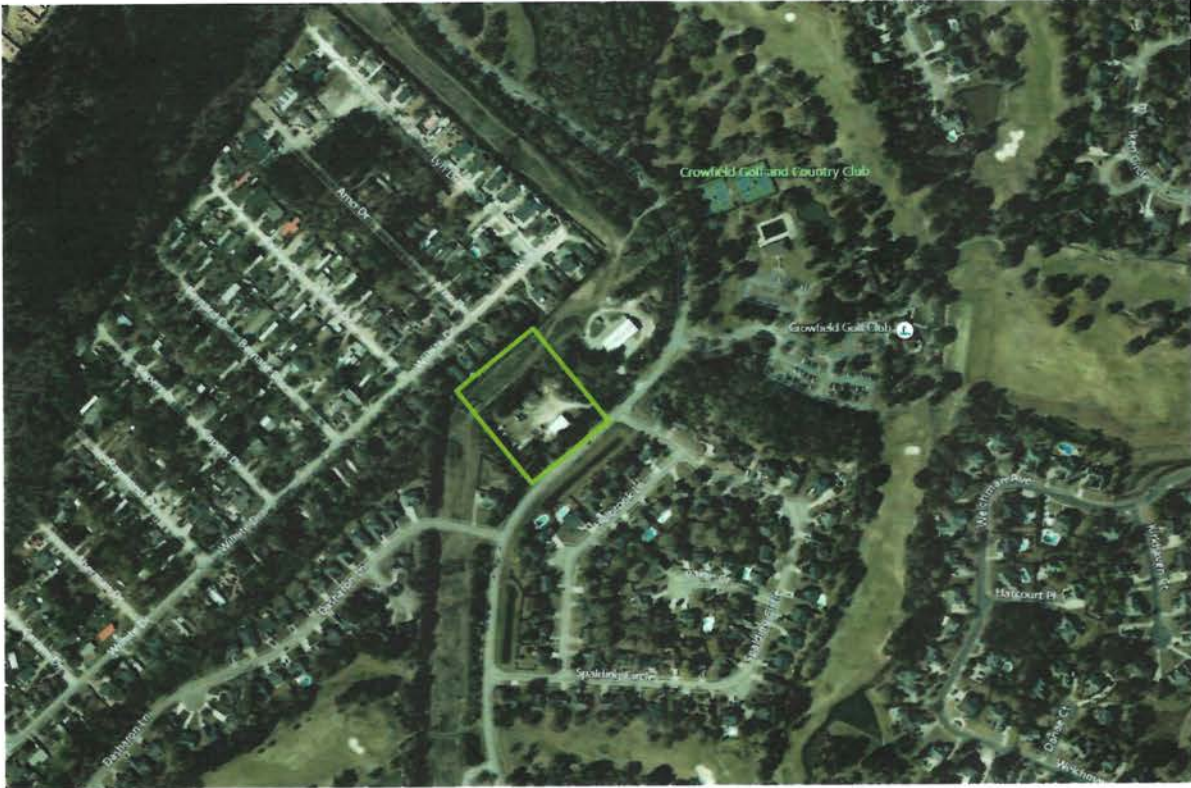
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SHEET NUMBER:

**A9**





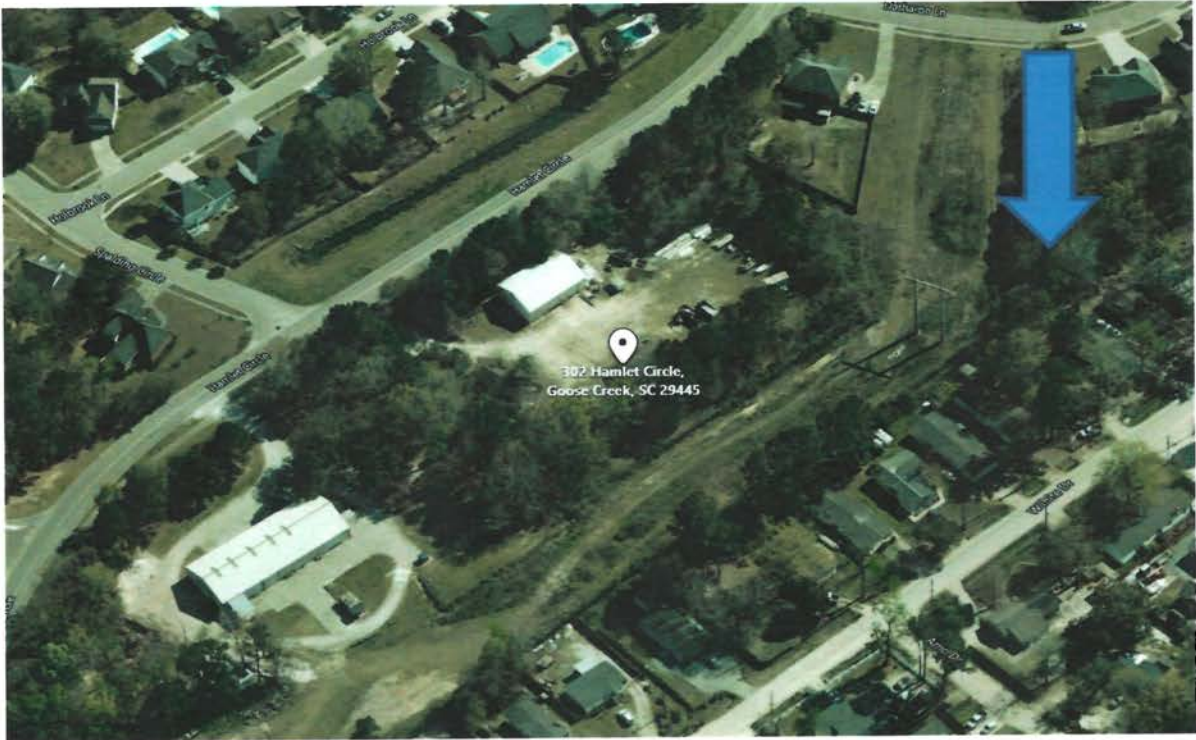


AERIAL PHOTOS  
Goose Creek Heating and Air Hamlet Circle





**AERIAL PHOTOS**  
**Goose Creek Heating and Air Hamlet Circle**







Facing south across Hamlet Circle from eastern driveway

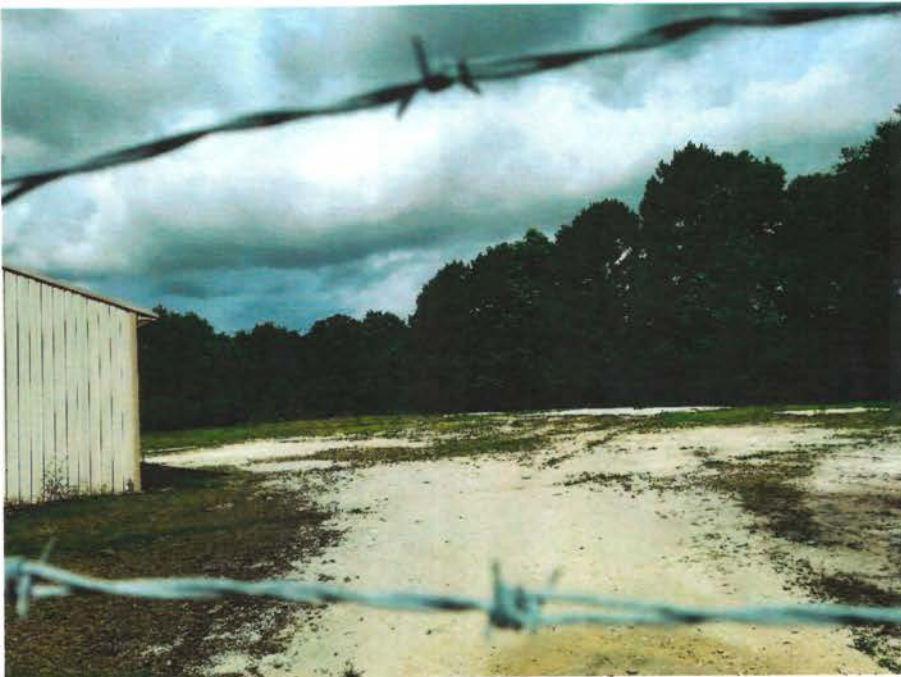


Facing west along Hamlet Circle from eastern driveway

**ADJACENT PROPERTY PHOTOS**  
**Goose Creek Heating and Air Hamlet Circle**



View of buffer along Hamlet Circle frontage



View into subject property





**ADJACENT PROPERTY PHOTOS**  
**Goose Creek Heating and Air Hamlet Circle**



View of adjacent eastern property from Hamlet Circle



View of adjacent western property from Hamlet Circle









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**NEW BUSINESS: MAJOR APPLICATIONS**

2021-100 NBLD

**7 ELEVEN/EXXON/ROOST**

---





**ARB SCOPE OF WORK FORM/**

**APPLICATION / INFORMATION SUMMARY**

**DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118**

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

<b>Property Address:</b> 915 St James St. Goose Creek, SC		<b>TMS No.:</b> 2231304004
<b>Review request:</b> <input type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final	<b>For:</b> <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions <input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other	<b>Preliminary meeting date requested:</b> <input type="checkbox"/> Appeal Decision of Architectural Review Board

<b>Property Owner:</b> Encore-Myers Road, LLC	<b>Daytime phone:</b> [REDACTED]
<b>Applicant:</b> Patrick Budronis	<b>Daytime phone:</b>
<b>ARB Meeting Representative:</b> Patrick Budronis	<b>Contact information:</b>
<b>Applicant's mailing address:</b> [REDACTED]	
<b>City:</b> [REDACTED]	<b>State:</b> [REDACTED] <b>Zip:</b> [REDACTED]
<b>Applicant's e-mail address:</b> [REDACTED]	
<b>Applicant's relationship:</b> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

**Materials/Colors Used:** *(specific color(s)/manufacture #'s listed: samples must be presented to Board  attached)*  
*(Example: Building Materials, Exterior Colors, Landscaping, Lighting)*

A dropbox link was provided with the colored elevations showing color materials located on the building and canopy physical samples were also mailed

Materials consist of aluminum storefront, masonry fiber cementitious panels and corrugated accent panels.


---

**Scope of Work:** *(please give a detailed description)*

These plans are being submitted as minor revisions to the previously approved ARB plans from 11/20/20 and extended on 7/21/21 below is a list of the plan changes:

- The site plan was updated with 2 additional parking spaces for a total of 35
- The dumpster enclosure was enlarged to allow for a man door access
- The monument sign was shifted about 75' east in the parking island
- The front elevation storefront glass was shifted due to interior layout adjustments
- All materials, landscaping and signage is unchanged from the original approval

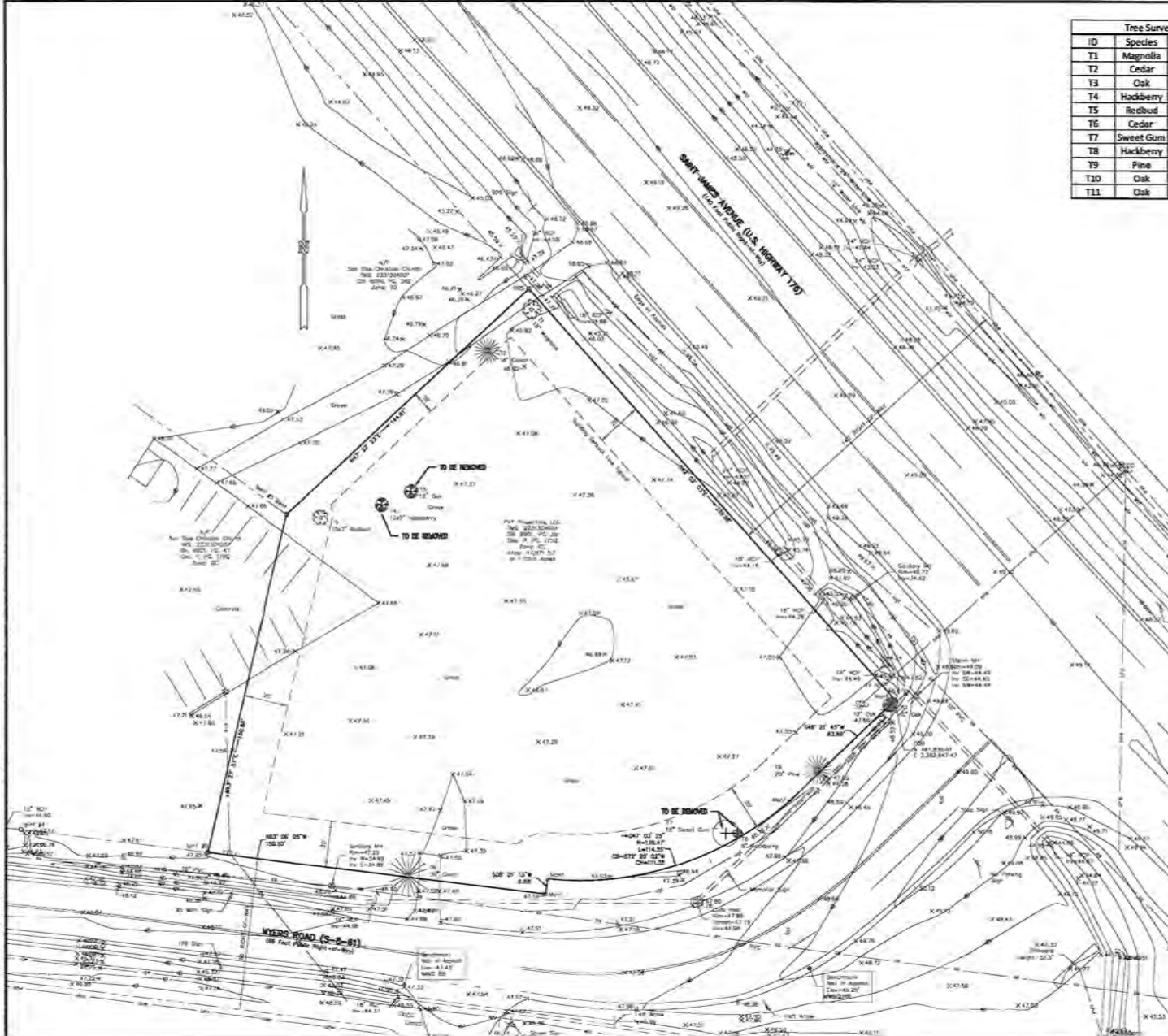
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

**Applicant's signature:**  **Date:** 11.1.21

**Print name legibly:** Patrick Budronis







**Tree Survey Legend**

ID	Species	Diameter	To Remain
T1	Magnolia	18"	Yes
T2	Cedar	18"	Yes
T3	Oak	12"	No
T4	Hackberry	12x2"	No
T5	Redbud	15x2"	Yes
T6	Cedar	30"	Yes
T7	Sweet Gum	15"	No
T8	Hackberry	8"	No
T9	Pine	20"	Yes
T10	Oak	32"	Yes
T11	Oak	30"	Yes



**LEGEND**

---	PROPERTY LINE
---	ADJOINING PROPERTY LINE
---	EASEMENT LINE
---	STORM DRAINAGE PIPE
---	SEWERAGE SEWER LINE
---	WATER LINE
---	UNDERGROUND TELEPHONE
---	OVERHEAD ELECTRIC
---	GRADE MARK
---	SAFETY SINK MANGLE
---	WATER TAP
---	HYDRANT
---	LIGHT POLE
---	UTILITY POLE
---	SHED
---	UNDERGROUND UTILITY BOX
---	IRON OPTIC MARKER
---	TELEPHONE PEDESTAL
---	IRON PIN-REAR FILING
---	CONCRETE MARKMENT FOUND
---	PAVING SIGN
---	TRAFFIC ARROWS

- SURVEY NOTES**
1. NORTH ARROW, BEARING, AND COORDINATES ARE BASED UPON IC 010 AND IS ESTABLISHED BY METAL REFERENCE STATION REAL THE NETWORK OPTIC OBSERVATION.
  2. ELEVATIONS ARE BASED UPON NAD 83 ESTABLISHED BY METAL REFERENCE STATION REAL THE NETWORK OPTIC OBSERVATION.
  3. REFERENCE IS HEREBY MADE TO THE FOLLOWING MAPS:
    - A. CABBERT PL. PAGE 1750 RECORDED IN THE HENRIE COUNTY REGISTER OF DEEDS OFFICE.
    - B. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT.
  4. THIS SURVEY MEETS THE REQUIREMENT FOR A CLASS "A" SURVEY (1-15.2003) AS DEFINED FOR THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF SOUTH CAROLINA.
  5. THE AREA WAS DETERMINED BY OWN METHOD.
  6. ALL HORIZONTAL DISTANCES ARE GROUND DISTANCES.
  7. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ONE CALL, SOCKET (CONDUIT), FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPARE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR HEREBY DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
  8. THE PROPERTY APPEARS TO BE IN FEMA ZONE "C" (AREA OF MINIMAL FLOOD HAZARD) FOR MAP INFORMATION SPECIFIC TO ZONE.
  9. ZONING PROVIDED BY HENRIE COUNTY TO BE USED FOR INFORMATIONAL PURPOSES ONLY.
  10. TOTAL AREA = 47.871 AC. ± 1,1014 ACRES
  11. NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION, STREET OR SIDEWALK CONSTRUCTION HAS OCCURRED ON SITE.
  12. THE SITE DOES NOT APPEAR TO HAVE BEEN USED AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
  13. NO VISIBLE FLAGGING EVIDENCE OF POTENTIAL WETLANDS WERE OBSERVED ON THE SUBJECT PROPERTY AS THE TIME THE SURVEY WAS CONDUCTED NOR HAVE HE RECORDED ANY DOCUMENTATION OF ANY WETLANDS BEING LOCATED ON THE SUBJECT PROPERTY.



**BLAKELAW**  
 SURVEYING • ENGINEERING • PHOTOGRAMMETRY  
 10314 WATSON RD., VA BEACH, VIRGINIA 23462  
 757-233-1111  
 WWW.BLAKELAW.COM

**811**  
 Know what's below.  
 Call before you dig.  
 GRAPHIC SCALE  
 0 20 40 feet  
 SCALE 1"=20'

DATE	BY	REVISION

PROJECT: HWY 176 AND MYERS RD.  
 EXISTING CONDITIONS  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 DATE: [Date]





**BLAKEWAY**  
 surveying • engineering • environmental  
 600N. WATKINS RD., VA BEACH, VIRGINIA 23462  
 TEL: 757-435-1111  
 WWW.BLAKEWAY.COM

DATE PLOTTED	DATE
SCALE	
PROJECT	
CLIENT	
DESIGNED BY	
CHECKED BY	
APPROVED BY	
DATE PLOTTED	

**HWY 176 AND MYERS RD.**  
**LAYOUT PLAN**  
**CL-5.0**  
 SHEET NUMBER



**LAYOUT GENERAL NOTES**

- BUILDING DIMENSIONS** - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR ALL BUILDING DETAILS AND DIMENSIONS.
- CONSTRUCTION STAKEOUT** - ALL CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A SURVEYOR LICENSED IN THE STATE OF SOUTH CAROLINA.
- UTILITY VERIFY COORDINATION** - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL NEIGHBORHOODS OF ANY PRIVATE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
- CONSTRUCTION MATERIALS AND METHODS** - ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO COUNTY STANDARDS.
- DISPOSED MATERIAL** SHALL BE DISPOSED OF IN A LAWFUL MANNER.
- LOCATION OF EXISTING UTILITIES** - LOCATION, ALIGNMENT OR DEPTH OF ANY OR ALL UNDERGROUND UTILITIES OR OTHER FACILITIES, WHERE SURFACE FEATURES (MANHOLES, CATCH BASINS, VALVES, ETC.) ARE UNAVAILABLE OR INCONCLUSIVE, INFORMATION SHOWN MAY BE FROM UTILITY OWNERS RECORDS AND/OR ELECTRICIAN LINE TRACKING. THE RELIABILITY OF WHICH IS UNKNOWN. THE CONTRACTOR SHALL FORTIFY WHETHER TEST EXCAVATIONS OR OTHER INVESTIGATIONS ARE NECESSARY TO VERIFY LOCATIONS AND CLEARANCES AND SHALL REPORT IMMEDIATELY ANY DISCREPANCIES TO BLAKEWAY CORPORATION AT 757-435-0061.
- HAC** - ALL HAC AND OTHER EQUIPMENT WILL BE LOCATED ON THE ROOF OF THE PROPOSED BUILDING AND SCREENED FROM PUBLIC VIEW.
- GAS CANOPY/ EXH. FUEL PNO DIMENSIONS** - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS AND GAS PLANS FOR ALL GAS CANOPY AND FUEL PNO DETAILS AND DIMENSIONS.

**PAVEMENT MARKING LEGEND**

- 4" DOUBLE SOLID YELLOW STRIPE
- 4" SOLID WHITE STRIPE
- 10'-30' 4" WHITE BROKEN LINE
- 2'-5' 4" WHITE SKIP LINE
- TURN ARROW, SEE SCOTT STANDARD DRAWING 825-410-000.
- "THICK" PAVEMENT MARKING, SEE SCOTT STANDARD DRAWING 825-410-000.
- 24" SOLID WHITE STOP BAR
- THIN & THICK - 4" SOLID YELLOW OUTER LINES, 4" 10'-30' BROKEN YELLOW INNER LINES

**LAYOUT PLAN LEGEND**

- DUMPSTER ENCLOSURE, SEE ARCH PLANS FOR DETAILS.
- 24" VERTICAL FACE CONCRETE CURB AND GUTTER, SEE SHEET C01-102 FOR SCOTT DETAIL 720-100-01.
- CONCRETE SIDEWALK, SEE DETAIL SHEET C01-103 FOR DETAILS.
- DETECTABLE WARNING SURFACE, DARK GRAY (TP) SEE SHEET C01-103 FOR SCOTT DETAIL 720-80-03.
- VAN ACCESSIBLE "ADA" SIGN, SEE SHEET C01-103 FOR DETAILS.
- VAN ACCESSIBLE "ADA" PAVEMENT MARKINGS, SEE DETAIL SHEET C01-103.
- CONCRETE COMMERCIAL ENTRANCE.
- CONCRETE BOLLARD (TP) SEE SHEET C01-103 FOR DETAILS.
- OVERHEAD FUEL CANOPY.
- AIR/MAC UNIT.
- FUEL VENT.
- UNDERGROUND STORAGE TANKS.
- PROPOSED SIGN, ACTUAL SIGN SIZE AND PLACEMENT WILL BE PERMITTED SEPARATELY.
- 4" CONCRETE CURB, SEE DETAIL ON SHEET C01-103.
- ADA ACCESSIBLE SIDEWALK RAMP, SEE SHEET C01-103 FOR SCOTT DETAILS 720-951-36 AND 720-85-11.
- PROPOSED CONC. VALLEY GUTTER.
- REPLACE CONCRETE DRIVEWAY.
- PROPOSED 30" STOP SIGN, 81-1-30.
- 4" PARKING PAINT STRIPE (WHITE).
- WOODED SCOT RIGHT-IN RIGHT OUT DRIVEWAY, SEE SHEET C01-103 FOR DETAIL.
- PROPOSED DIRECTIONAL SIGN, ACTUAL SIGN SIZE AND PLACEMENT WILL BE PERMITTED SEPARATELY.
- MOUNTABLE CURB, REINFORCED CONCRETE WITH REINFORCED CONCRETE APRON BEHIND.
- NO LEFT TURN SIGN, 83-2-24.
- MOUNTABLE CURB, REINFORCED CONCRETE ISLAND.

**HATCH LEGEND**

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- PROPOSED POROUS CONCRETE
- 2" ASPHALT MILL AND OVERLAY

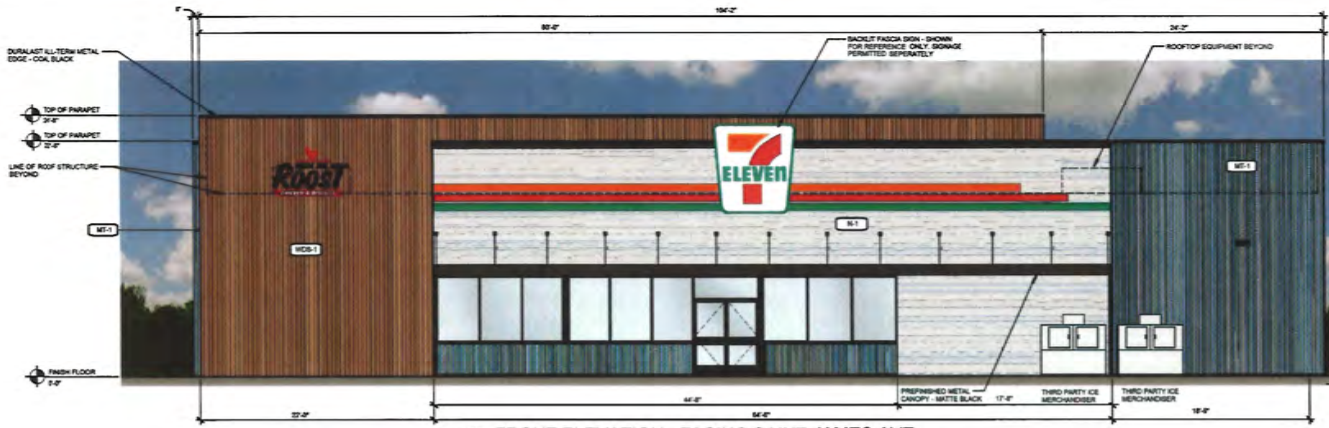
**811**  
 Know what's below.  
 Call before you dig.  
 GRAPHIC SCALE  
 20 10 0 20 40  
 FEET  
 SCALE: 1"=20'

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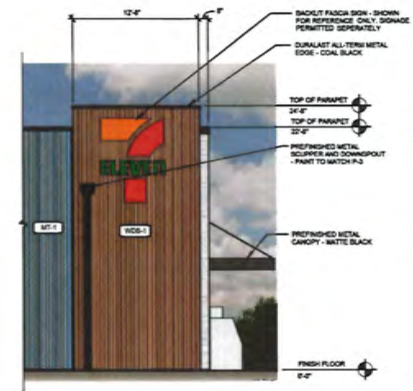




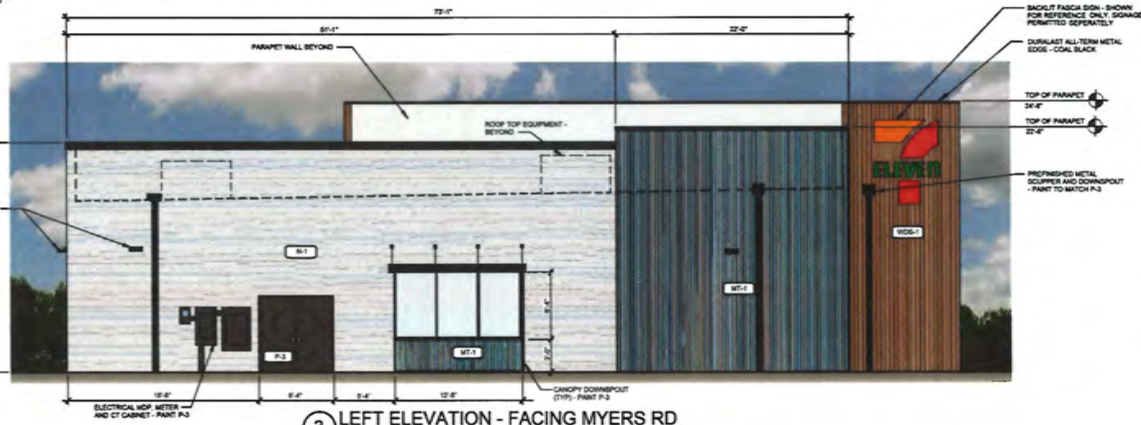
4 FRONT ELEVATION - FACING SAINT JAMES AVE.  
3/16" = 1'-0"

FINISH	MATERIAL	PATTERN
S-1	ALUMINUM STOREFRONT - KAWNEER 4011 VG - 409 BLACK FINISH	
W-1	NICHHA FIBER CEMENT PANEL - VINTAGE BRICK - PAINTED P-1	
C-1	MAPES LUMPHADE CANOPY - MATTE BLACK BAKED ENAMEL WITH REAR GUTTER CONNECTIONS	
MT-1	PAC-CLAD 22 GAUGE 1" CORRUGATED METAL WALL PANELS - SILVER	
WDS-1	NICHHA FIBER CEMENT PANEL - VINTAGE WOOD-CEDAR (AWP3030 - FOR VERTICAL INSTALLATION)	
P-1	SHERWIN WILLIAMS SW7026 "PURE WHITE"	
P-3	EXTERIOR HM DOORS, FRAMES, AND TRASH ENCLOSURE GATE - SHERWIN WILLIAMS SW 6258 "TINCORN BLACK"	

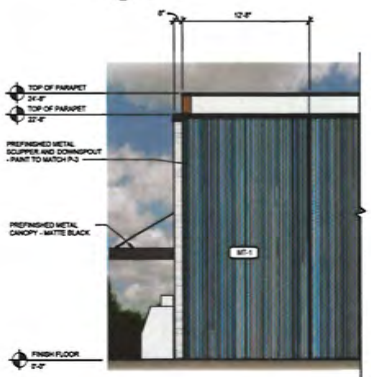
NOTE: SIGNAGE IS SHOWN FOR REFERENCE ONLY. EXACT SIGNAGE AND LOCATIONS IS TO BE PROVIDED BY OTHERS AND PERMITTED SEPARATELY.



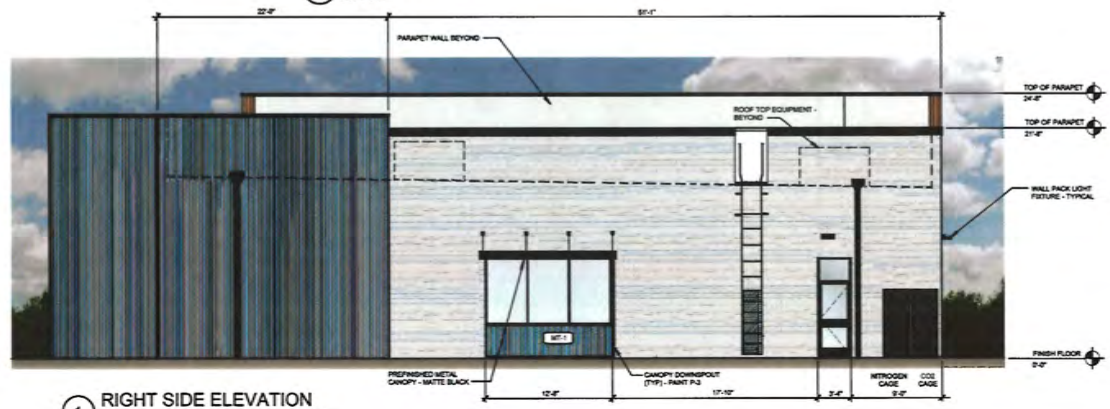
4 LEFT ELEVATION - FACING MYERS RD  
3/16" = 1'-0"



3 LEFT ELEVATION - FACING MYERS RD  
3/16" = 1'-0"



2 RIGHT SIDE ELEVATION  
3/16" = 1'-0"



1 RIGHT SIDE ELEVATION  
3/16" = 1'-0"



Scale:  
THIS DRAWING IS FOR REVIEW AND REFERENCE ONLY - NOT FOR CONSTRUCTION

Submissions:  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

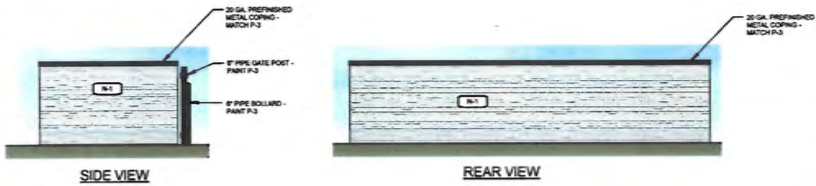
7-ELEVEN STORE  
915 SAINT JAMES AVENUE  
GOOSE CREEK, SC 29483



Job Number: 20018  
Drawn By: KAC  
Checked By:  
Print Date:  
Document Date: 10.20.21  
Sheet Name:

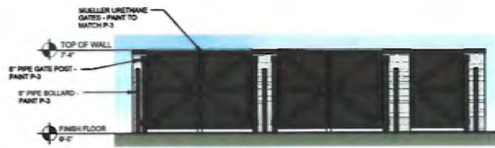
REVIEW BOARD ELEVATIONS

Sheet Number:  
RBE-1



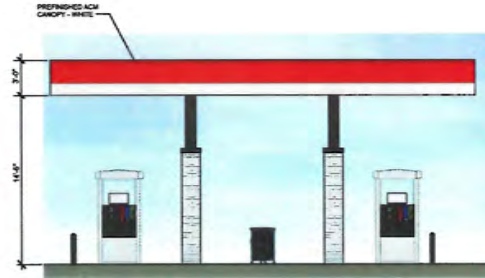
SIDE VIEW

REAR VIEW



FRONT VIEW

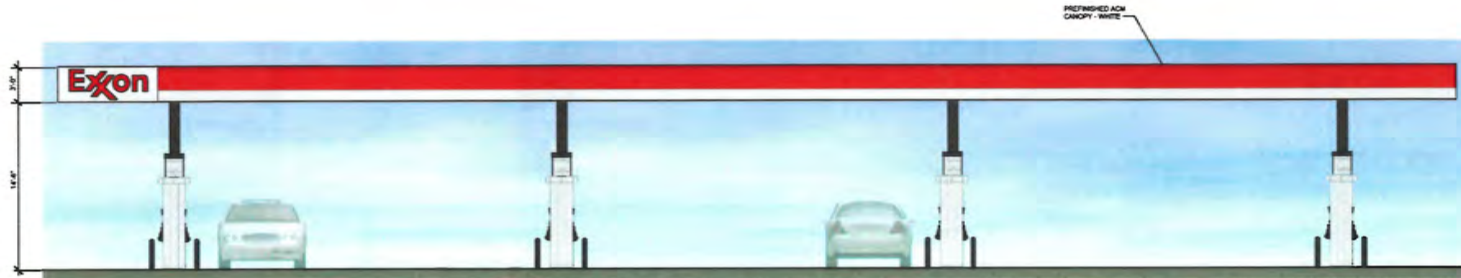
3 DUMPSTER ENCLOSURE  
3/18" = 1'-0"



2 CANOPY ELEVATION - SHORT SIDE  
3/18" = 1'-0"

FINISH	MATERIAL	PATTERN
S-1	ALUMINUM STOREFRONT - SKINNER 4511 VG - R20 BLACK FINISH	
N-1	NICHIA FIBER CEMENT PANEL - VINTAGE BRICK - PAINTED P-1	
C-1	MAPES LUMISHADE CANOPY - MATTE BLACK BAKED ENAMEL WITH REAR GUTTER CONNECTIONS	
MT-1	PAC-CLAD 22 GAUGE 1" CORRUGATED METAL WALL PANELS - SILVER	
WDS-1	NICHIA FIBER CEMENT PANEL - VINTAGE WOOD - CEDAR SW7025 - FOR VERTICAL INSTALLATION	
P-1	SHERWIN WILLIAMS SW7025 - "PURE WHITE"	
P-3	EXTERIOR HM DOORS, FRAMES, AND TRASH ENCLOSURE GATE - SHERWIN WILLIAMS SW 8258 "TRICORN BLACK"	

NOTE: SIGNAGE IS SHOWN FOR REFERENCE ONLY. EXACT SIGNAGE AND LOCATIONS IS TO BE PROVIDED BY OTHERS AND PERMITTED SEPARATELY



1 CANOPY ELEVATION - LONG SIDE  
3/18" = 1'-0"



East:  
THIS DRAWING IS FOR REVIEW AND REFERENCE ONLY - NOT FOR CONSTRUCTION

Consultant:

Submissions:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
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7-ELEVEN STORE  
915 SAINT JAMES AVENUE  
GOOSE CREEK, SC 29483



Job Number: 20018  
Drawn By: KAC  
Checked By:  
Print Date:  
Document Date: 10.20.21  
Sheet Name:

REVIEW BOARD ELEVATIONS

Sheet Number:  
RBE-2





2 VIEW FROM MYERS ROAD  
3/16" = 1'-0"



1 VIEW FROM ST. JAMES AVE.  
3/16" = 1'-0"



Scale:  
THIS DRAWING IS FOR REVIEW AND REFERENCE ONLY - NOT FOR CONSTRUCTION

Comments:

Submittals:

DATE:

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7-ELEVEN STORE  
915 SAINT JAMES AVENUE  
GOOSE CREEK, SC 29483



Job Number: 20018  
Drawn By: KAC  
Checked By:  
Photo Date:  
Document Date: 10.20.21  
Sheet Name:

PERSPECTIVE VIEWS

Sheet Number:  
RBE-3

Seal:  
THIS DRAWING IS FOR REVIEW AND REFERENCE ONLY - NOT FOR CONSTRUCTION

Consultants:

Submissions:  
DATE: \_\_\_\_\_  
\_\_\_\_\_

**7-ELEVEN STORE**  
915 SAINT JAMES AVENUE  
GOOSE CREEK, SOUTH CAROLINA



Job Number: 2020010  
Drawn By: KAC  
Checked By:  
Print Date:  
Document Date: 10.20.21  
Sheet Name:

**MATERIAL BOARD**

Sheet Number:  
**RBE-4**



NICHIHA FIBER CEMENT PANEL - VINTAGE BRICK PAINTED P-1



PAC-CLAD 22 GAGE 1" CORRUGATED METAL WALL PANELS - SILVER



MAPES LUMISHADE CANOPY - MATTE BLACK BAKED ENAMEL WITH REAR GUTTER CONNECTIONS



NICHIHA FIBER CEMENT PANEL - VINTAGE WOOD - CEDAR (AWP3030 - FOR VERTICAL INSTALLATION)





**ARB SCOPE OF WORK FORM/**

**APPLICATION / INFORMATION SUMMARY**

**DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118**

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

<b>Property Address:</b> <u>New Comet Road</u>		<b>TMS No.:</b> <u>222-00-00-183</u>
<b>Review request:</b> <input checked="" type="checkbox"/> Preliminary <input type="checkbox"/> Final	<b>For:</b> <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions <input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	<b>Preliminary meeting date requested:</b> <input type="checkbox"/> Appeal Decision of Architectural Review Board

<b>Property Owner:</b> <u>Welch Development, LLC</u>	<b>Daytime phone:</b> [REDACTED]
<b>Applicant:</b> <u>Trey Linton, Forsberg Engineering &amp; Surveying</u>	<b>Daytime phone:</b> [REDACTED]
<b>ARB Meeting Representative:</b> <u>Alicia Kinard</u>	<b>Contact Information:</b> [REDACTED]
<b>Applicant's mailing address:</b> [REDACTED]	
<b>City:</b> [REDACTED]	<b>State:</b> [REDACTED] <b>Zip:</b> [REDACTED]
<b>Applicant's e-mail address:</b> [REDACTED]	
<b>Applicant's relationship:</b> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

<b>Materials/Colors Used:</b> <i>(specific color(s)/manufacture #'s listed: samples must be presented to Board <input checked="" type="checkbox"/> attached)</i> <i>(Example: Building Materials, Exterior Colors, Landscaping, Lighting)</i>
<b>Exterior Materials:</b> 1 - Stucco - Color/ SW9180 Aged White 2 - Nichiha - Architectural Block - Grey 3 - Metal - IMETCO Latitude Architectural Metals - 12" Flat Panels with 1" Reveal - LW12S-12R10 4 - Canopies and Bahama Shutters - Metal - Hunter Green 5 - Glass on Ground Floor - East Elevation - Storefront - Clear 6 - Glass on 2nd and 3rd Floors - Standard Windows - Tinted
<b>Scope of Work:</b> <i>(please give a detailed description)</i>
<u>New 114,000 square foot Pack Rat storage facility located on parcel 222-00-00-183 at the intersection of New Comet Road and St. James Avenue.</u>

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

**Applicant's signature:**  **Date:** 10/28/2021

**Print name legibly:** Gadsden A. Linton, III





Alice B. Lanham Architect  
2978 Cane Slash Road  
Johns Island, S.C. 29455  
843-795-8735

**ABL**



NO.	DESCRIPTION	BY	DATE
01	CONCEPTUAL REVIEW	AK	08-15-2021
02	CONCEPTUAL REVIEW	AK	08-15-2021
03	CONCEPTUAL REVIEW	AK	08-15-2021
04	ELEVATION/REVISION REVIEW	AK	10-12-2021

OWNER:  
**PACK RAT HOLDINGS LLC.**  
157 E BAY STREET  
CHARLESTON, SC 29401

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
NEW COMET RD.  
GOOSE CREEK, SC 29445

TITLE PAGE /  
NOTES

TITLE:  
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DATE:  
10/12/2021

PROJECT NUMBER:  
21-06

**T1.1**

SQ. FT.	
1ST FLOOR	38,475
2ND FLOOR	37,675
3RD FLOOR	38,200
TOTAL	114,350

**PACK RAT STORAGE FACILITY**  
**NEW COMET ROAD**  
**GOOSE CREEK, SC 29445**  
**TMS# 222-00-00-183**  
**BERKELEY COUNTY, SC**

SHEET INDEX	
T1.1	TITLE PAGE/NOTES
A2.1	FRONT & LEFT ELEVATION
A2.2	REAR & RIGHT ELEVATION
A2.3	LOCATION
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.5	ROOF PLAN
A2.3	SECTIONS

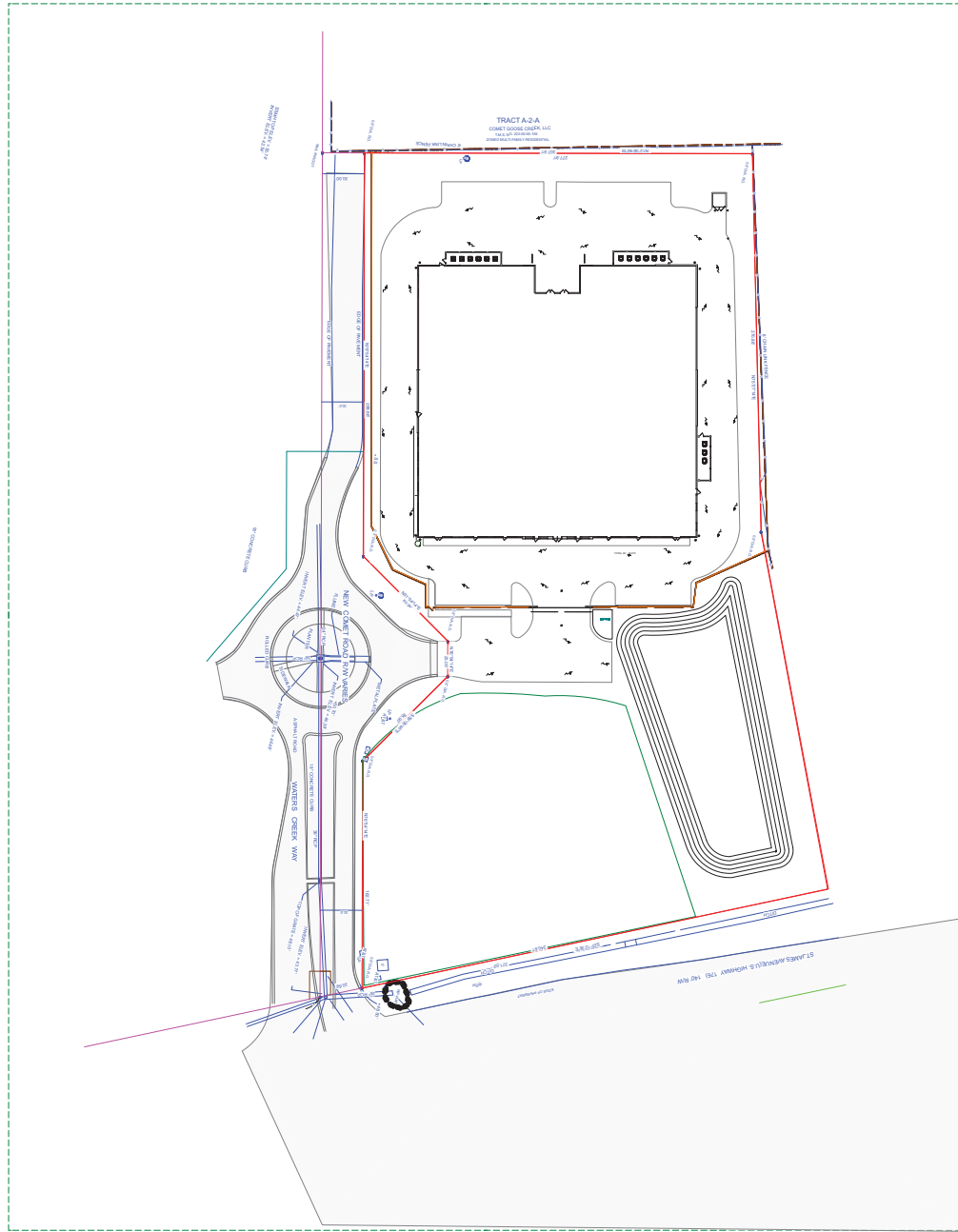
**MUNICIPALITY:**  
**CITY OF GOOSE CREEK**  
519 N. GOOSE CREEK BLVD  
GOOSE CREEK, SC 29445  
843-797-6220

**CIVIL ENGINEERING:**  
**FORSBERG ENGINEERING & SURVEYING, INC**  
ATTN: GADSDEN A. LINTON III  
PO BOX 30575 CHARLESTON, SC 29407  
843-571-2622

**STEEL BUILDING DESIGN, FABRICATION, CONSTRUCTION**  
**BETCO, INC**  
228 COMMERCE BLVD  
STATESVILLE, NC 28265  
704-768-3405

**ARCHITECT:**  
**ALICE B LANHAM**  
2978 CANE SLASH RD  
JOHNS ISLAND, SC 29455  
843-795-8735





SITE LAYOUT FOR REFERENCE ONLY. SEE FORSBERG ENGINEERING PLANS  
Scale 1" = 30'

Alice B. Lanham Architect  
2978 Cane Slash Road  
Johns Island, S.C. 29455  
843-795-8735

**ABL**



NO.	DESCRIPTION	BY	DATE
01	CONCEPTUAL REVIEW	AK	02-15-2021
02	CONCEPTUAL REVIEW	AK	02-15-2021
03	CONCEPTUAL REVIEW	AK	02-15-2021
04	ELEVATION REVISION REVIEW	AK	10-12-2021

OWNER:  
**PACK RAT HOLDINGS LLC.**  
157 E BAY STREET  
CHARLESTON, SC 29401

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
NEW COMET RD  
GOOSE CREEK, SC 29645

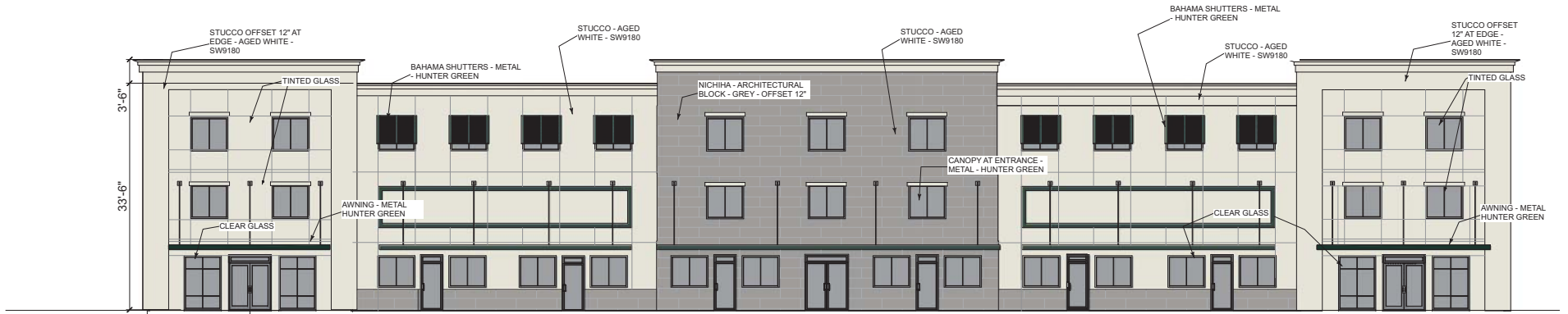
TITLE:  
**SITE LAYOUT**

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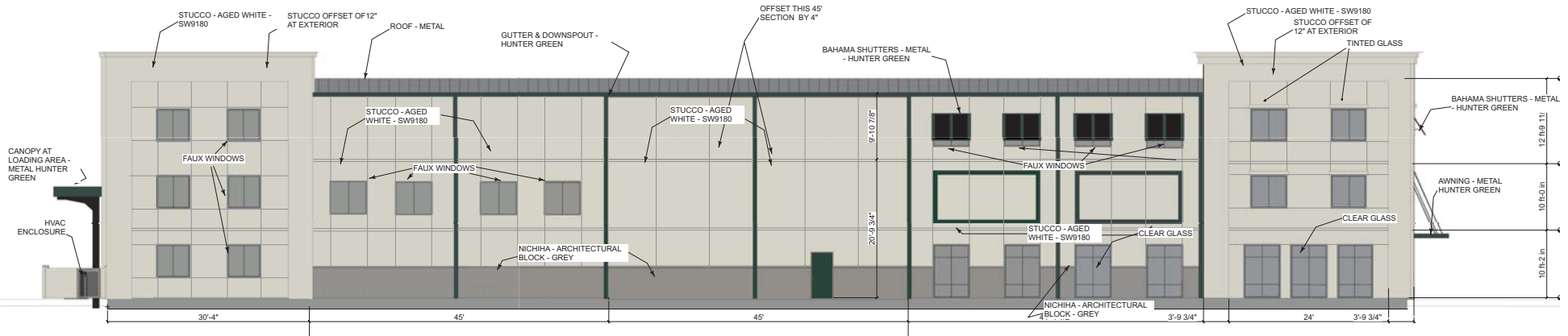
DATE:  
**10/12/2021**

PROJECT NUMBER:  
**21-06**

**S1.1**



**FRONT ELEVATION**  
Scale 3/16" = 1'



**LEFT ELEVATION**  
Scale 3/16" = 1'

Alice B. Lanham Architect  
2978 Cane Slash Road  
Johns Island, S.C. 29455  
843-795-8735

**ABL**



NO.	DESCRIPTION	BY	DATE
01	CONCEPTUAL REVIEW	AK	08-15-2020
02	CONCEPTUAL REVIEW	AK	08-15-2021
03	ELEVATION REVISION REVIEW	AK	10-12-2021

OWNER:  
**PACK RAT HOLDINGS LLC.**  
157 E BAY STREET  
CHARLESTON, SC 29401

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
NEW COME RD  
GOOSE CREEK, SC 29845

TITLE:  
**FRONT & LEFT ELEVATION**

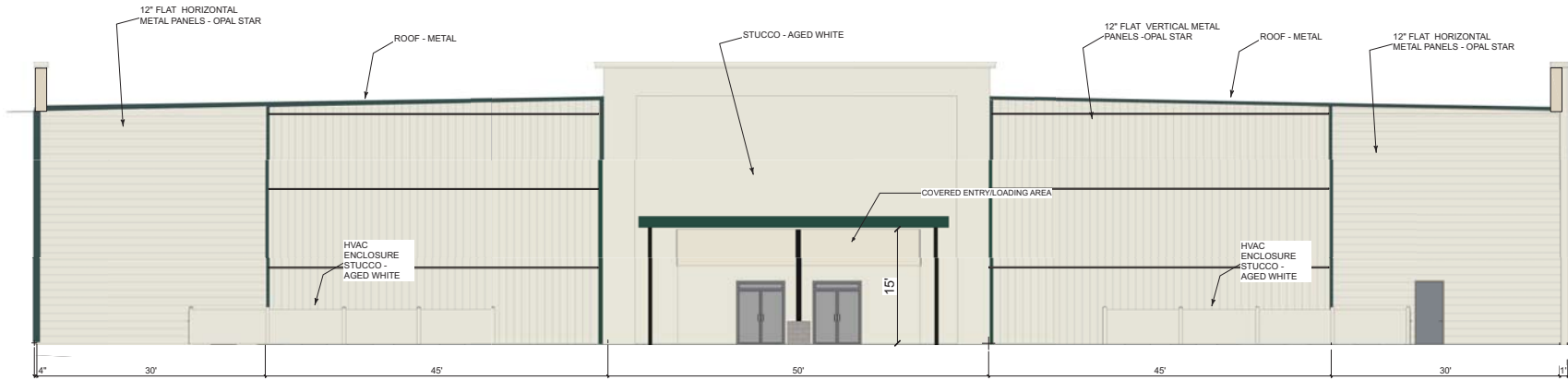
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DATE:  
**10/12/2021**

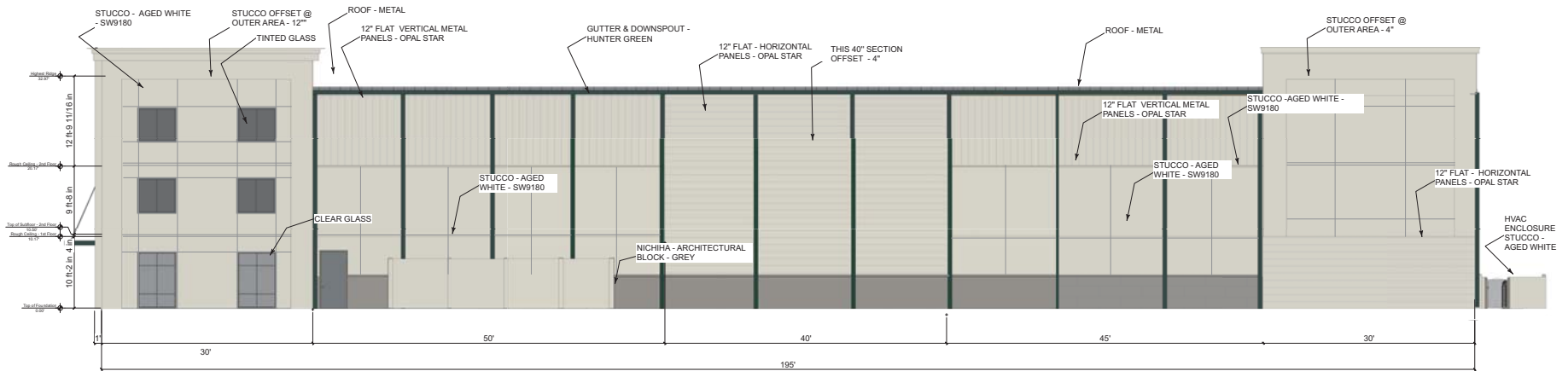
PROJECT NUMBER:  
**21-06**

**A2.1**





**REAR ELEVATION**  
Scale 3/16" = 1'



**RIGHT ELEVATION**  
Scale 3/16" = 1'

Alice B. Lanham Architect  
2978 Cane Slash Road  
Johns Island, S.C. 29455  
843-795-8735

**ABL**



NO.	DESCRIPTION	BY	DATE
01	CONCEPTUAL REVIEW	AK	08-15-2021
02	CONCEPTUAL REVIEW	AK	08-16-2021
03	CONCEPTUAL REVIEW	AK	08-16-2021
04	ELEVATION REVIEW	AK	10-12-2021

OWNER:  
**PACK RAT HOLDINGS LLC.**  
157 E BAY STREET  
CHARLESTON, SC 29401

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
NEW COMET RD  
GOOSE CREEK, SC 29845

TITLE:  
**REAR & RIGHT ELEVATION**

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DATE:  
10/12/2021

PROJECT NUMBER:  
21-06

**A2.2**

BECKSTONE APARTMENTS



THE WATERS AT ST JAMES APARTMENTS



MEDICAL BUILDING



PACK RAT SELF STORAGE - PROPOSED REAR ENTRANCE



PACK RAT SELF STORAGE - PROPOSED FRONT - FROM ST. JAMES BLVD



PACK RAT SELF STORAGE - PROPOSED LEFT FRONT

Alice B. Lanham Architect  
2978 Cane Slash Road  
Johns Island, S.C. 29455  
843-795-8735

**ABL**



NO.	DESCRIPTION	BY	DATE
01	CONCEPTUAL REVIEW	AK	08-15-2020
02	CONCEPTUAL REVIEW	AK	08-19-2021
03	CONCEPTUAL REVIEW	AK	08-19-2021
04	ELEVATION/REVISION REVIEW	AK	10-12-2021

OWNER:  
PACK RAT HOLDINGS LLC.  
157 E BAY STREET  
CHARLESTON, SC 29401

PROJECT DESCRIPTION:  
PACK RAT SELF STORAGE  
NEW COMET RD.  
GOOSE CREEK, SC 29645

LOCATION

TITLE:  
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DATE:  
10/12/2021

PROJECT NUMBER:  
21-06

A2.3



NO.	DESCRIPTION	BY	DATE
01	CONCEPTUAL REVIEW	AK	08-15-2021
02	CONCEPTUAL REVIEW	AK	08-16-2021
03	ELEVATION/SECTION REVIEW	AK	10-12-2021

OWNER:  
**PACK RAT HOLDINGS LLC.**  
157 E BAY STREET  
CHARLESTON, SC 29401

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
NEW COMET RD.  
GOOSE CREEK, SC 29645

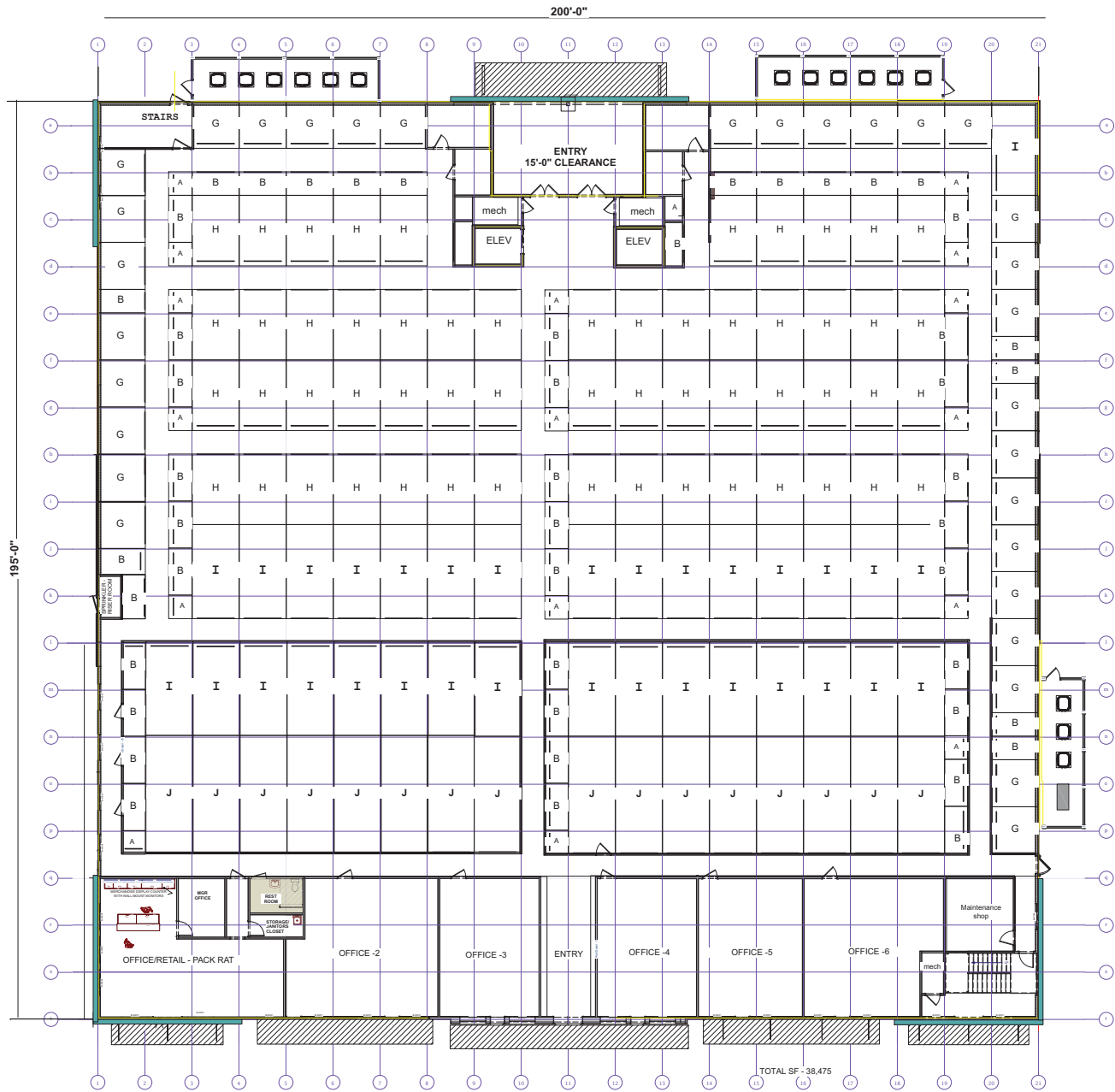
TITLE:  
**FIRST FLOOR PLAN**

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DATE:  
**10/12/2021**

PROJECT NUMBER:  
**21-06**

**A1.1**



TOTAL SF - 38,475

5330 OFFICE SPACE ON 1ST FLOOR

**FIRST FLOOR PLAN**  
Scale 1/8" = 1'

Scale 1/8" = 1' (36 X 48)  
Scale 1/16" = 1' (18 X 24)



195'-0"

200'-0"





NO.	DESCRIPTION	BY	DATE
01	CONCEPTUAL REVIEW	AK	08-15-2021
02	CONCEPTUAL REVIEW	AK	08-19-2021
03	ELEVATION/REVISION REVIEW	AK	10-12-2021

OWNER:  
**PACK RAT HOLDINGS LLC.**  
157 E BAY STREET  
CHARLESTON, SC 29401

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
NEW COMET RD.  
GOOSE CREEK, SC 29645

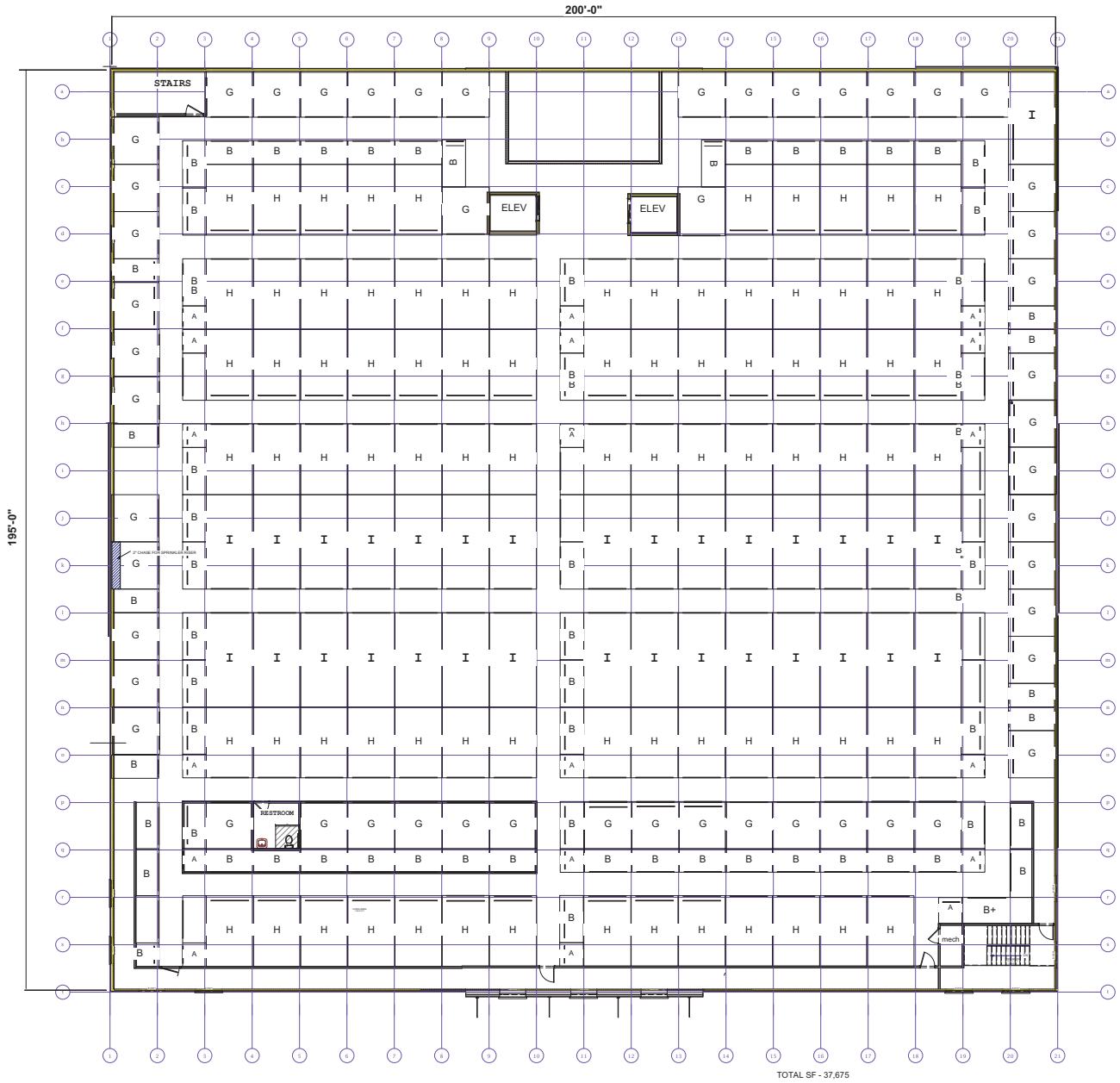
TITLE:  
**SECOND FLOOR PLAN**

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DATE:  
**10/12/2021**

PROJECT NUMBER:  
**21-06**

**A1.2**



TOTAL SF - 37,675

**SECOND FLOOR PLAN**  
Scale 1/8" = 1'

Scale 1/8" = 1' (36 X 48)  
Scale 1/16" = 1' (18 X 24)





NO.	DESCRIPTION	BY	DATE
01	CONCEPTUAL REVIEW	AK	08-15-2021
02	CONCEPTUAL REVIEW	AK	08-16-2021
03	CONCEPTUAL REVIEW	AK	08-16-2021
04	ELEVATION/REVISION REVIEW	AK	10-12-2021

OWNER:  
**PACK RAT HOLDINGS LLC.**  
157 E BAY STREET  
CHARLESTON, SC 29401

PROJECT DESCRIPTION:  
**PACK RAT SELF STORAGE**  
NEW COMET RD.  
GOOSE CREEK, SC 29645

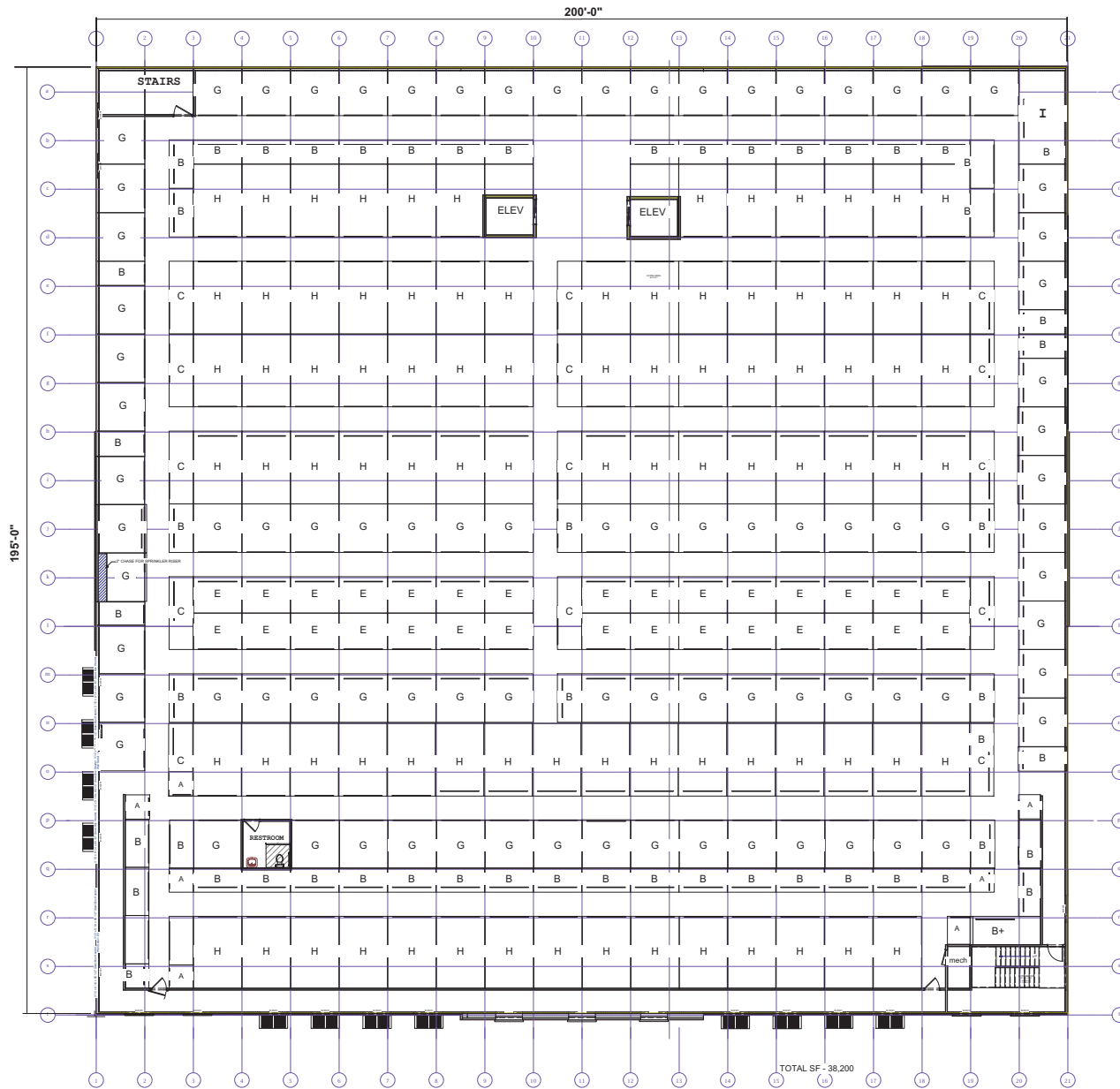
TITLE:  
**THIRD FLOOR PLAN**

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DATE:  
**10/12/2021**

PROJECT NUMBER:  
**21-06**

**A1.3**



**THIRD FLOOR PLAN**  
Scale 1/8" = 1'

Scale 1/8" = 1' (36 X 48)  
Scale 1/16" = 1' (18 X 24)

