



THE CITY OF
GOOSE CREEK

BERKELEY CO. EST. 1961 SO. CAROLINA

**SUPPORTING MATERIALS FOR
ARCHITECTURAL REVIEW BOARD
MONDAY, AUGUST 16, 2021
6:00 PM**

**MARGUERITE BROWN MUNICIPAL CENTER
CITY HALL COUNCIL CHAMBERS
519 N. GOOSE CREEK BLVD.
GOOSE CREEK, SOUTH CAROLINA**

MEMORANDUM

TO: MEMBERS OF THE ARCHITECTURAL REVIEW BOARD

FROM: LILI ORTIZ-LUDLUM, ADMINISTRATIVE ASSISTANT

DATE: AUGUST 12, 2021

SUBJECT: MEETING NOTIFICATION

WHERE: MARGUERITE H. BROWN MUNICIPAL CENTER

This is to remind everyone that the next meeting of the Architectural Review Board is scheduled for Monday, August 16, 2021 at 6:00 p.m.

Please review the enclosed packet. Should you have any questions or comments prior to Monday's meeting, please do not hesitate to contact Brenda Moneer, Planning and Zoning Technician (x1116) or Mark Brodeur, Planning and Zoning Director(x.1118) at 843-797-6220.



MINUTES

**MINUTES
CITY OF GOOSE CREEK
ARCHITECTURAL REVIEW BOARD MEETING
MONDAY, JULY 26, 2021, 6:00 P.M.
MARGUERITE H. BROWN MUNICIPAL CENTER
519 N. GOOSE CREEK BOULEVARD**

I. CALL TO ORDER, PLEDGE OF ALLEGIANCE AND ROLL CALL

Chairperson Dresel called the meeting to order at 6:00 p.m. and initiated the Pledge of Allegiance. Mrs. Moneer initiated roll call.

Present: Ricky Dresel, Jen Wise, David Cantrill, Mary Kay Soto, Teri Victor

Absent: Sharon Clopton, Gary Becker

Staff Present: Planning and Zoning Director Mark Brodeur
Planning and Zoning Technician Brenda Moneer

II. APPROVAL OF MINUTES - JUNE 21, 2021

Motion: A motion was made to accept the minutes as submitted. **Moved by** Board Member Wise, **Seconded by** Board Member Cantrill.

Discussion: None.

Vote: All voted in favor (5-0). Motion carried.

III. MINOR APPLICATIONS - NEW BUSINESS

A. 2021-045 SIG: SC FEDERAL CREDIT UNION: 82 BRIDGETOWN ROAD - SIGNAGE

A representative presented the application. She stated South Carolina Federal Credit Union is currently upfitting their facility and all new signs will be installed. She stated the building signs will be halo lit. The monument sign will have push through letters. The background will be opaque, and the letters will be illuminated. The directional will not be luminated. Discussion occurred as where the signs will be located. The applicant stated they will be placed where they are currently existing. Mr. Brodeur stated he would prefer to see the address on both sides of the monument signs.

Motion: A motion was made to accept the application as submitted. **Moved by** Board Member Soto, **Seconded by** Board Member Wise.

Discussion: Board Member Cantrill inquired as to the color of the building. The representative stated she is not sure as to the current color of the building. Mrs. Moneer presented the proposed rendering of the scope of work.

Amended Motion: An amended motion was made to accept the application as submitted with the addition that the street number be added to both sides of the monument sign. **Moved by** Board Member Soto, **Seconded by** Board Member Wise.

Vote: All voted in favor (5-0). Motion carried.

B. 2021-047 SIG: OUTLAW BARBER COMPANY: 119 PLANTATION NORTH BLVD, UNIT C -SIGNAGE

A representative presented the application. He stated this business will be located in the Goose Creek Village. He stated the sign will be internally lit channel letters.

Motion: A motion was made to accept the application as submitted. **Moved by** Board Member Wise, **Seconded by** Board Member Victor.

Discussion: None.

Vote: All voted in favor (5-0). Motion carried.

C. 2021-048 SIG: GOD'S LITTLE MASTERMINDS/ DELIVERANCE & FAITH MINISTRIES: 107 ST. JAMES AVE, SUITE B1 & B2 - SIGNAGE

A representative presented the application. The representative stated he has a change to this sign and presented to the board a new rendering. He stated it is the same design that is presented in the packet however he inverted the black and white. The sign will be opaque with white letters; the logo will stay the same. He stated this is an existing cabinet sign that is already on the building. He stated he will remove the current panel and install a new panel in its place.

Motion: A motion was made to accept the application as presented. **Moved by** Board Member Soto, **Seconded by** Board Member Cantrill.

Discussion: None.

Vote: All voted in favor (5-0). Motion carried.

D. 2021-049 ROOF: RIPLEY'S ACCOUNTING: 205 RED BANK ROAD - REROOF

A representative presented the application. He stated Ripley's Accounting currently has a flat roof which has caused problems. The proposal is to build over the roof per engineer's specifications and put an architectural vinyl siding on the front and vinyl siding on the back gable ends. The fascia would come down to meet the brick line so no siding will be needed on the sides. The representative presented material samples to the board.

Motion: A motion was made to accept the application as submitted. **Moved by** Board Member Cantrill, **Seconded by** Board Member Wise.

Discussion: None.

Vote: All voted in favor (5-0). Motion carried.

E. 2021-050 PT: DREAM LEARNING ACADEMY: 100 GOOSE CREEK BLVD – PAINT EXTERIOR AND FENCE, REPLACE EXTERIOR DOORS AND WINDOW FRAMES

A representative presented the application. He stated they are upfitting this building. He presented a rendering and material samples to the board. It was stated that signage will be presented at a later date as it was tabled at the last meeting. The board inquired if the fence would be painted. It was stated that it would be painted gray. Chairman Dresel stated it would be prudent to make a comment to spruce up landscaping and that it matches the rendering.

Motion: A motion was made to accept the application as submitted with the addition that landscape reflects the rendering and is alive and well. **Moved by** Board Member Wise, **Seconded by** Board Member Cantrill.

Discussion: Mr. Brodeur stated this site has 96 parking spaces which is a lot for a facility this size. He stated the Planning Commission has been struggling with projects that come in over parked. He stated this is a renovation so he will not suggest the removal of parking spaces, but this is an area where the City can make a facade grant to this property, and he would love to see trees planted someplace in this parking lot. He stated this is a lot of asphalt for this site and recommends a condition is made for the project that the applicant speaks to the Economic Development Department to seek a facade grant. The applicant stated there are plans on the adjacent parcel that the landowner owns for future development that would use some of the parking.

Amended Motion: A motion was made to accept the application as submitted, to spruce up current landscaping, and to suggest that the applicant speak with the City's Economic Development Department for possible grants to further spruce up the property. **Moved by** Board Member Wise, **Seconded by** Board Member Cantrill.

Vote: All voted in favor (5-0). Motion carried.

IV. OLD BUSINESS: MAJOR APPLICATIONS

A. 2021-051 RENO: MILLER CONWAY LAWYERS: 124 S. GOOSE CREEK BLVD – SECOND FLOOR ADDITION RENOVATION.

The applicant presented the application. He stated they want to add a second story to the back 1/3 of the building. He stated one point at the last meeting that he wanted to address today was clarification of the location for the Miller Conway Sign, he stated that would be submitted on a separate application but did include it on the elevation. He stated on the side the faces Evatt Street, we provided additional screening. He stated the screening would be a permanent structure with a footing in brick to screen the HVAC units. The applicant stated greenery was the initial screening that was approved for the dental office, however, to make everything cohesive, all screening will now be brick.

Motion: A motion was made to accept the application as submitted.
Moved By: Board Member Soto, **Seconded By:** Board Member Victor.

Discussion: There was none.

Vote: All voted in favor (5-0). Motion carried.

V. CLOSING REMARKS AND ADJOURNMENT

Board Member Wise stated the new Brazilian restaurant windows is full of signage. Mr. Brodeur stated they are aware. Board Member Wise inquired if there is a limit to how many times a logo can be added to a building. Mrs. Moneer stated as long as they do not exceed the sign coverage.

Mr. Brodeur stated recently staff conducted a city-wide review of all the signs existing in the city. He stated he was surprised to find how many offenders they have of window signs exceeding the allowable coverage.

Board Member Cantrill inquired as to when the Brewery will open. Mr. Brodeur stated he was not sure.

Mr. Brodeur stated one of the changes recommended by the Planning Commission to City Council is a way to improve the overall aesthetics of the signs we are receiving. The Planning Department has noticed a lot of the signs the ARB is asked to approve are simple plastic replacement signs. He stated these signs tend to be lower quality. He stated the Planning Commission recommended allowing these signs however they should have an opaque field and translucent letters. Mr. Brodeur stated this will allow light to go through so that during the day the business can have whatever background they want on the sign, but at night all you will see is the illuminated letters of the signs. It would be a lot clearer and aesthetically pleasing. He stated City Council has not adopted the sign code yet but there will be a workshop coming up.

Board Member Soto stated she was disappointed with the inconsistency of the look at Goose Creek Village. Mr. Brodeur suggested that the next time a development like this is in the city we request they come up with a sign program that is of consistent font, coverage, and placement.

Motion: A motion was made to adjourn (6:50p.m.) **Moved By:** Board Member Cantrill, **Seconded By:** Board Member Wise.

Discussion: There was none.

Vote: All voted in favor (5-0). Motion carried.

_____ Date _____
Ricky Dresel, Chairperson



NEW BUSINESS: MINOR APPLICATIONS

2021-053 SIG

LOWCOUNTRY BELL CLUB

219 S. GOOSE CREEK BLVD- SIGNAGE



CITY OF GOOSE CREEK
SIGN PERMIT APPLICATION

PAID

PERMIT #: 044268	OFFICE USE ONLY
AMOUNT DUE \$ 75.00	DATE PAID 08/02/2021
LICENSE# 16541	DATE PAID YEARLY

Permit Fee: \$75.00

Today's Date 07/30/21

1. Business Owner Jordan Wigger Business Phone [REDACTED]
 Name of Business Lowcountry Barbell Club Alternate Phone _____
 Street Address of Business Gym 219 S Goose Creek Blvd.
 Landlord/Lessor Rays Flooring Landlord's Phone [REDACTED]
 Sign Company Sign It Quick Inc Sign Co. Phone [REDACTED]
 Sign Co. Contact Carmela Renfro Sign Co. Address [REDACTED]

2. Cost of Sign(s) \$ [REDACTED] Sign Installation Cost [REDACTED] Total Cost \$ [REDACTED]

3. How many signs are you applying for? 1 How many signs does this business already have? 0

4. What kind of signs does this business already have? 0 None

5. What type of business is applying for this sign permit:
 A. A stand alone business? Yes No
 B. A part of a shopping center? Yes No If yes, shopping center name: _____

6. What is the TMS number for this property? _____

7. What is the front setback of the business in feet? 225 (The distance from the front property line to the front of business)
 A. For corner lots only, what is the front setback for second street frontage in feet? _____

8. What is the width of the business in feet? 50 (The distance from wall to wall)
 A. For corner lots only, what is the width of the business for second street frontage in feet? _____

9. What is the property's road frontage in feet? _____ (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:
- A. The storefront in relation to adjacent businesses;
 - B. The specific location of proposed sign(s) on the property or building; and
 - C. The actual sign if it already exists.

11. Please attach drawings of each proposed sign showing (drawn to scale):
- A. The completed sign as it will actually appear on the building
 - B. All dimensions;
 - C. Where the colors will appear;
 - D. The location on the property (on a plat) of proposed & existing freestanding signs
 - E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
- Please submit this application by the 1st Monday of the month for consideration that month by the ARB.
 - The ARB meets on the 3rd Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

OFFICE USE ONLY
MAX. NO. OF ALLOWED SIGNS: _____
MAX. ALLOWED SIGN AREA: _____

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

Note - this application contains multiple pages.

SIGN INFORMATION TABLE

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	wood		
Illumination: Exterior, interior or not lighted	non-illuminated		
Type of Sign:	ground		
Height (FEET)	8		
Width (feet)	4		
Area (square feet)	1167.15 32sf		
All colors used on sign	black, yellow, red, green, blue, white		
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	yes 10" x 40"		
Projection from building or cabinet width (thickness)			
Number of styles of lettering	2		
Height of letters (if channel letters)			
If mounting individual letters, space between letters			
If mounting individual letters, space between words			
If window sign, size of window			
If changeable copy sign (reader board), number of lines			
If freestanding sign, distance between sign and street curb (ft)	20ft		
If freestanding sign, total height above grade (ft)	8ft		
If freestanding sign, landscaping materials to be planted at base of sign	evergreen bushes		

Review the attached Zoning Ordinances pertaining to sign regulations.(Section 151.084) Be advised to examine them thoroughly so as to avoid violations (Section 151.999).

By signing below, you certify the above information that you provided to be true and correct.

Carmela Rengifo
Signature of Applicant

7-30-21
Date

OFFICE USE ONLY		
Remarks: _____		
Approval: Zoning Administrator _____ Issued by: _____ Date: _____		



4' x 8' 1/8" Dibond Panel
 4" x 4" x 10' Painted Posts w/ Caps

Before



After



- PMS 186 red
- PMS 375 green
- PMS 300 blue
- PMS 108 yellow
- white
- black



www.signitquick.com

5101 Dorchester Road
 North Charleston, SC 29418
 843.552.2626



219 S. Goose Creek Blvd.
 Goose Creek, SC 29445

Date: 7/30/2021
 Scale: As shown
 Designer:
 Invoice #: 84402

SIGN IT QUICK III





NEW BUSINESS: MINOR APPLICATIONS

2021-054 SIG

EXXON

670 COLLEGE PARK ROAD - SIGNAGE



**SIGN PERMIT APPLICATION
CITY OF GOOSE CREEK**

OFFICE USE ONLY

PERMIT #: 044092

AMOUNT DUE: \$ 75.00 PAID

TODAY'S DATE: 6-29-2021

PERMIT FEE: \$75.00

1. Business Owner Hess Retail Stores LLC Business Phone _____
 Name of Business EXXON Alternate Phone _____
 Street Address of Business 6710 College Park Rd.
 Landlord/Lessor _____ Landlord's Phone _____

Sign Company Total Image Solutions Sign Co. Phone [REDACTED] Sign Co. Email [REDACTED]
 Sign Co. Contact Tabitha Gauding Sign Co. Address [REDACTED]

2. Cost of Sign(s) \$ [REDACTED] Sign Installation Cost \$ [REDACTED] Total Cost \$ [REDACTED]
 3. How many signs are you applying for? 3 How many signs does this business already have? 3 (replacing)
 4. What kind of signs does this business already have? Conopy / Free Standing None
 5. What type of business is applying for this sign permit:
 A. A standalone business? Yes No
 B. A part of a shopping center? Yes No If yes, shopping center name: _____

6. What is the TMS number for this property? 233 - 00 - 00 - 049

7. What is the front setback of the business in feet? 100' (The distance from the front property line to the front of business)
 A. For corner lots only, what is the front setback for second street frontage in feet? _____

8. What is the width of the business in feet? 30' (The distance from wall to wall)
 A. For corner lots only, what is the width of the business for second street frontage in feet? _____

9. What is the property's road frontage in feet? 275' (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:
 A. The storefront in relation to adjacent businesses;
 B. The specific location of proposed sign(s) on the property or building; and
 C. The actual sign if it already exists.

OFFICE USE ONLY
 MAX. NO. OF ALLOWED SIGNS: _____
 MAX ALLOWED SIGN AREA: _____

11. Please attach drawings of each proposed sign showing (drawn to scale):
 A. The completed sign as it will actually appear on the building
 B. All dimensions;
 C. Where the colors will appear;
 D. The location on the property (on a plat) of proposed & existing freestanding signs
 E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
 • Please submit this application by the 1st Monday of the month for consideration that month by the ARB.
 • The ARB meets on the 3rd Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

SIGN INFORMATION TABLE

Note: This application contains multiple pages

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)	Plastic + metal	Plastic + metal	Plastic + metal
Illumination: Exterior, interior or not lighted	Internal	Internal	Internal
Type of Sign:	Free Standing	Canopy	Canopy
Height (FEET)	16'	30"	30"
Width (feet)	73"	72"	72"
Area (square feet)	49.6	15	15
All colors used on sign	White blue red	red + white	red + white
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	NO	NO	NO
Projection from building or cabinet width (thickness)			
Number of styles of lettering			
Height of letters (if channel letters)		32"	32"
If mounting individual letters, space between letters			
If mounting individual letters, space between words			
If window sign, size of window			
If changeable copy sign (reader board), number of lines			
If freestanding sign, distance between sign and street curb (ft)	Existing		
If freestanding sign, total height above grade (ft)	16'		
If freestanding sign, landscaping materials to be planted at base of sign	Existing		

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999)

By signing below, you certify the above information that you provided to be true and correct.

Signature of Applicant

Date

OFFICE USE ONLY	
Remarks: _____	
Approval: Zoning Administrator _____ Issued by: _____ Date: _____	





Map data ©2021, Map data ©2021 20 ft





reface 10 sign

change canopy signs

670 College Park Rd

- 
Directions
- 
Save
- 
Nearby
- 
Send to your phone
- 
Share

 670 College Park Rd, Goose Creek, SC 29445

 2W86+7R Goose Creek, South Carolina

Photos

Exxon MID Sign

Reface existing sign to Exxon Synergy - 2 product MANUAL price sign (Regular/Diesel Efficient)



totalimagesolutions.com

196 Theater Rd.
South Hill, VA 23970

P: (434) 447-3347
F: (434) 447-3266

Existing Sign: 49.6 sq. ft, 10” OAH



Proposed Sign: 49.6 sq. ft, 10” OAH



Brand	Exxon
Address	670 College Park Rd. Ladson, SC 29445
Site ID	#2850
Branded Wholesaler	Project Sonic 7 Eleven
Date	8-09-21
Revisions	1
Designed By	Raheem R.

FOR PERMITTING PURPOSES ONLY

Exxon Gas Canopy

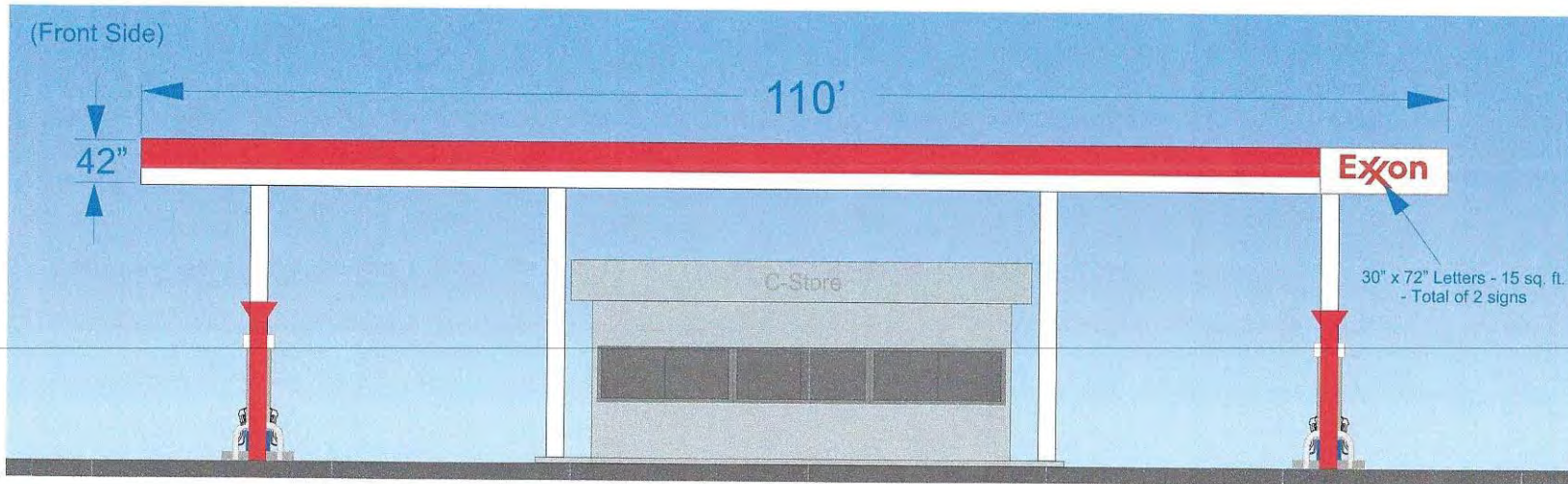
Existing Canopy:



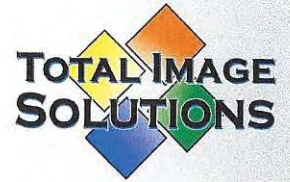
Proposed Canopy:



Secondary Fascia



Primary Fascia



totalimagesolutions.com

196 Theater Rd.
South Hill, VA 23970

P: (434) 447-3347
F: (434) 447-3266

Brand
Exxon
Address
670 College Park Rd. Ladson, SC 29445
Site ID
#2850
Branded Wholesaler
<i>Project Sonic</i> 7 Eleven
Date
6-8-21
Revisions
1
Designed By
Raheem R.

**FOR PERMITTING
PURPOSES ONLY**



NEW BUSINESS: MINOR APPLICATIONS

2021-055 PT

CROWFIELD PARK PLAZA

119 SPRINGHALL DRIVE - EXTERIOR PAINT



PERMIT APPLICATION CITY OF GOOSE CREEK, SOUTH CAROLINA

Office Use Only: Permit Numbers	
X	E
B	M
G	SP
P	DP
BL# _____	

Street Address 119 Springhall Dr Construction Group/Classification _____
 Tax Map Number 243-03-00-013 Lot 1 Block C Subdivision Crowthield
 Property Owner Sumter's Landing Phone _____
 Contractor Sari Cardoza Phone _____
 Address _____ Contractor's State License # _____
 Owner Email _____ Contractor Email _____

Scope of Work (Please use reverse side of this form for a detailed description of work) over →

Use of Improvement Single Family Duplex Apartment Commercial Other Painting
 1st Floor Heated Sq. Ft. _____ 2nd Floor Heated Sq. Ft. _____ 3rd Floor Heated/Unheated (please circle) Sq. Ft. _____
 Garage Sq. Ft. _____ Attached/Detached (please circle) Heated/Unheated (please circle) Room Over Garage Sq. Ft. _____
 Carport Sq. Ft. _____ Porch Sq. Ft. _____ Patio Sq. Ft. _____
 Number of: Baths _____ Bedrooms _____ Fireplace _____ Rooms _____ Stories _____ Units _____
 Type of Fuel: Electric - #Amps _____ Gas - # Outlets _____ Outlet Type: Range/H2O/Heat/Fire/Grill/Other
 Cost of: Mechanical \$ _____ Land \$ _____ Construction \$ 0.00

OFFICE USE ONLY

Primary Structure (sq. ft. 11000)
 Cost per sq. ft. \$ _____ Construction value \$ _____
 Secondary Structure (sq. ft. _____)
 Cost per sq. ft. \$ _____ Construction value \$ _____

Application Fee (Non-refundable) \$ _____

- PERMIT FEES**
- Primary Structure Permit Fee \$ _____
 - Primary Structure Plan Review Fee \$ _____
 - Secondary Structure Permit Fee \$ _____
 - Secondary Structure Plan Review Fee \$ _____
 - Impact Fee Res/Multi - Other \$ _____
 - Impact Fee Com/Off/Ind sq. ft. _____ \$ _____
 - Electrical Permit Fee \$ _____
 - Plumbing Permit Fee \$ _____
 - _____ sq. ft. x 2.30 = _____ Construction Value
 - Mechanical Permit Fee \$ _____
 - Gas Permit Fee \$ _____
 - Pool Permit Fee \$ _____
 - Dumpster Fee \$ _____
 - Total Fee Due** \$ _____

Notes:

Zoning Administrator _____ Date _____
 Date of ARB Approval _____
 Building Inspector _____ Date _____
 Permit Technician _____ Date _____



April 4
8:53 AM

All Photos



22

Edit





NEW BUSINESS: MINOR APPLICATIONS

2021-056 PT

103 MARILYN STREET - SIGNAGE



PERMIT APPLICATION CITY OF GOOSE CREEK, SOUTH CAROLINA

Office Use Only: Permit Numbers	
X	E
B	M
G	SP
P	DP
BL# _____	

Street Address <u>103 Marilyn St.</u>	Construction Group/Classification _____
Tax Map Number _____	Lot _____ Block _____ Subdivision _____
Property Owner <u>Howard Dynes</u>	Phone [REDACTED]
Contractor _____	Phone _____
Address [REDACTED]	Contractor's State License # _____
Owner Email [REDACTED]	for Email _____

Scope of Work (Please use reverse side of this form for a detailed description of work) over →

Use of Improvement Single Family Duplex Apartment Commercial Other exterior painting

1st Floor Heated Sq. Ft. _____ 2nd Floor Heated Sq. Ft. _____ 3rd Floor Heated/Unheated (please circle) Sq. Ft. _____

Garage Sq. Ft. _____ Attached/Detached (please circle) Heated/Unheated (please circle) Room Over Garage Sq. Ft. _____

Carport Sq. Ft. _____ Porch Sq. Ft. _____ Patio Sq. Ft. _____

Number of: Baths _____ Bedrooms _____ Fireplace _____ Rooms _____ Stories _____ Units _____

Type of Fuel: Electric - #Amps _____ Gas - # Outlets _____ Outlet Type: Range/H2O/Heat/Fire/Grill/Other _____

Cost of: Mechanical \$ _____ Land \$ _____ Construction \$ [REDACTED]

OFFICE USE ONLY

Primary Structure (sq. ft. _____)
 Cost per sq. ft. \$ _____ Construction value \$ _____

Secondary Structure (sq. ft. _____)
 Cost per sq. ft. \$ _____ Construction value \$ _____

Application Fee (Non-refundable) \$ [REDACTED]

PERMIT FEES

Primary Structure Permit Fee \$ _____

Primary Structure Plan Review Fee \$ _____

Secondary Structure Permit Fee \$ _____

Secondary Structure Plan Review Fee \$ _____

Impact Fee Res/Multi - Other \$ _____

Impact Fee Com/Off/Ind sq. ft. _____ \$ _____

Electrical Permit Fee \$ _____

Plumbing Permit Fee \$ _____

_____ sq. ft. x 2.30 = _____ Construction Value

Mechanical Permit Fee \$ _____

Gas Permit Fee \$ _____

Pool Permit Fee \$ _____

Dumpster Fee \$ _____

Total Fee Due \$ _____

Notes:

All exterior painting of a different color requires ARB Approval. Building "appears" to be residential in nature but zoning is Commercial (GC)

Please contact Brenda Moneer, at extension 1116

Zoning Administrator _____ Date _____

Date of ARB Approval _____

Building Inspector _____ Date _____

Permit Technician _____ Date _____

Scope of Work Paint brick & siding to be painted white. Doors & shutters to be black

Are there recorded covenants and restrictions for this property (ex: HOA) Yes No

Do these covenants and restrictions prohibit any of the features being constructed per this permit? Yes No

Windows -DP Rating: _____ # Windows Replaced: _____ #Doors Replaced: _____

Reroof Color and/or Style Change: Yes/No If yes, please explain: _____

HVAC Changeout: Yes/No Location of Exterior System: _____

Demolition: Yes No If yes, Attach copy of Asbestos Survey and DHEC Demolition Permit

Fire Sprinkler System: Yes No If yes, Attach State Fire Marshall approved plans to this application

DEMOLITION PERMIT INFORMATION

ASBESTOS:

S.C. DHEC Regulation 61-86.1 states that prior to commencing demolition or major renovations of regulated facilities or structures, contact the S.C. DHEC Asbestos Section to determine if there are any asbestos abatement requirements that would require permitting through their offices. For more information visit S.C. DHEC at 803-898-4289

LEAD PAINT:

Before commencing demolition, contact the Land and Waste Management of S.C. DHEC 803-896-4203 to determine identification and disposal requirements for lead contaminate construction waste.

I understand and acknowledge this information. Initial: _____

Applicant Certification

I _____ understand that if my scope of work changes in any way after the submittal and approval of this permit, I must contact the Building Permits Department for additional permits. If I perform work not permitted under this permit or another permit issued to me, a stop work order will be placed on the site of construction and all work will cease until proper permits are obtained. Permit becomes void if work authorized is not begun and/or completed within six months of the permit issue date. I have examined this application and certify it to be true and correct. I agree the work will be accomplished in accordance with all city, state, and federal codes or laws regulating construction or the performance thereof.

[Signature] owner
Signature of Contractor/Agent/Owner

8/5/21
Date

Owner
Title





NEW BUSINESS: MAJOR APPLICATIONS

2021-057 NBLD

TIME TO SHINE

539 ST JAMES AVE - SITE, LANDSCAPE, ELEVATIONS



ARB SCOPE OF WORK FORM/

APPLICATION / INFORMATION SUMMARY

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address: 539 St James Avenue - Goose Creek, SC 29445		TMS No.: 234-00-00-153
Review request:	For:	Preliminary meeting date requested: 08/16/2021
<input checked="" type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other	

Property Owner: Time to Shine Car Wash Inc.	Daytime phone: [REDACTED]	
Applicant: Wild Building Construction, Inc.	Daytime phone: [REDACTED]	
ARB Meeting Representative: Lance Wild	Contact Information: [REDACTED]	
Applicant's mailing address: [REDACTED]		
City: [REDACTED]	State: [REDACTED]	Zip: [REDACTED]
Applicant's e-mail address: [REDACTED]		
Applicant's relationship:	<input type="checkbox"/> Owner	<input type="checkbox"/> Design Professional <input checked="" type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other

Materials/Colors Used: <i>(specific color(s)/manufacture #'s listed: samples must be presented to Board <input type="checkbox"/> attached)</i> <i>(Example: Building Materials, Exterior Colors, Landscaping, Lighting)</i>
Gutters: Firestone "Electric Blue"; Downspouts: Firestone "Sierra Tan"; Fascias: Firestone "Electric Blue"; Hollow Metal Doors & Frames: Sherwin-Williams "Portabello"; Aluminum Windows & Storefront: Clear Anodized; Pre-Finished Canopy: Firestone "Firestone Red"; Brick Veneer: General Shale "Jefferson Wade Tudor" queen size; Exterior Paint Colors: Sherwin-Williams "Portabello", Sherwin-Williams "Practical Beige", White Metal Roof: Firestone "Electric Blue"
Scope of Work: <i>(please give a detailed description)</i>
Construction of a new tunnel car wash

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature: Lance A Wild **Date:** 08/02/2021

Print name legibly: Lance A. Wild



SUBMITTAL REQUIREMENTS ~ ARCHITECTURAL REVIEW BOARD
MARK BRODEUR, DIRECTOR
PLANNING AND ZONING DEPARTMENT (843) 797-6220 x1118

DEAR APPLICANT, In order for Staff and the Architectural Review Board to be able to properly evaluate your project, the following information relevant to the project needs to be included on the Project Plans submitted for review.

Staff will review your submittal against the checklist as a means to ascertain if your submittal is deemed complete. Checklist items left unaddressed may result in a postponed review. The Director may waive or add additional requirements if further clarification is needed.

The Planning & Zoning Staff want to assure you that getting your project approved through ARB is their primary goal. Therefore, we ask that you complete the checklist and scope of work in its entirety for your project. They may make suggested modifications to your project if they feel that doing so will improve the likelihood of an approval.

PART I. PREPARE A COVERSHEET WITH THE FOLLOWING INFORMATION:

- Sheet Index,
- TMS# and Address,
- Existing Zoning District, setbacks, building height, site lot coverage,
- Scale used (1"=20' or 40'),
- Vicinity Map (Any Scale),
- North Arrow,
- Aerial Photo of Site in color.

PART II. PREPARE A FULLY COLORED SITE PLAN, CLEARLY AND LEGIBLY DRAWN TO SCALE WITH THE FOLLOWING INFORMATION:

- Dimensioned Property Lines,
- Any existing buildings w/ proposed use,
- All proposed improvements including, but not limited to buildings, sidewalks, parking spaces (numbered),
- Any other site details (i.e. screen walls, trash enclosures, dumpsters, trellises, loading, storage areas,
- Proposed Landscape Plan including location, size, and common name,
- Tree Survey (separate sheet please) including number of all hardwood trees at least 8 inches in diameter, and which trees will be removed, and which trees will remain,
- Buildings on adjacent site that are within 40 feet of any property line. Simple outline will suffice,
- Dimensioned setbacks of proposed building(s).

PART III. PREPARE EXTERIOR BUILDING ELEVATIONS FOR ALL FOUR SIDES OF THE BUILDING THAT ARE DRAWN CLEARLY AND LEGIBLY TO SCALE WITH THE FOLLOWING INSTRUCTIONS:

- Building Elevations with height and width dimensions,
- Doors and window locations,
- Roof Elements,
- 3-D dimensional analysis of building elevation with appropriate landscape materials shown,
- Proposed design details, including any pedestrian seating areas, awnings and other overhead weather protection measures, fences, walls, balconies, bay windows, building materials, colors, and proposed exterior lighting,
- North Arrow,
- Aerial Photo of Site in color.

PART IV: DRAWING FORMAT

- All drawings must be to scale and have a graphic scale,
- All sheets in the submittal must be the same size,
- Drawing Sheets must have a Title Block with project names, labeled for Architectural Review Board Review and submittal and revision dates

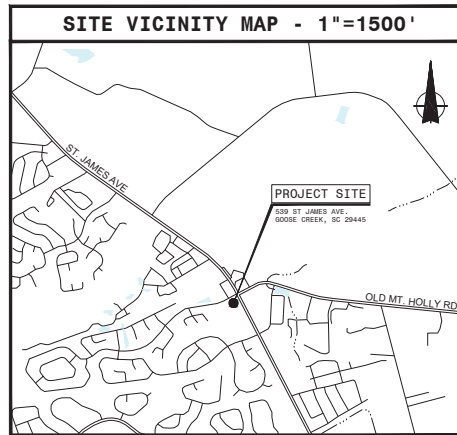
Please note this page must accommodate the ARB Scope of Work Form to be considered a valid application.

ARCHITECTURAL REVIEW BOARD PLANS FOR TIME TO SHINE AT ST JAMES AVE.

IN CITY OF GOOSE CREEK, SC

GENERAL NOTES:

1. A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.
2. WITHIN ALL NOTES, THE TERM CONTRACTOR SHALL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR OR VENDOR PERFORMING CONSTRUCTION ON THE SITE.
3. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS, OR IN THE FIELD PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER.
4. BOUNDARY AND TOPOGRAPHY HAS NOT BEEN FIELD VERIFIED BY THE ENGINEER. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING FIELD CONDITIONS AND REPORT ANY DISCREPANCIES OR CONFLICTS TO THE ENGINEER PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT THE STATE'S LOCATION SERVICE AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
6. THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF FEDERAL, STATE, COUNTY AND LOCAL MUNICIPALITIES.
7. ALL MATERIALS, METHODS, AND DETAILS OF CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND REGULATIONS OF THE BERKELEY COUNTY, THE CITY OF GOOSE CREEK, SOUTH CAROLINA DEPARTMENT OF HEALTH & ENVIRONMENTAL CONTROL (SCDHEC), & SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION (SDOT).
8. ALL RIGHT-OF-WAY CONSTRUCTION SHALL MEET LOCAL AND STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, LATEST EDITION.
9. THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE, & LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
10. THE CONTRACTOR SHALL VERIFY THAT ALL NECESSARY PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED PRIOR TO THE START OF THE PROJECT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING INFRASTRUCTURE WITHIN THE SITE OR ADJOINING PROPERTIES (I.E. PAVEMENT, CURB, SIDEWALK, UTILITIES, LANDSCAPED AREAS ETC.). THE CONTRACTOR SHALL REPAIR/REPLACE ALL DAMAGED ITEMS IMMEDIATELY, IF NECESSARY, OR PRIOR TO THE END OF THE JOB AND AT NO COST TO THE OWNER IN ACCORDANCE WITH LOCAL REGULATORY REQUIREMENTS.
12. CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES, AS REQUIRED.
13. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF ALL UTILITIES BY THE APPROPRIATE UTILITY COMPANY AND SUBCONTRACTORS PERFORMING WORK TO AVOID CONFLICTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR SCHEDULING INSTALLATION OF ALL UTILITIES IN A TIMELY, ORGANIZED, AND SYSTEMATIC MANNER.
14. IN THE EVENT OF A CONFLICT WITH WATER, SEWER, DRAINAGE OR OTHER UTILITY LINES, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER PRIOR TO MAKING FIELD ADJUSTMENTS.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL etc. IN A LEGAL MANNER.
16. THE CONTRACTOR SHALL REFERENCE THE PROJECT GEOTECHNICAL REPORT AND COMPLY WITH ALL REPORT RECOMMENDATIONS. IF A CONFLICT ARISES BETWEEN CIVIL DOCUMENTS AND GEOTECHNICAL REPORT, THE MORE STRINGENT SHALL GOVERN.



SHEET INDEX		NO.	DATE
SITE CIVIL			
C-001	COVER SHEET		
C-002	EXISTING CONDITIONS		
C-101	SITE PLAN		
C-102	SITE PLAN W/ AERIAL OVERLAY		
C-103	LANDSCAPE PLAN		
ARCHITECTURAL			
A-1	FLOOR PLAN		
A-2	EXTERIOR ELEVATIONS		
A-3-1	EXTERIOR ELEVATIONS COLOR (EXIT & ENTRY)		
A-3-2	EXTERIOR ELEVATIONS COLOR (TUNNEL & OFFICE)		
A-4-1	SITE PERSPECTIVES		
A-4-2	SITE PERSPECTIVES		
A-5-1	BUILDING PERSPECTIVES		

DEVELOPED BY
TIME TO SHINE CAR WASH, INC.

LAND DISTURBANCE
41.3 ACRES



PROJECT CONTACTS

<p>DEVELOPER/OWNER TIME TO SHINE CAR WASH, INC. 2814 BYINGTON SOLWAY RD. KNOXVILLE, TN 37951 CONTACT: MIKE ROPER PHONE: (803)760-3437 EMAIL: MROPER@ROCMCAST.NET</p>	<p>ENGINEER JACOB RICE ENGINEERING, LLC 14 CALENDAR CT. COLUMBIA, SC 29206 CONTACT: ALDEN LIVINGSTON PHONE: (803)760-3437 EMAIL: ALDLIVINGSTON@CORRECTENGINEERING.COM</p>	<p>SURVEYOR SURVEYING & MAPPING, LLC (SAM) 6904 N. MAIN ST., SUITE 102 COLUMBIA, SC 29203 CONTACT: DON WILSON PHONE: (803)764-1902 EMAIL: DON.WILSON@SAM.BIZ</p>	<p>ARCHITECT FALCONIER DESIGN 4622 CHAMBLISS AVE. KNOXVILLE, TN 37919 CONTACT: GRAMM FOX PHONE: (865)584-7868 EMAIL: GRAMM.FOX@FALCONIER.NET</p>	<p>CONTRACTOR WILD BUILDING CONSTRUCTION, INC. 225 W. 1st NORTH STREET, SUITE 102 KNOXVILLE, TN 37814 CONTACT: LANCE WILDS PHONE: (423)581-5639 EMAIL: LANCE@WILDBUILDING.COM</p>	<p>PLANNING & ZONING CITY OF GOOSE CREEK 519 NORTH GOOSE CREEK BLVD. GOOSE CREEK, SC 29446 CONTACT: PHONE: (843)797-6220 EMAIL:</p>	<p>STORMWATER BERKELEY COUNTY 1003 HWY 52 BONNS CORNER, SC 29461 CONTACT: PHONE: (843)719-4234 EMAIL:</p>	<p>**** THE INDIVIDUALS LISTED **** HERE-IN ARE INTENDED TO BE POINTS OF CONTACT AND ARE NOT NECESSARILY THE PROFESSIONALS OF RECORD. REFER TO THE INDIVIDUAL DISCIPLINE PLANS FOR INFORMATION REGARDING THE RESPECTIVE PROFESSIONALS OF RECORD.</p>
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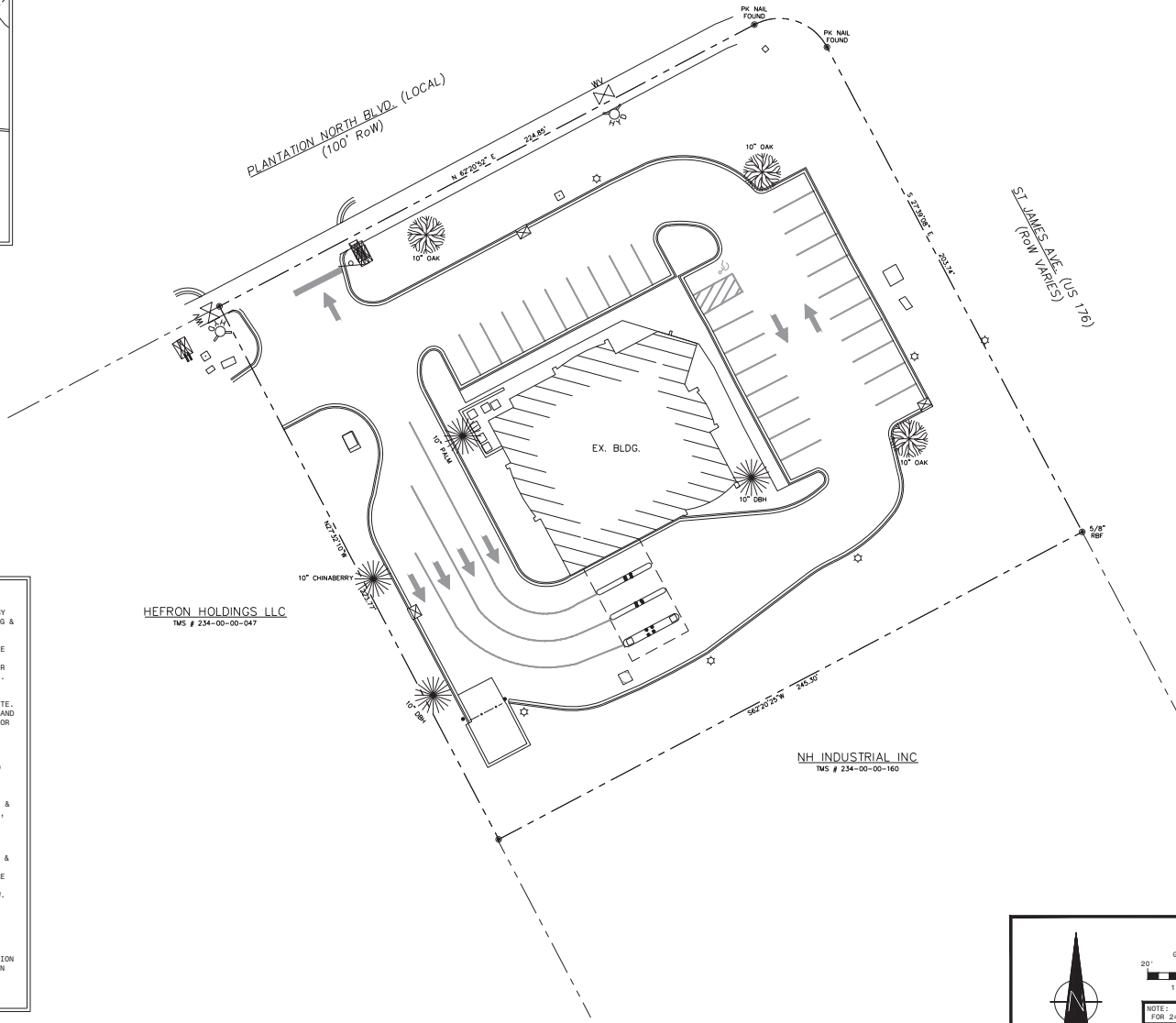
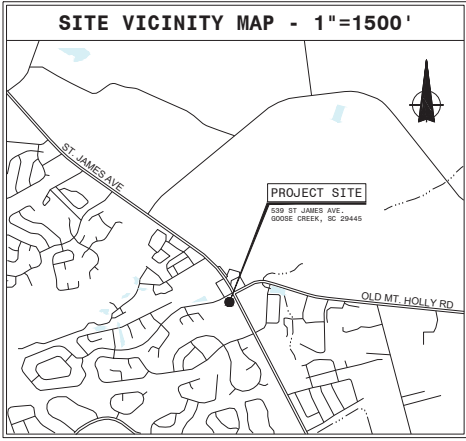
DRAWING NUMBER
C-001

PRELIMINARY - NOT FOR CONSTRUCTION

**TIME TO SHINE AT ST JAMES AVE.
CITY OF GOOSE CREEK, SC
TIME TO SHINE CAR WASH, INC.
COVER SHEET**



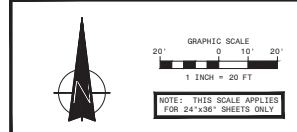
803.760.3437
14 CALENDAR CT
COLUMBIA, SC 29206



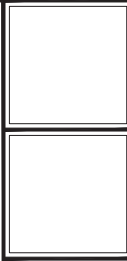
- MAP & DEMOLITION NOTES:**
1. ALL EXISTING BOUNDARY INFORMATION PROVIDED BY PARKER LAND SURVEYING, LLC (SEALED BY RICHARD A. ALDRIDGE ON MAY 12, 2021) & TOPOGRAPHY INFORMATION PROVIDED BY SURVEYING & MAPPING, LLC (SAM) (SEALED BY DON WILLSON ON JULY 30, 2021).
 2. TRANSFER OF SITE BENCHMARK(S) IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL ONLY BE COMPLETED BY A SURVEYOR LICENSED/REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.
 3. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING BENCHMARK(S) PRIOR TO ANY CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. FIELD VERIFICATION CAN BE ACCOMPLISHED BY CHECKING A MINIMUM OF TWO FIXED OBJECTS DISPLAYED ON THE SURVEY (I.E. MANHOLE RIM, STORM GRATE, PIPE INVERTS, ETC.).
 4. THE CONTRACTOR SHALL FIELD VERIFY ALL ITEMS TO BE DEMOLISHED & REMOVED FROM THE SITE. THE VERIFICATION PROCESS SHALL INCLUDE VISITING & WALKING THE SITE WITH THE OWNER AND THE ENGINEER. ALL ITEMS REQUIRING DEMOLITION/REMOVAL, WHETHER SHOWN ON THIS PLAN OR NOT, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 5. PRIOR TO THE COMMENCEMENT OF CLEARING, THE CONTRACTOR SHALL WALK THE SITE WITH THE OWNER & ENGINEER TO IDENTIFY TREES AND/OR VEGETATION TO REMAIN. PROTECTION OF IDENTIFIED TREES AND/OR VEGETATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 6. ALL DEMOLISHED ITEMS/MATERIALS OR ANY ITEMS THAT ARE NOT SALVAGED SHALL BE REMOVED FROM THE PROJECT SITE & DISPOSED OF IN ACCORDANCE WITH APPLICABLE CODES.
 7. THERE SHALL BE NO BURNING ON-SITE.
 8. EROSION & SEDIMENT CONTROL SERVICES MUST BE IN PLACE PRIOR TO DEMOLITION. REFER TO THE CONSTRUCTION SEQUENCE ON GENERAL NOTES SHEET C-002. FIRST, CLEARING, GRUBBING, & DEMOLITION SHALL BE LIMITED TO INSTALL PERIMETER CONTROL BIPs (INCLUDES SILT FENCE, INLET PROTECTION FOR EXISTING STRUCTURES, & CONSTRUCTION ENTRANCE(S)).
 9. IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER & APPROPRIATE AGENCIES FOR PROPER REMOVAL & DISPOSAL.
 10. ANY TREES TO BE CLEARED SHALL BE REMOVED OF STUMPS AND ROOT SYSTEM ENTIRELY.
 11. IF ENCOUNTERED, WELLS & SEPTIC TANKS SHALL BE ACCURATELY LOCATED BY THE CONTRACTOR & THE SURROUNDING AREA SHALL BE BARRICADED & GRADES SHALL BE MAINTAINED IN THE AREA SUCH THAT SURFACE RUNOFF CANNOT ENTER THE OPENING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER & OWNER IMMEDIATELY.
 12. APPLICABLE SCOOT PERMITS SHALL BE OBTAINED BEFORE PERFORMING ANY WORK IN SCOOT R/W.
 13. PROPOSED WORK ON ADJACENT PROPERTIES SHALL NOT TAKE PLACE PRIOR TO PERMISSION/TEMPORARY CONSTRUCTION EASEMENTS ARE OBTAINED.
 14. SIDEWALK, CURB, AND GUTTER TO BE REMOVED AND REPLACED FROM JOINT TO JOINT.
 15. CONTRACTOR TO SHI CUT, WHERE APPLICABLE, FOR SMOOTH JOINTS. JOINTS SHALL NOT BE ALIGNED WITH WHEEL PATH.
 16. THE CONTRACTOR SHALL DEMOLISH EXISTING BUILDING, CANOPIES, ACCESSORY STRUCTURES, FOUNDATIONS, ATTACHED UTILITIES, ASPHALT, & CURB & GUTTER, ETC. INSIDE THE DEMOLITION LIMITS ENTIRELY, EXCEPT WHERE SHOWN. REFERENCE SHEET C-401 FOR UTILITIES TO REMAIN FULLY OPERATIONAL.
 17. THE CONTRACTOR SHALL COORDINATE WITH THE APPLICABLE UTILITIES FOR THE REMOVAL / RELOCATION OF EXISTING UTILITIES (UNDERGROUND & OVERHEAD).

HEFRON HOLDINGS LLC
TMS # 234-00-00-047

NH INDUSTRIAL INC
TMS # 234-00-00-160



PRELIMINARY - NOT FOR CONSTRUCTION



803.761.3437
14 CALLENGER CT
COLUMBIA, SC 29006

NO.	REVISIONS	DATE

DESIGNED BY: []
DRAWN BY: []
CHECKED BY: []
DATE: []
JOB NO: 24000
SCALE: 1"=20'

EXISTING CONDITIONS

TIME TO SHINE AT ST JAMES AVE
CITY OF GOOSE CREEK, SC
IN
TIME TO SHINE CAR WASH, INC.

DRAWING NUMBER
C-002

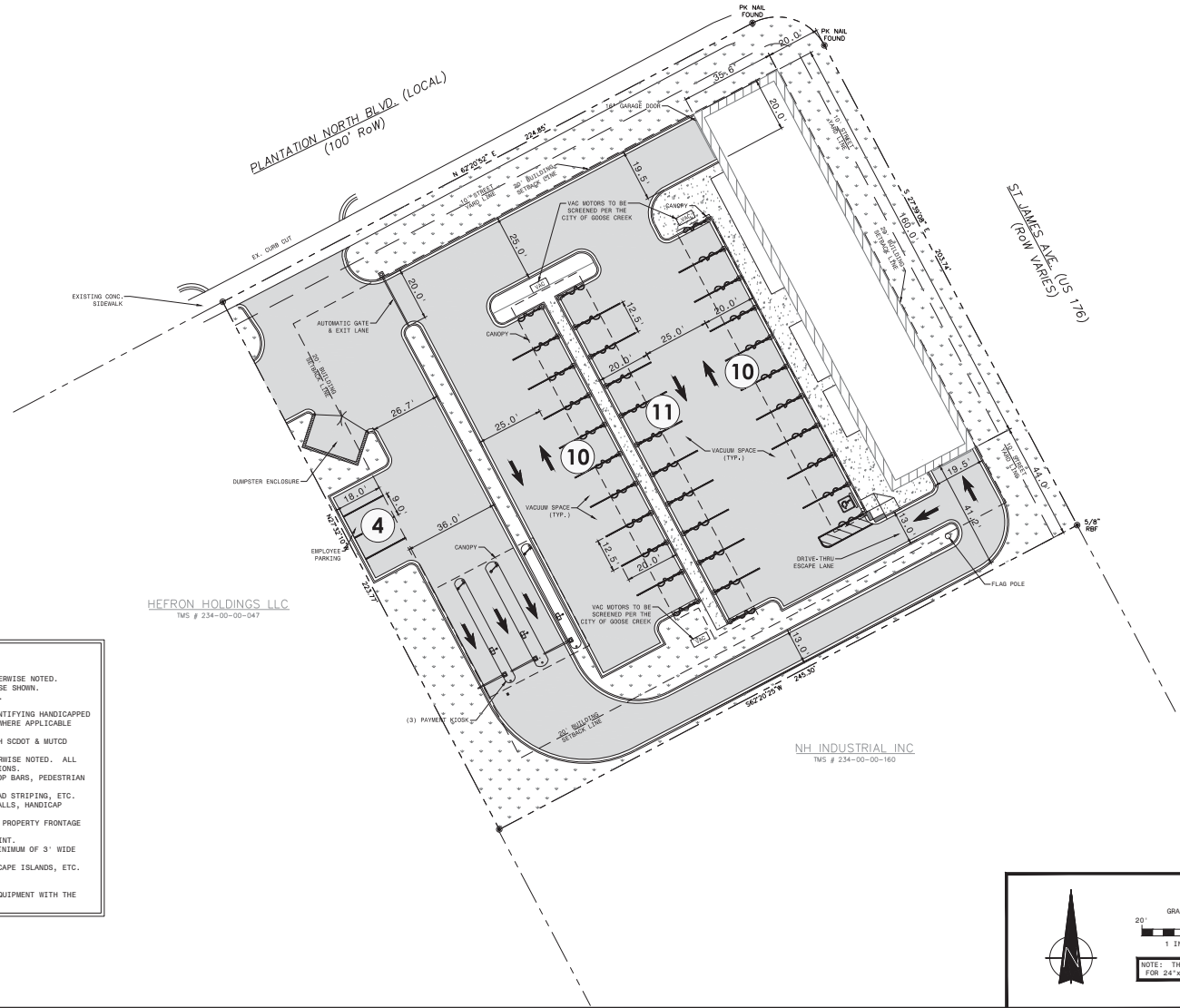
LOT SUMMARY:
 ADDRESS: 539 ST JAMES AVE., GOOSE CREEK, SC 29445
 TMS # 234-00-00-153
 TOTAL PROJECT SITE AREA: ±1.26 ACRES
 ZONING: GENERAL COMMERCIAL
 EXISTING LAND USE: VACANT COMMERCIAL
 PROPOSED USE: AUTOMOBILE SERVICE STATION (AUTOMATED CAR WASH)
 LOT REQUIREMENTS:
 - SETBACKS: FRONT - 20', REAR - 20', & SIDE - 10'
 - BUFFER YARDS: NONE
 - STREET YARD: 10'
 - MAX. PERCENTAGE SURFACE PAVEMENT: 80%
 PROPOSED BUILDING:
 - BUILDING AREA (GFA): ±5,200 SF
 REQUIRED PARKING: 1 SPACE PER 250 SF
 PROPOSED PARKING:
 - TOTAL PROPOSED PARKING: 35 SPACES
 (30) STANDARD PARKING SPACE
 (1) VAN ACCESSIBLE HANDICAP VACUUM SPACE
 (4) STANDARD SPACE (EMPLOYEE PARKING)

LEGEND

- CONCRETE PAVEMENT
- LANDSCAPED AREA (SEE LANDSCAPE PLAN)
- CONCRETE SIDEWALK
- VAC VACUUM MOTOR / EQUIP.
- VACUUM STATION

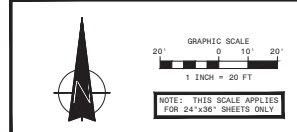
SITE NOTES:

- SEE GENERAL NOTES, SHEET C-002.
- ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RADI MEASURED FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE SHOWN.
- ALL PROPOSED CURB & GUTTERS TO BE 18" BARRIER TYPE UNLESS SHOWN OTHERWISE.
- ALL SIDEWALKS, STRIPING, & SIGNAGE TO BE ADA & MUTCD COMPLIANT.
- THE CONTRACTOR SHALL FURNISH & INSTALL "HANDICAP PARKING" SIGNS WITH IDENTIFYING HANDICAPPED SYMBOL AT ALL HANDICAPPED PARKING STALLS. INCLUDE VAN ACCESSIBLE SIGN, WHERE APPLICABLE (SEE DETAILS).
- THE CONTRACTOR SHALL FURNISH & INSTALL ALL SIGNS SHOWN IN ACCORDANCE WITH SCOT & MUTCD SPECIFICATIONS.
- ALL PARKING LOT STRIPING TO BE 4" WIDE TRAFFIC MARKING PAINT UNLESS OTHERWISE NOTED. ALL PAINT SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ITEMS TO BE PAINTED WHITE INCLUDE BUT NOT LIMITED TO: TRAFFIC ARROWS, STOP BARS, PEDESTRIAN CROSSINGS, NON ADA AISLES, & NON ADA PARKING STALLS.
- ITEMS TO BE PAINTED YELLOW INCLUDE BUT NOT LIMITED TO: DOUBLE YELLOW, ROAD STRIPING, ETC.
- ITEMS TO BE PAINTED BLUE INCLUDE BUT NOT LIMITED TO: HANDICAP PARKING STALLS, HANDICAP SYMBOLS, HANDICAP ACCESS AISLES, & ADA CROSSING AREAS.
- CONTRACTOR TO REMOVE AND REPLACE DAMAGED SIDEWALK OR CURB & GUTTER ALONG PROPERTY FRONTAGE AS NECESSARY.
- SIDEWALK AND CURB AND GUTTER TO BE REMOVED AND REPLACED FROM JOINT TO JOINT.
- IN PRESENCE OF SIDEWALK OR OTHER ADA PATHWAYS, ACCESS(ES) TO PROVIDE A MINIMUM OF 3' WIDE PEDESTRIAN PATH OF NO GREATER CROSS SLOPE THAN 2%.
- REFER TO THE LANDSCAPE PLAN FOR PROPOSED PLANTINGS IN BUFFERYARDS, LANDSCAPE ISLANDS, ETC.
- CONTRACTOR TO COORDINATE LOCATION OF BOLLARDS WITH THE OWNER/DEVELOPER.
- CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING.
- CONTRACTOR TO REFER TO OWNER'S EQUIPMENT PLAN & COORDINATE LOCATION OF EQUIPMENT WITH THE OWNER/DEVELOPER.



HEFRON HOLDINGS LLC
 TMS # 234-00-00-D47

NH INDUSTRIAL INC
 TMS # 234-00-00-160



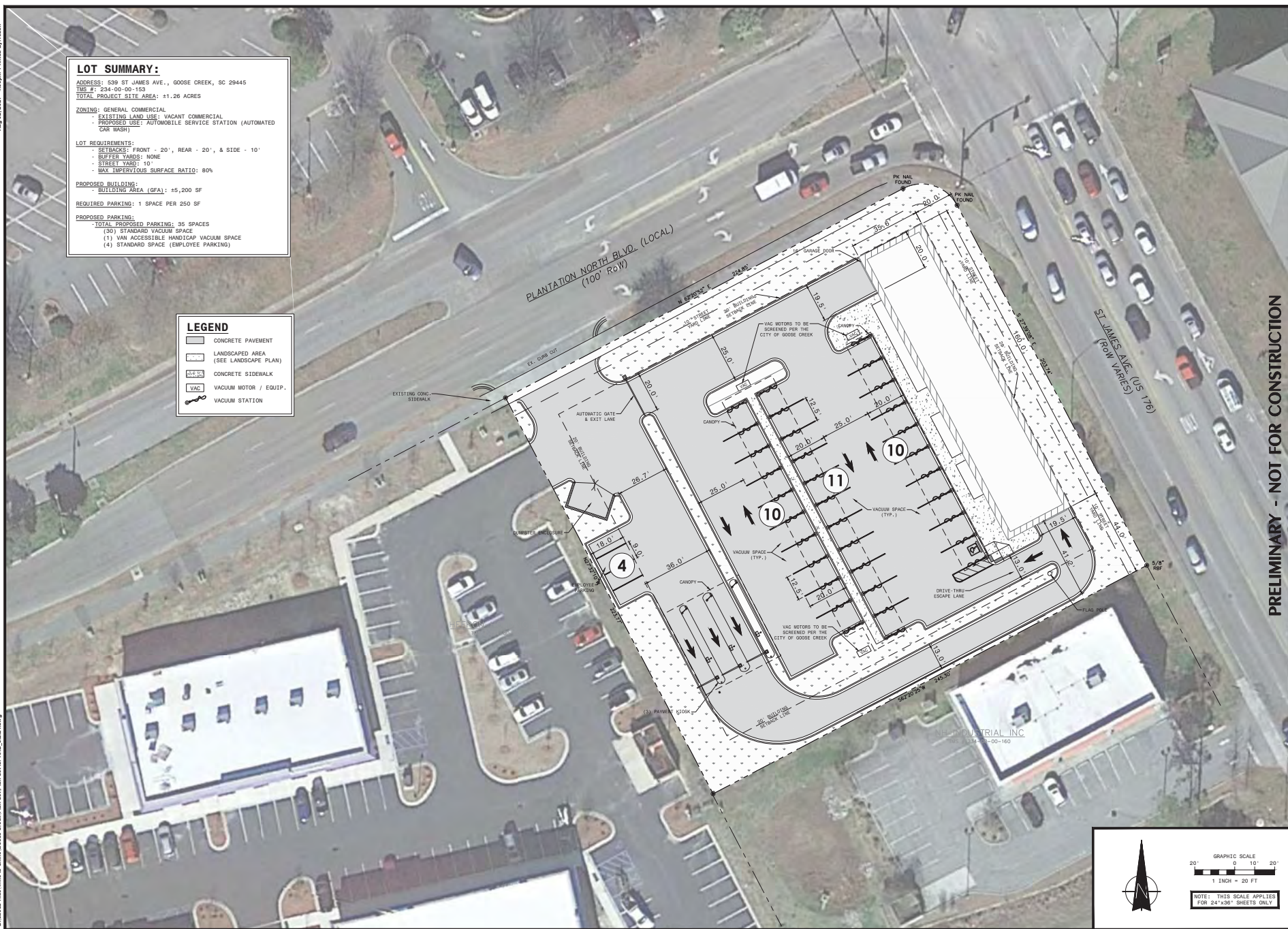
PRELIMINARY - NOT FOR CONSTRUCTION

JACOB RICE ENGINEERING	
503 761 3427 51 CALLENGER CT COLUMBIA, SC 29306	
DATE	
REVISIONS	
DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____ DATE: _____ JOB NO: 24000 SCALE: 1"=20'	
TIME TO SHINE AT ST JAMES AVE CITY OF GOOSE CREEK, SC TIME TO SHINE CAR WASH, INC. IN THE SITE PLAN	
DRAWING NUMBER	
C-101	

LOT SUMMARY:
 ADDRESS: 539 ST JAMES AVE., GOOSE CREEK, SC 29445
 TMS # 284-00-00-150
 TOTAL PROJECT SITE AREA: ±1.26 ACRES
 ZONING: GENERAL COMMERCIAL
 EXISTING LAND USE: VACANT COMMERCIAL
 PROPOSED USE: AUTOMOBILE SERVICE STATION (AUTOMATED CAR WASH)
 LOT REQUIREMENTS:
 - SETBACKS: FRONT - 20', REAR - 20', & SIDE - 10'
 - BUFFER YARDS: NONE
 - STREET VACS: 10'
 - MAX. IMPERVIOUS SURFACE RATIO: 80%
 PROPOSED BUILDING:
 - BUILDING AREA (GFA): ±5,200 SF
 REQUIRED PARKING: 1 SPACE PER 250 SF
 PROPOSED PARKING:
 - TOTAL PROPOSED PARKING: 35 SPACES
 (30) STANDARD VACUUM SPACE
 (1) VAN ACCESSIBLE HANDICAP VACUUM SPACE
 (4) STANDARD SPACE (EMPLOYEE PARKING)

LEGEND

- CONCRETE PAVEMENT
- LANDSCAPED AREA (SEE LANDSCAPE PLAN)
- CONCRETE SIDEWALK
- VACUUM MOTOR / EQUIP.
- VACUUM STATION



PRELIMINARY - NOT FOR CONSTRUCTION

JACOB RICE ENGINEERING

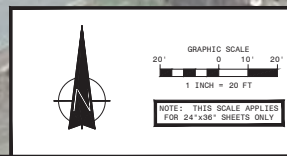
503.761.3437
 51 CALLENGER CT
 COLUMBIA, SC 29906

NO.	REVISIONS	DATE

DESIGNED BY: [blank]
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 DATE: [blank]
 JOB NO: 24000
 SCALE: 1"=40'

TIME TO SHINE AT ST JAMES AVE
 CITY OF GOOSE CREEK, SC
TIME TO SHINE CAR WASH, INC.
 SITE PLAN W/ AERIAL OVERLAY

DRAWING NUMBER
C-102

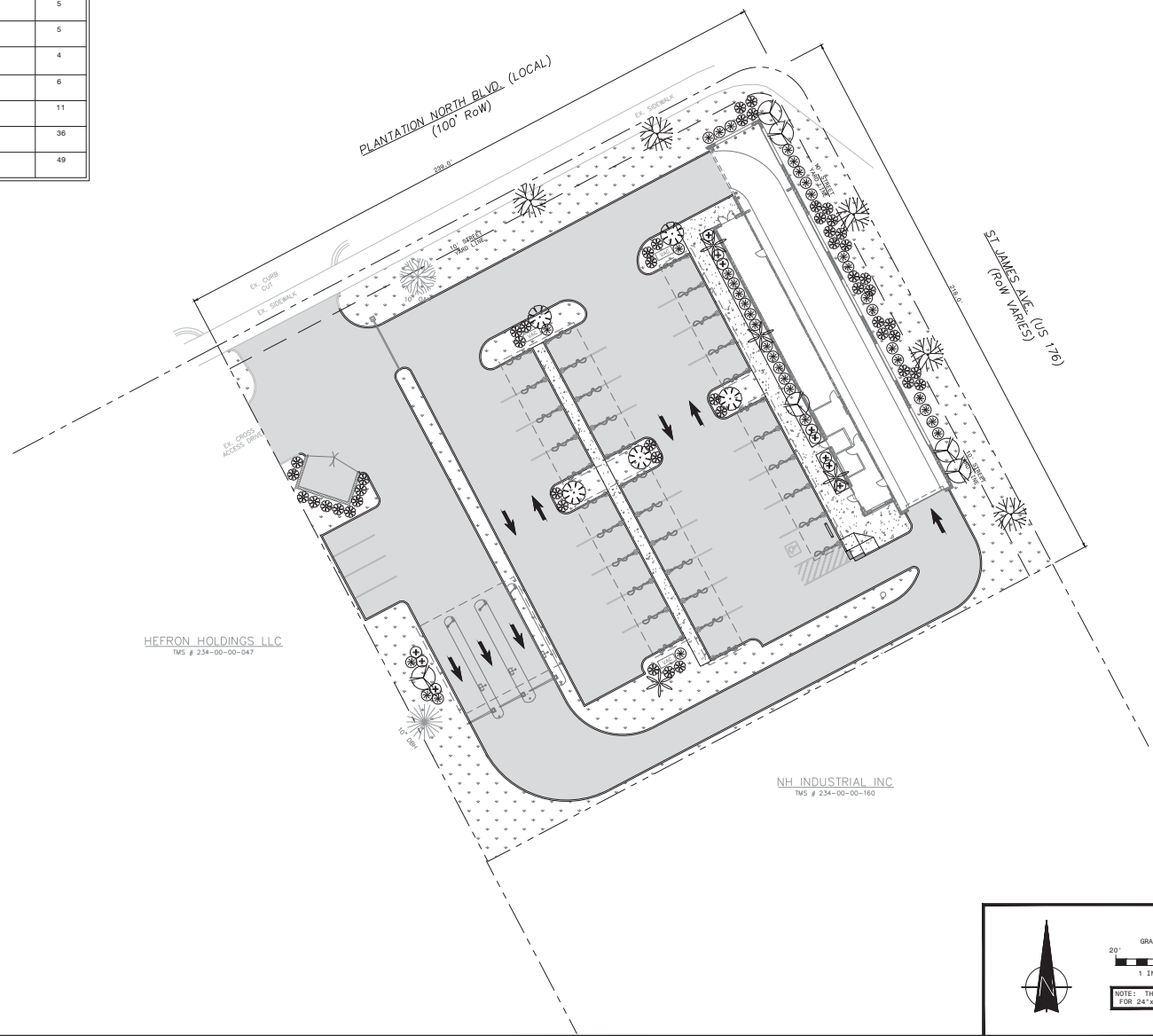


PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	CAL	SIZE	QTY
☼	LIVE OAK OR APPROVED EQUAL	2.5"	8-10' HT	5
☼	AMERICAN HOLLY OR APPROVED EQUAL	1"	6' HT	5
☼	SABAL PALM OR APPROVED EQUAL	1.5"	6' HT	4
☼	LITTLE BOW MADONIA OR APPROVED EQUAL	1.5"	6' HT	6
☼	INDIAN HAWTHORNE OR APPROVED EQUAL	3 GAL.		11
☼	PODACARPUS OR APPROVED EQUAL	3 GAL.		36
☼	LIGUSTRUM OR APPROVED EQUAL	3 GAL.		49

LEGEND	
	CONCRETE PAVEMENT
	SOD / INTERNAL LANDSCAPING
	CONCRETE SIDEWALK
	VACUUM MOTOR / EQUIP.
	VACUUM STATION

LANDSCAPE REQUIREMENTS	
	REQUIRED
STREET YARD REQUIREMENTS	
STREET FRONTAGE TREES	2 CANOPY TREES OF A MINIMUM OF 2.5" CALIPER (8-10' HT.) REQUIRED FOR EACH 100 LF OF STREET FRONTAGE.
BUFFER YARD REQUIREMENTS	
BUFFER YARD PLANTINGS	NONE REQUIRED (ADJACENT USE(S) IS COMMERCIAL / GC)
OTHER REQUIREMENTS	
LANDSCAPE AREA SHALL BE 12% OF THE TOTAL AVAILABLE AREA.	
10% OF PLANTINGS SHALL BE TREES OR 12 TREES PER ACRE, WHICHEVER IS GREATER.	
LANDSCAPED ISLANDS SHALL BE PROVIDED FOR EVERY 10 SPACES. 1 CANOPY & 2 SHRUBS SHALL BE PLANTED IN ISLANDS.	
SHRUBS MATURING TO 2' MIN. HEIGHT SHALL BE PLANTED AT 5' ON CENTER FOR THE ENTIRE LENGTH OF PROPOSED BUILDING FACADE FACING THE ROW.	

- LANDSCAPE NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR HIS OR HER OWN QUANTITIES. IF THERE IS A CONFLICT BETWEEN QUANTITIES AND SPACING, SPACING SHALL PREVAIL.
 2. ALL TREES AND SHRUBS SHALL BE MULCHED (2-3" IN DEPTH) WITHIN TWO DAYS AFTER PLANTING. MULCH SHALL COVER THE AREA OF THE PLANTING PIT, BED, OR SAUCER, AROUND EACH PLANT.
 3. ANY AREA DISTURBED DURING CONSTRUCTION NOT COVERED BY NEW CONSTRUCTION, SODDING, AND OR PLANT BEDS SHALL BE PERMANENTLY GRASSSED, AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
 4. ALL PLANTS SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 5. ALL PLANTINGS SHALL IN BE ACCORDANCE WITH THE LATEST CITY OF GOOSE CREEK LANDSCAPE ORDINANCES.



GRAPHIC SCALE
 20' 0 10' 20'
 1 INCH = 20 FT
 NOTE: THIS SCALE APPLIES FOR 24"x36" SHEETS ONLY.

PRELIMINARY - NOT FOR CONSTRUCTION

		803.760.3437 74 CALLENDERE CT COLUMBIA, SC 29906	
		DATE	
NO.	REVISIONS		
DESIGNED BY	DRAWN BY	CHECKED BY	DATE PLOT 2021
			JOB NO. 24000
			SCALE: 1"=20'
TIME TO SHINE AT ST JAMES AVE CITY OF GOOSE CREEK, SC TIME TO SHINE CAR WASH, INC. LANDSCAPE PLAN			
DRAWING NUMBER		C-103	



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 Knoxville, TN 37919
 Phone 865.584.7868
 Fax 865.584.3139
 falconco@gmail.com
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GOOSE CREEK
 ARCHITECTURAL REVIEW
 NOT FOR CONSTRUCTION
 08/02/21

TIME TO SHINE
 CARWASH

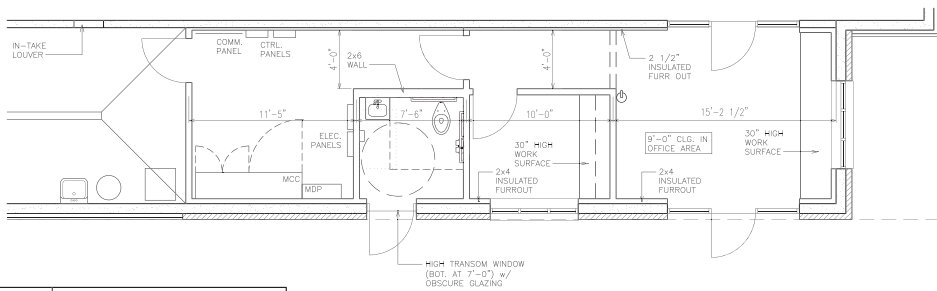
PLANTATION NORTH BLVD
 at ST. JAMES AVE
 GOOSE CREEK, SC 29445

FLOOR PLAN
 PRELIMINARY

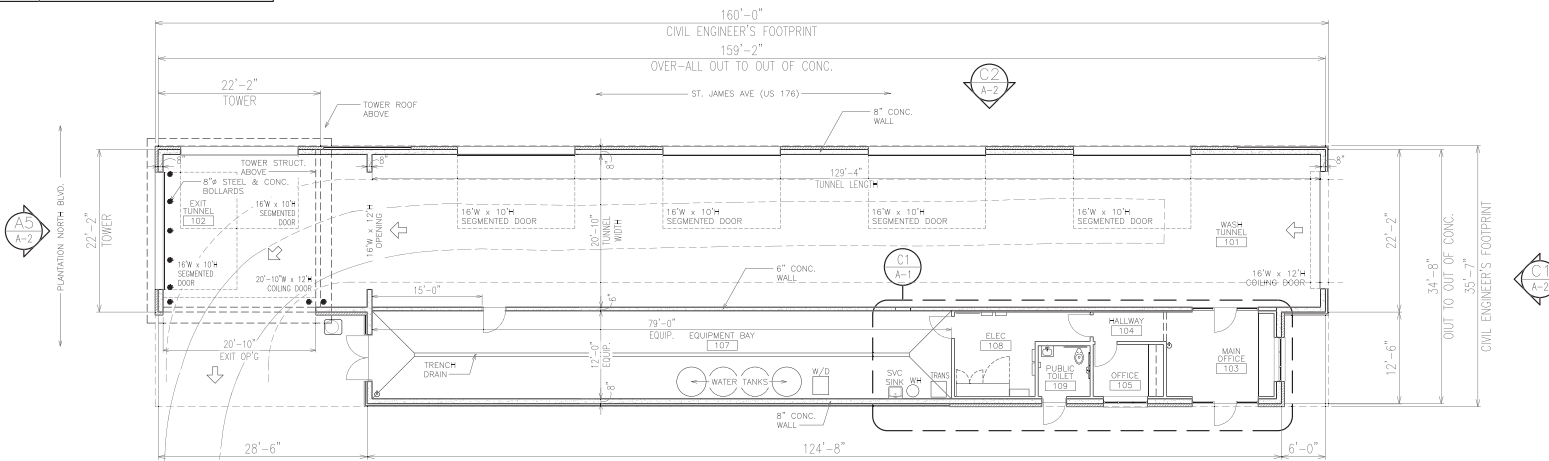
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DRAWN BY:	GHF
CHECKED BY:	DAF
ISSUED:	~
REVISION(S):	~
FILE:	2021-055

A-1



C1 OFFICE AREA DETAIL
 1/8" = 1'-0"



A1 FLOOR PLAN
 1/8" = 1'-0"





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TIME TO SHINE
CARWASH

PLANTATION NORTH BLVD
at ST. JAMES AVE
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EXTERIOR
ELEVATIONS
PRELIMINARY

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DRAWN BY: GHF
CHECKED BY: DAF

ISSUED: ~
REVISION(S): ~

~

~

~

~

FILE: 2021-055

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EXTERIOR FINISHES

GUTTERS:
COLOR: FIRESTONE "ELECTRIC BLUE"
DOWNSPOUTS:
COLOR: FIRESTONE "SIERRA TAN"
FASCIAS:
COLOR: FIRESTONE "ELECTRIC BLUE"

HOLLOW METAL DOORS & FRAMES:
SHERWIN-WILLIAMS "PORTABELLO"

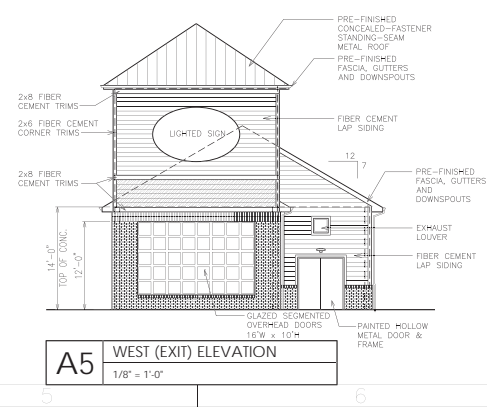
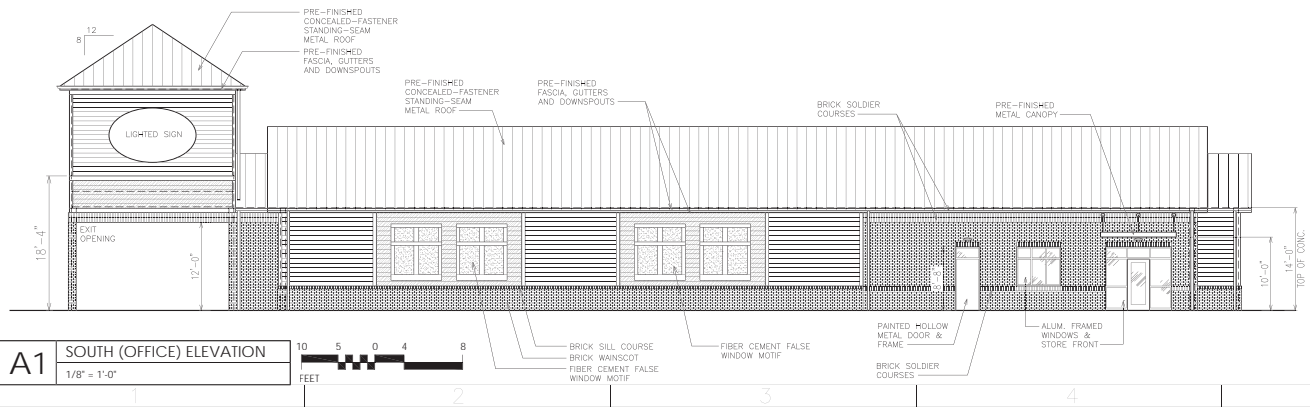
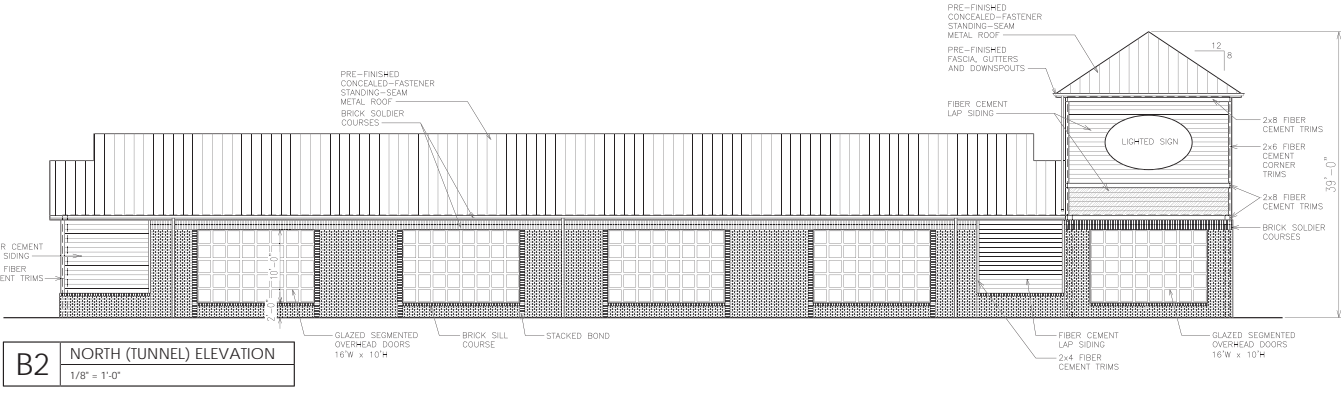
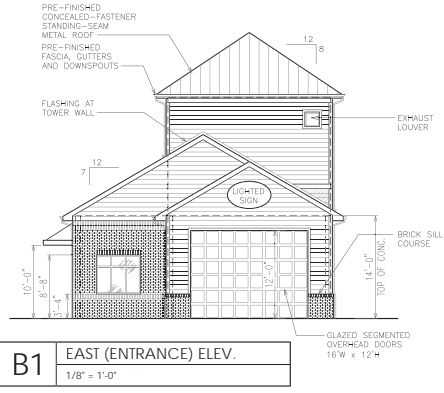
ALUMINUM WINDOWS & STOREFRONT:
CLEAR ANODIZED

PRE-FINISHED CANOPY (NOT SHOWN):
FIRESTONE "FIRESTONE RED"

BRICK VENEER:
GENERAL SHALE "JEFFERSON WADE TUDOR"
QUEEN SIZE

EXTERIOR PAINT COLORS:
EPT-1:
SHERWIN WILLIAMS "PORTABELLO" 6102
EPT-2:
SHERWIN WILLIAMS "PRACTICAL BEIGE" 6100
EPT-3:
WHITE

METAL ROOF:
DIXIE ROOFING SERIES 2000 24ga
FIRESTONE "ELECTRIC BLUE"





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TIME TO SHINE
 CARWASH

PLANTATION NORTH BLVD
 at ST. JAMES AVE
 GOOSE CREEK, SC 29445

EXTERIOR
 ELEVATIONS
 COLOR
 PRELIMINARY

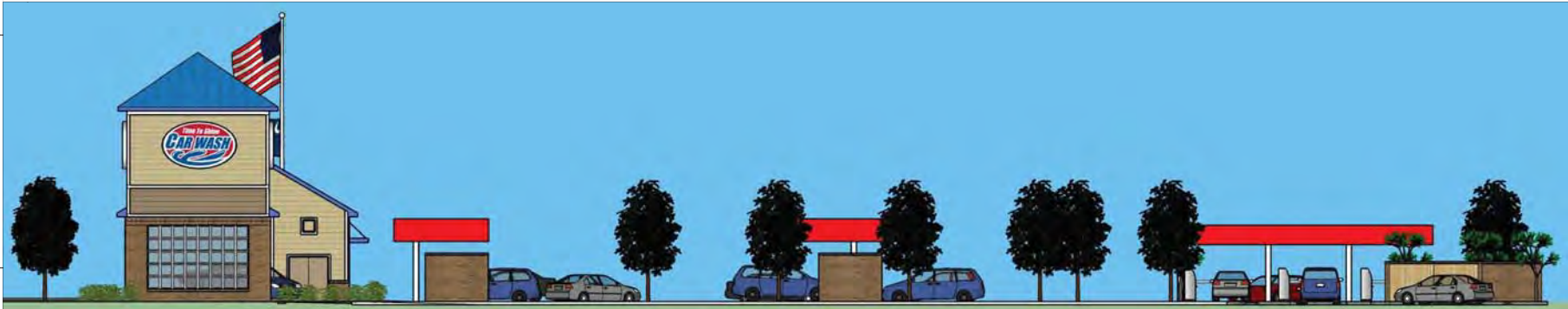
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DRAWN BY: GHF
 CHECKED BY: DAF
 ISSUED: ~
 REVISION(S):

△	~	△	~

FILE: 2021-055

A-3.1



B1 EXIT ELEVATION
 1/8" = 1'-0"



A1 ENTRY ELEVATION
 1/8" = 1'-0"





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 GOOSE CREEK, SC 29445

EXTERIOR
 ELEVATIONS
 COLOR
 PRELIMINARY

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ISSUED:	~
REVISION(S):	~
FILE:	2021-055

A-3.1



B1 TUNNEL ELEVATION
 1/8" = 1'-0"



A1 OFFICE ELEVATION
 1/8" = 1'-0"





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TIME TO SHINE
 CARWASH

PLANTATION NORTH BLVD
 at ST. JAMES AVE
 GOOSE CREEK, SC 29445

SITE
 PERSPECTIVES

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ISSUED:	~
REVISION(S):	~
△ ~	△ ~
FILE:	2021-055

A-4.1



A1 SITE PERSPECTIVE
 NO SCALE



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TIME TO SHINE
 CARWASH

PLANTATION NORTH BLVD
 at ST. JAMES AVE
 GOOSE CREEK, SC 29445

SITE
 PERSPECTIVES

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CHECKED BY:	DAF
ISSUED:	~
REVISION(S):	~
△ ~	△ ~
FILE:	2021-055

A-4.2



A1 SITE PERSPECTIVE
 NO SCALE



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GOOSE CREEK
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 NOT FOR CONSTRUCTION
 08/02/21

TIME TO SHINE
 CARWASH

PLANTATION NORTH BLVD
 at ST. JAMES AVE
 GOOSE CREEK, SC 29445

BUILDING
 PERSPECTIVES

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DRAWN BY:	GHF
CHECKED BY:	DAF
ISSUED:	~
REVISION(S):	~
FILE:	2021-055

A-5.1



C1 BUILDING PERSPECTIVE
 NO SCALE



A1 BUILDING PERSPECTIVE
 NO SCALE



A4 BUILDING PERSPECTIVE
 NO SCALE

Design Memorandum

TO: Architectural Review Board
FROM: Mark Brodeur, Planning and Zoning
Director
DATE: August 16, 2021
SUBJECT: Time to Shine Car Wash

Dear ARB Members:

I'd like to share some comments on this project. I am sharing because of the prominent corner of this proposal.

The Site Plan

This proposed Site Plan for the project has several admirable aspects that mitigate the usual issues associated with vehicular flow. Here is what is positive about the site plan.

- The building mass is located at the intersection.
- Vehicular connection to Plantation North shopping center.
- A deep entry access to payment kiosk permits car stacking
- A significant vehicle queue into wash car wash structure
- Provided parking spaces are extra-wide to accommodate open door vacuuming
- Plenty of parking spaces for individual car vacuuming
- A drive thru "escape" lane

Of course, there are always potential improvements that could improve on-site vehicular flow. I offer the following suggested modifications for ARB consideration.

- Customer spaces would be easier to access if they were diagonal. Seniors have a more difficult time pulling into perpendicular parking spaces.
- Coupled with diagonal spaces, the proposed two-way circulation would prove more problematic than a simple one-way flow. Subsequently, the aisle dimensions could be reduced and drivers only have to look in one direction before pulling out of the space.
- Four employee/customer spaces may not be sufficient.
- Place brick pilasters along the St. James and Plantation North frontages (see images below).
- An alternate location for the dumpster should be considered or an upgraded design that is less utilitarian in nature.

The Architecture

The proposed building architecture needs considerable upgrading due to the prominence of the commercial intersection along St. James Avenue. Staff understands that car washes are mostly utilitarian, and that form follows function. However, that does not mean that Goose Creek needs to settle for uninspiring commercial design on an important corner.

Staff suggests that the ARB instruct the architect to return with another design proposal. Staff has reviewed three (3) other “Time to Shine” car washes in the Low Country and suggests that Goose Creek may not be receiving a very compelling design solution for this prominent location.

Without delving into unnecessary negative commentary, the Planning Director suggests that the ARB instruct the architect to return with a design that is more in keeping with the current “Time to Shine” on Savannah Highway shown below. There are several reasons to do this.

- Using an existing car wash design reduces costs of a total redesign.
- A 2-Story building mass is preferred on this corner. The current proposal is a one-story with a tower element.
- The design is fresh, clean and interesting. The proposed architecture is too gimmicky with its blue roofs and red trimmed shade canopies. This all needs to be toned-down a bit.
- The brick accents compliment architecture on other corners.



TIME TO SHINE CARWASH – SAVANNAH HWY – STREET VIEW GOOGLE MAPS

TIME TO SHINE CAR WASH – S



TIME TO SHINE CARWASH – SAVANNAH HWY. – STREET VIEW GOOGLE MAPS



TIME TO SHINE CARWAS – SAM RITTENBURG – STREET VIEW GOOGLE MAPS



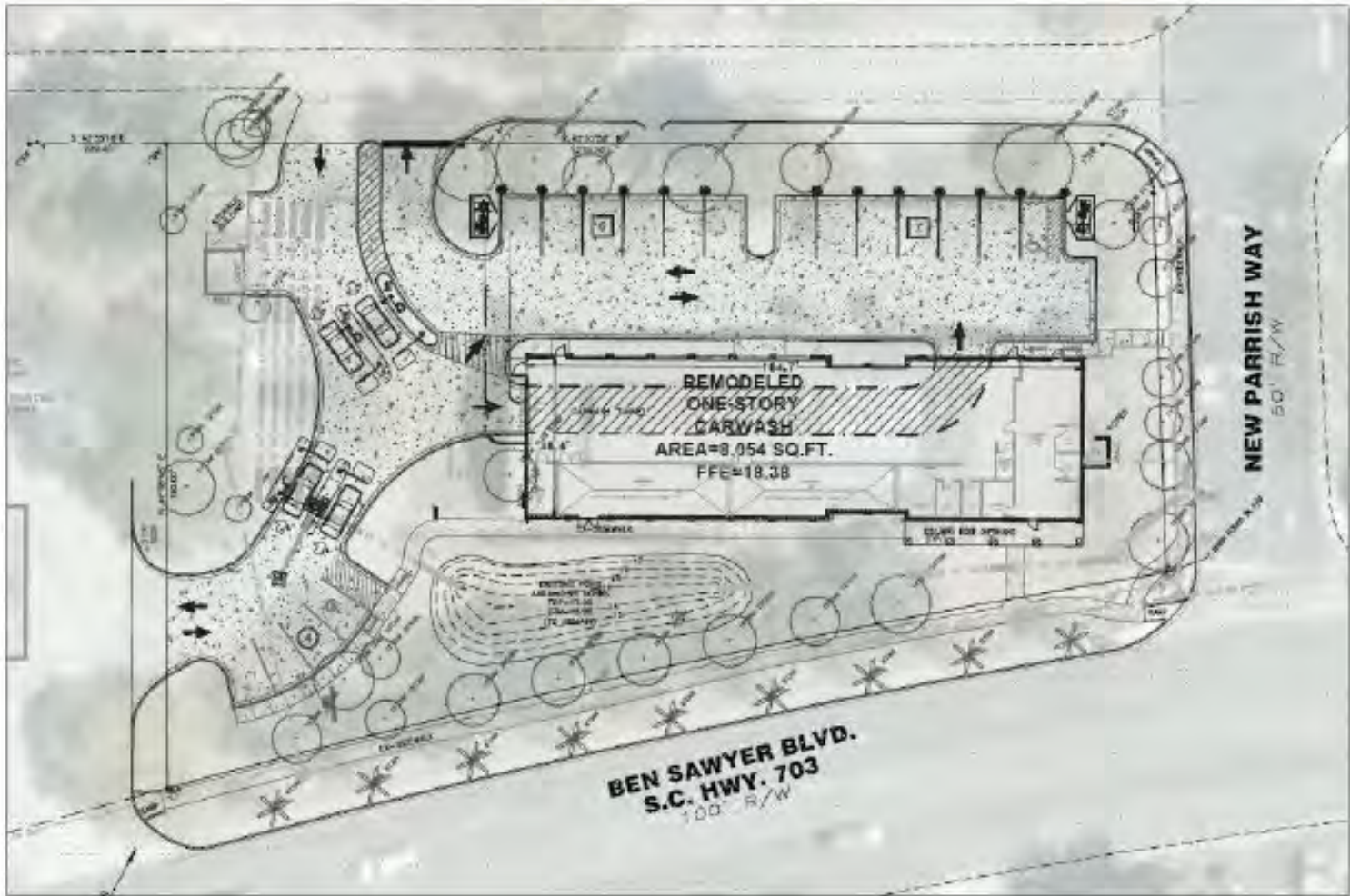
TIME TO SHINE CARWASH – SAM RITTENBURG – REAR STREET VIEW GOOGLE MAPS

TIME TO SHINE

**1406 BEN SAWYER BLVD
MOUNT PLEASANT, SOUTH
CAROLINA**



1406 BEN SAWYER BLVD.
MOUNT PLEASANT, SC 29464





EXISTING BUILDING FACADE FACING BEN SAWYER



EXISTING BUILDING FACADE FACING BEN SAWYER



EXISTING BUILDING FACADE FACING PRIVATE DRIVE



EXISTING BUILDING FACADE FACING PRIVATE DRIVE



KIOSK AT TIME TO SHINE ON SAM RITTENBURG



VACUUM BOOMS AT TIME TO SHINE ON SAM RITTENBURG



coast
Architects
 1210 S. PALM BLVD., SUITE 100
 FORT LAUDERDALE, FL 33304
 WWW.COASTARCHITECTS.COM

DATE

TIME TO SHINE CARWASH
 1400 S. RITTENBURG BLVD
 FORT LAUDERDALE, FL 33304

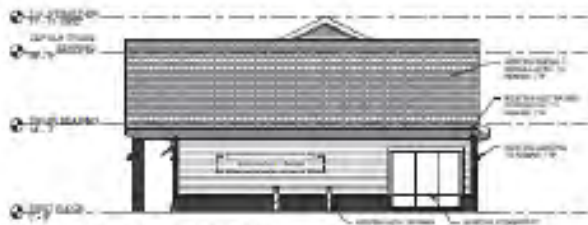
NO.	DESCRIPTION	AMOUNT
1	EXISTING PHOTOGRAPHS	2000.00

EXISTING PHOTOGRAPHS

PH001

DATE PLOTTED: 08/14/2014 10:00 AM

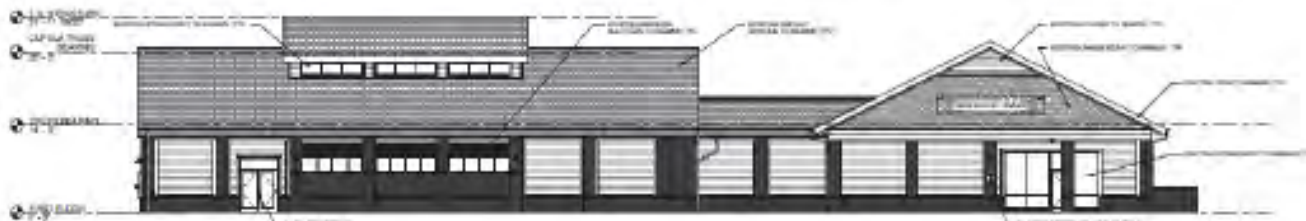
EXTERIOR FINISH MATERIAL SCHEDULE	
NO.	DESCRIPTION
1	CLADDING: EXTERIOR WALLS
2	ROOFING: ASPH/FLT SHINGLES
3	CEILING: GYP BOARD
4	FLOORING: POLISHED CONCRETE
5	PAINT: EXTERIOR WALLS
6	PAINT: INTERIOR WALLS



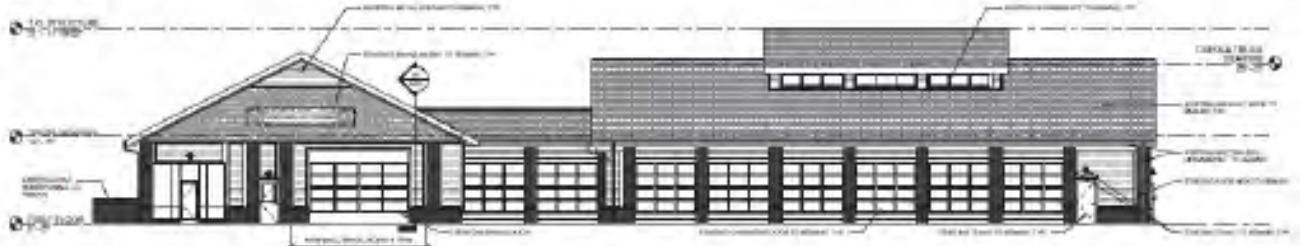
PARISH WAY ELEVATION
SCALE: 1/8" = 1'-0"



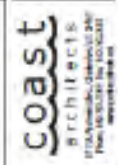
PRIVATE DRIVE NORTHERN ELEVATION
SCALE: 1/8" = 1'-0"



BEN SAWYER BLVD ELEVATION
SCALE: 1/8" = 1'-0"



PRIVATE DRIVE EASTERN ELEVATION
SCALE: 1/8" = 1'-0"



TIME TO SHINE CARWASH
1450 BEN SAWYER BOULEVARD
MOUNT PLEASANT, SC 29584

DATE PLOTTED: 2/26/20
INTERIOR ELEVATIONS & EXTERIOR FINISH SCHEDULE
A201

PAID

OFFICE USE ONLY	
PERMIT #:	044270
AMOUNT DUE: \$	75.00
DATE PAID:	08/02/2021

CITY OF GOOSE CREEK SIGN PERMIT APPLICATION

Today's Date: 7/30/21 Permit Fee: \$75.00

1. Business Owner Mistina Chambers Business Phone 206 399-7033
 Name of Business Hurricane Coffee Alternate Phone _____
 Street Address of Business 2424 N. Main Street; Summerville, SC 29486

Landlord/Lessor _____ Landlord's Phone _____
 Sign Company POSITIVE SIGNS, LLC dba Signarama of Charleston Sign Co. Phone 843, 881.7881

Sign Co. Contact Andy Bonner Sign Co. Address 1340 Chuck Dawley Blvd; Mount Pleasant, SC 29464

2. Cost of Sign(s) \$ 15,892.08 Sign Installation Cost \$ 6997.50 Total Cost \$ 22889.58

3. How many signs are you applying for? 2 How many signs does this business already have? None

4. What kind of signs does this business already have? None None

5. What type of business is applying for this sign permit:
 A. A stand alone business? Yes No
 B. A part of a shopping center? Yes No If yes, shopping center name: _____

6. What is the TMS number for this property? 222 - 07 - 00 - 004

7. What is the front setback of the business in feet? 106 (The distance from the front property line to the front of business)
 A. For corner lots only, what is the front setback for second street frontage in feet? _____

8. What is the width of the business in feet? 24.6 (The distance from wall to wall)
 A. For corner lots only, what is the width of the business for second street frontage in feet? _____

9. What is the property's road frontage in feet? N/A (This only applies to shopping centers erecting a freestanding sign)

10. Please attach photos showing:
 A. The storefront in relation to adjacent businesses;
 B. The specific location of proposed sign(s) on the property or building; and
 C. The actual sign if it already exists.

OFFICE USE ONLY	
MAX. NO. OF ALLOWED SIGNS:	_____
MAX ALLOWED SIGN AREA:	_____

11. Please attach drawings of each proposed sign showing (drawn to scale):
 A. The completed sign as it will actually appear on the building
 B. All dimensions;
 C. Where the colors will appear;
 D. The location on the property (on a plat) of proposed & existing freestanding signs
 E. The location on the building of proposed & existing building signs

12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.

13. Please complete the Sign Information Table located on the following page.

14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
 • Please submit this application by the 1st Monday of the month for consideration that month by the ARB.
 • The ARB meets on the 3rd Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

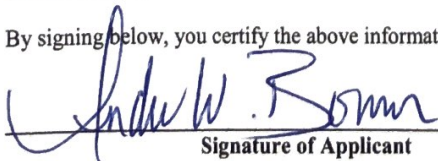
NOTE: Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

SIGN INFORMATION TABLE

Required Information	Sign 1 Roof Mounted	Sign 2 Freestanding	Sign 3
Materials: (metal, plastic, wood, etc.)	Aluminum, Plastic Face	Aluminum with Plastic Faces	
Illumination: Exterior, interior or not lighted	Interior: LED	Interior: LED	
Type of Sign:	Roof mounted Capover cabinet	Freestanding Monument Sign	
Height (FEET)	5'	Cabinet to sign Plus Base: 7'	Cabinet itself: 5'
Width (feet)	6.875'	9'	
Area (square feet)	34.375	45	
All colors used on sign	Blue, Brown, Black, white	Blue, Brown, Black, white	
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	Y (entire sign)	Y: Arrow is 24" x 74"	
Projection from building or cabinet width (thickness)	5"		
Number of styles of lettering	1	1	
Height of letters (if channel letters)	N/A	N/A	
If mounting individual letters, space between letters	N/A	N/A	
If mounting individual letters, space between words	N/A	N/A	
If window sign, size of window	N/A	N/A	
If changeable copy sign (reader board), number of lines	N/A	N/A	
If freestanding sign, distance between sign and street curb (ft)	N/A	12.5'	
If freestanding sign, total height above grade (ft)	N/A	7'	
If freestanding sign, landscaping materials to be planted at base of sign	N/A	short decorative plants (annuals, perennials, etc.)	

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999):

By signing below, you certify the above information that you provided to be true and correct.


 Signature of Applicant

7/30/21
 Date

OFFICE USE ONLY

Remarks: _____

Approval: Zoning Administrator _____ Issued by: _____ Date: _____



City of Goose Creek Business License Department
 519 N. Goose Creek Blvd.
 Goose Creek, South Carolina 29445
 843.797.6220 extension 1100 or 1122

License Year 2021

New/Renewal/Update Business Type: Ind/(C)Corp./Part. NAICS238990 Class 8 License # 03015

Business Name				POSITIVE SIGNS, LLC dba Signarama of Charleston			
Mailing Address				1340 Chuck Dawley Blvd.			
City		State	Zip	Job location			Summerville SC
Mount Pleasant		SC	29464	Hurricane Coffee 2424 N. Main St.			29404
Name of Point of Contact				Andy Bonner			
Local Office Phone #		Home Office Phone #					
843 881 7881		843 881 7881					
E-Mail		Web Address					
andy@signarama-charleston.com		signarama-charleston.com					
Federal Tax Id. Number		State Retail Sales #					
461532611		010070843					
Description of Business							
Full service sign shop							
Business Owners Name							
Andrew W. (Andy) Bonner							
Business Address							
1340 Chuck Dawley Blvd.							
City		State	Zip				
Mount Pleasant		SC	29464				
Soc. Sec. #		Date of Birth		Driver's License State and #			
414 23 6647		1/10/72		SC 103278593			
Projected Gross Income/Contract Amount				Period Revenue Earned From and To			
22,889.58				job specific			
Business License Fee Calculations							
Fee		250.80					
Penalty		5% per month until paid/Renewals due last day of February					
Express Business Lic. Fee							
# of mach.		Pool Tables/Amusement Mach. \$12.50 each machine					
Amusement Mach. Oper.		\$12.50 License Fee (location of machine)					
		250.80 Total Fee Due					

Certification of Applicant

I certify the information given on this application is true, the gross income is accurately reported or estimated without any unauthorized deduction, and all assessments and personal property taxes payable to the city have been paid. I understand I am not relieved of the responsibility of meeting all City of Goose Creek Zoning and Building Code requirements, and that I am subject to all provisions of the business license ordinance of the City of Goose Creek. The City of Goose Creek has the right pursuant to the SC Debt Collection Act to collect any delinquent sum due through offset of the state income tax refund including all fees.

Signature of Owner or Authorized Agent
 Andrew W. Bonner
 Printed Name of Owner or Authorized Agent
 Andrew W. Bonner
 Date
 7/30/21

For Office Use Only	
Police Dept:	
Attachments yes no	
City Planner:	
Finance Dir:	
City Admins:	

BCGIS Advanced Desktop Mapping



2424 N. Main St

Show search results for 2424 N...

2220700001

2220700002

2220700003

Goose Creek

2220700004

2424

Search result

2424 N MAIN ST

[Show more results](#)

[Zoom to](#)

2418

2220700005

2414

2220700006



10m
40ft

2,274,994.58 444,965.73 Feet

Layer List

Layers

Layers



Property Card

Summary Information:

TMS: 222-07-00-004

Owner Information:

ST LAURENT PROPERTIES LLC
PO BOX 2547

MOUNT PLEASANT, SC 294652547

Owner Occupied Property: NO

Homestead Exempt (Age 65+ or Disability): No

Council District: C4

Fire District: F20

Tax District: T18

TIS Zone: 1

Jurisdiction: 1P

Acres: 0.00

Lots: 1.0

Neighborhood: D770 - CARNES CROSSING

Appraiser ID: NM

Lot: 5 Block: Section:

Zoning: Goose Creek - GC

Parent TMS:

Notes:

Site addresses:

2424 N MAIN ST
SUMMERVILLE, SC 29486, Unit/Lot:

Previous Owner History:

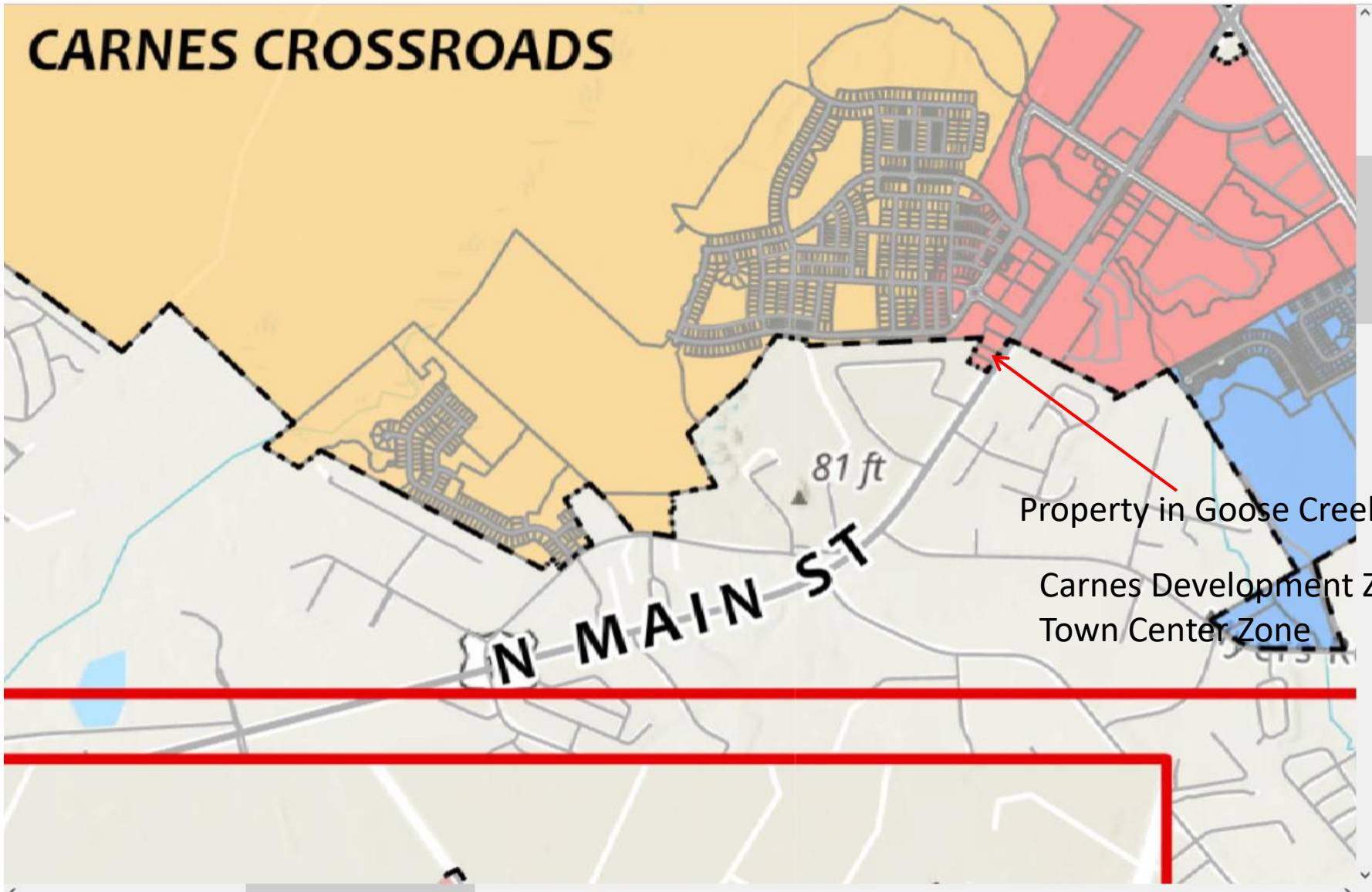
Owner: ROGERS JONATHAN LOUIS & PEGGY LOUISE AS CO TRUSTEES,	Sale Date: 10/25/2013	Sale Price: \$0.00	Deed Book-Page: 10449 - 162	Plat: BK W - 39	Transfer Notes: CONSIDERATION OF \$125,00 IS FOR 222-07-00-003 & 004 11/13
Owner: ROGERS JOHANATHAN L & PEGGY ,	Sale Date: 04/10/2008	Sale Price: \$10.00	Deed Book-Page: 8374 - 215	Plat:	Transfer Notes: SALE INCLUDES -003 & -004
Owner: BENJAMIN F BROWN	Sale Date: 12/10/1984	Sale Price: \$50,000.00	Deed Book-Page: A583 - 0138	Plat: W - 39	Transfer Notes: 1 LOT Acres Recorded on Plat W - 39
Owner: KEVIN T & FRANK DUBIS	Sale Date: 10/11/1982	Sale Price: \$5,000.00	Deed Book-Page: A484 - 0056	Plat: W - 39	Transfer Notes: 1 LO Acres Recorded on Plat W - 39
Owner: JULIA STEVENS	Sale Date: 11/09/1973	Sale Price: \$28,000.00	Deed Book-Page: A270 - 0162	Plat:	Transfer Notes:

Assessment Notice Reprint

Choose the tax year of the notice you would like to reprint ... ▾

Reprint

CARNES CROSSROADS



Property in Goose Creek

Carnes Development Zone:
Town Center Zone

N/F
EDVIN A. & MARLENY GONZALEZ
PIN: 2220700005
DB. 4476, PG. 166
PB. W, PG. 39
ZONE: R2

N31° 37' 26"W
223.90'

10' SIDE SETBACK

10' SIDE SETBACK

20' FRONT SETBACK

20' FRONT SETBACK

EX. CONCRETE PAD

10'x70' S.I.

10'x70' S.I.

Right of way

Curb & Gutter



~106'

N MAIN STREET (US-1)
EX. VARIABLE PUBLIC

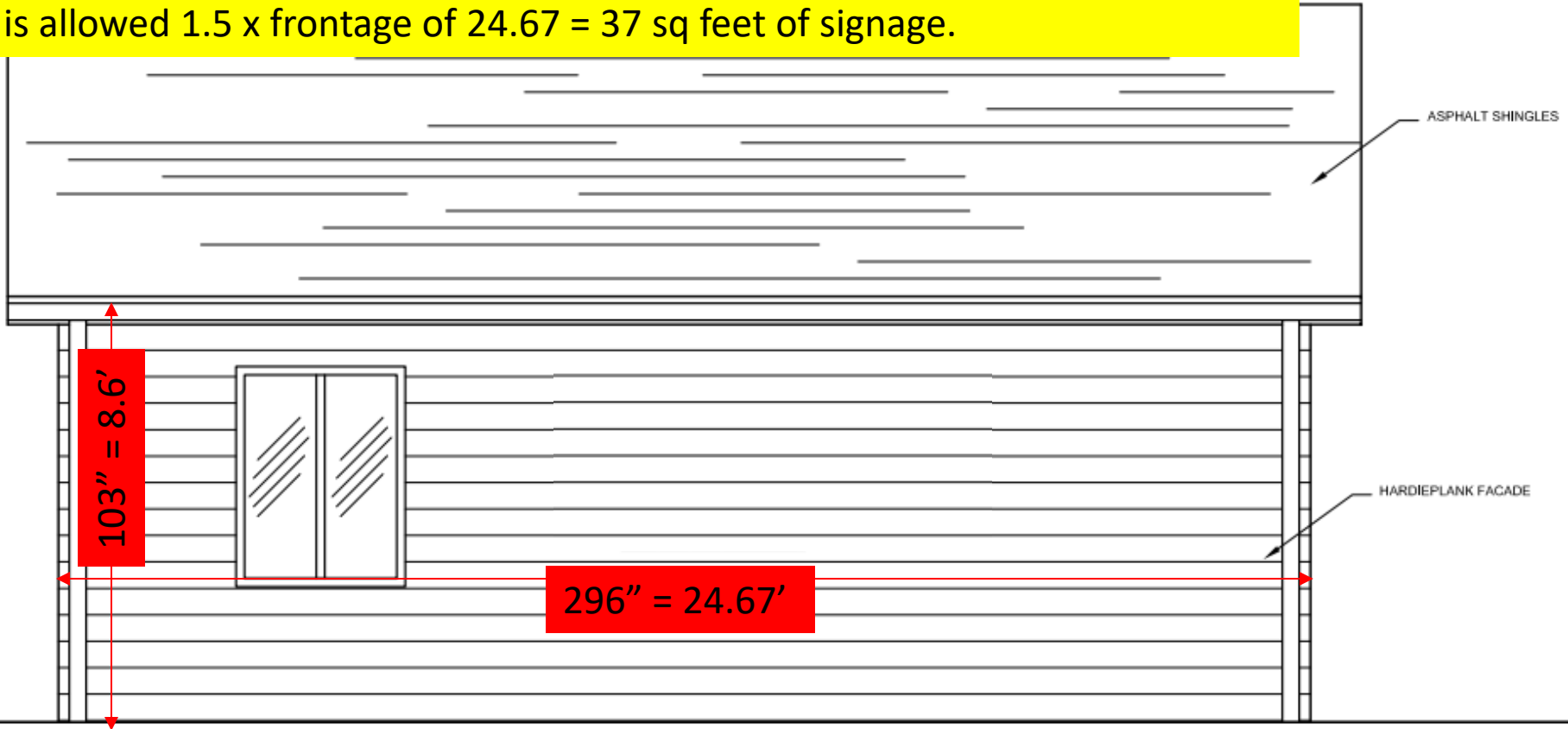
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

Allowable Signage:

As building is located 106' from property line (see next page), the business is allowed 1.5 x frontage of 24.67 = 37 sq feet of signage.



6
A-01

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

<i>Distance From Front Property Line To Business Front:</i>	<i>Business Frontage Multiplied By:</i>	<i>Total Area (Square Feet) Not To Exceed:</i>	<i>Total Number Of Signs Not To Exceed:</i>
0-99 feet	1	200	2
100-399	1.5	300	3
400 feet or more	2	400	4

Note: The intent of this section is to not have a sign dominating the overall size of the building. Any sign is subject to the aesthetic review of the Architectural Review Board.

2424 N. Main Street; Summerville, SC 29486

Proposed Roof-Mounted Sign:
Internally illuminated logobox cabinet

Embossed and painted. Cap over face
Internal illumination. Quantity 1



Job Name

Hurricane Coffee Co

Date:

7/31/20

Notes

82.5" wide x 60"
tall Sign Cabinet

Square Footage:
34.4

CUSTOMER'S APPROVAL

- Approved
- Approved With Changes
- Revise and Proof Again

Signature _____
Date _____

PROPERTY MANAGER'S APPROVAL

- Approved
- Approved With Changes
- Revise and Proof Again

Signature _____
Date _____



Signarama
CHARLESTON

1340 Chuck Dawley Blvd., Mt. Pleasant, SC 29464 • PH 843.881.7881 • Fax 843.881.7883 • Andy@Signarama-Charleston.com • Signarama-Charleston.com

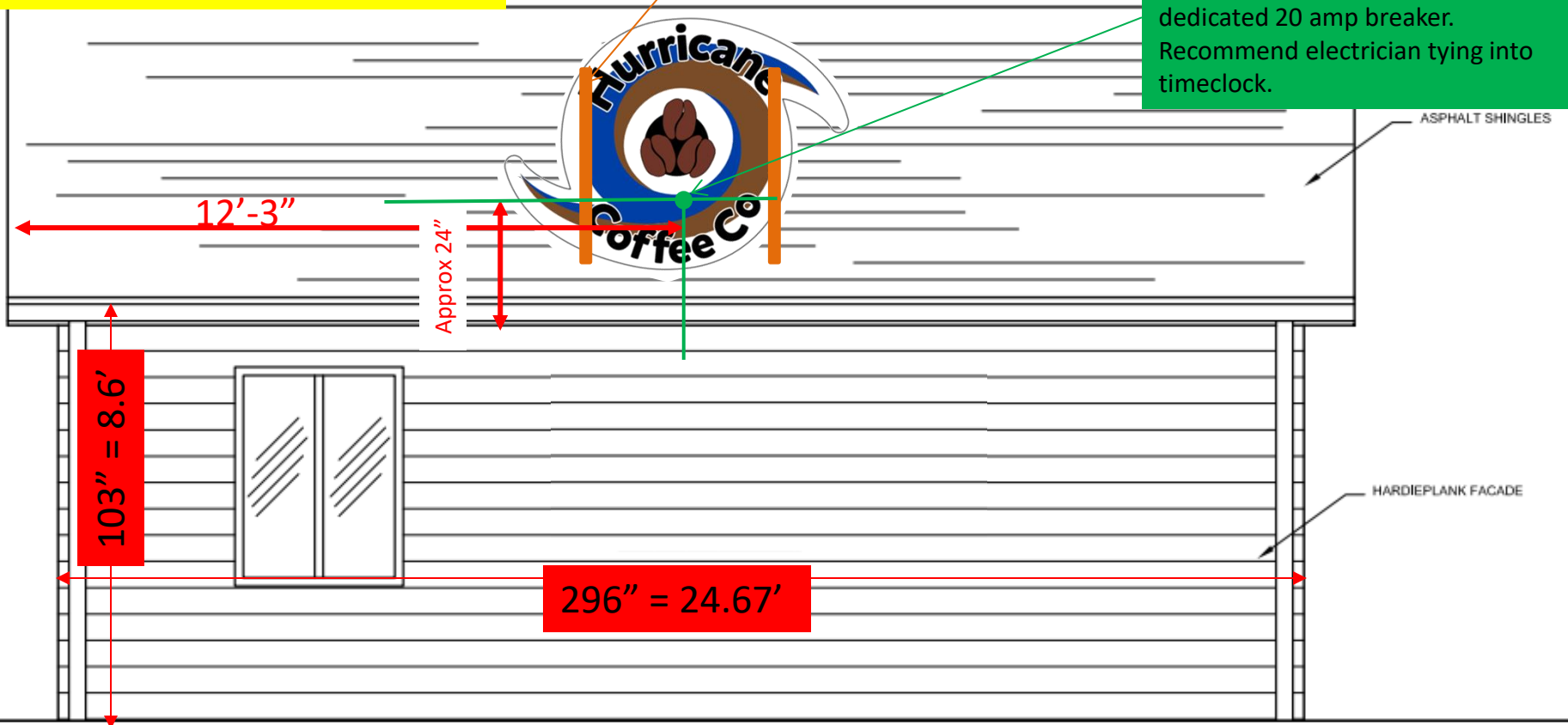


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**Proposed Building Sign:
Roof-Mounted**

Proposed Bracket (Engineer to provide specifications)

Power Must be provided by others for roof-mounted sign. 120V on dedicated 20 amp breaker. Recommend electrician tying into timeclock.



SOUTH ELEVATION

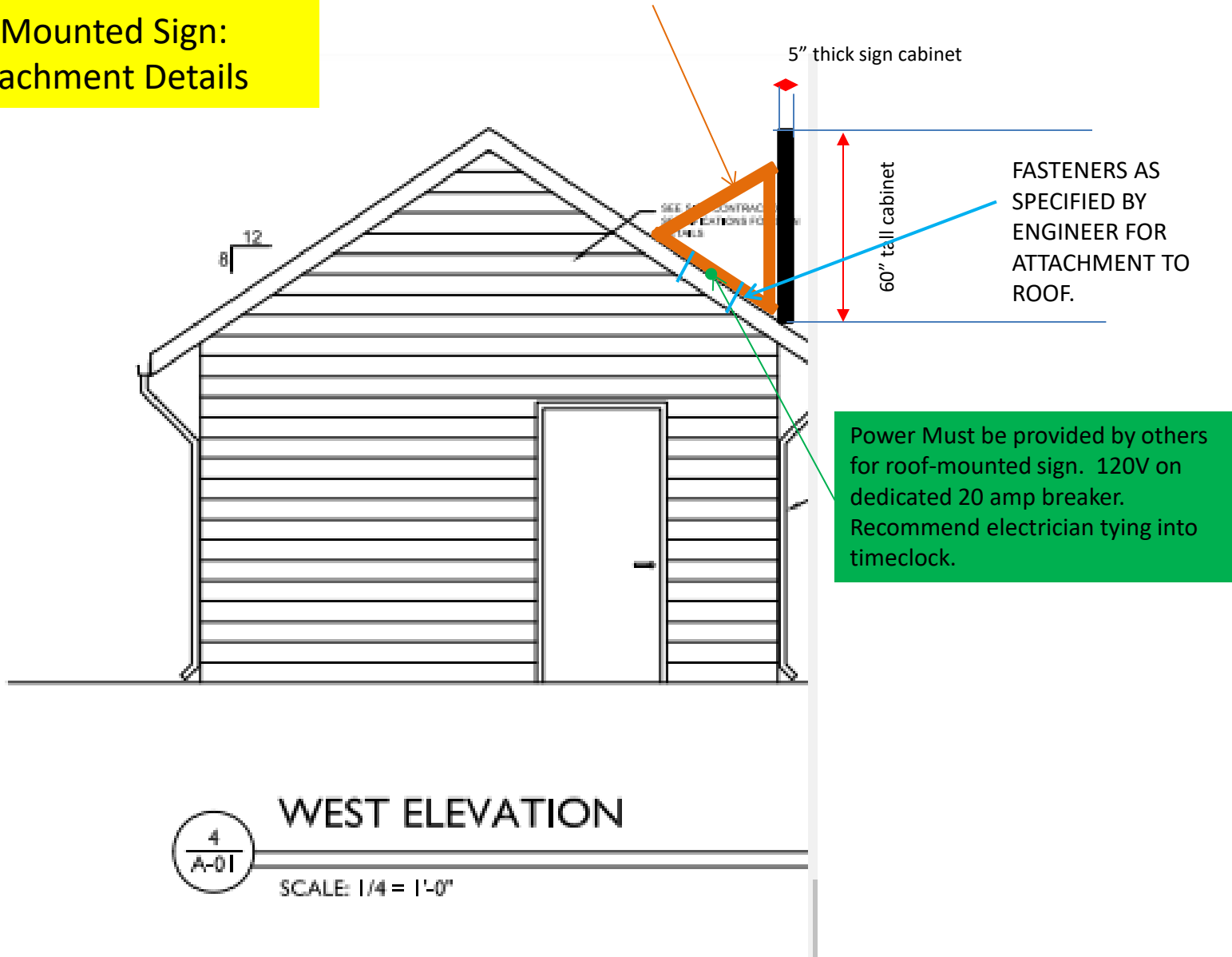
6
A-01

SCALE: 1/4" = 1'-0"

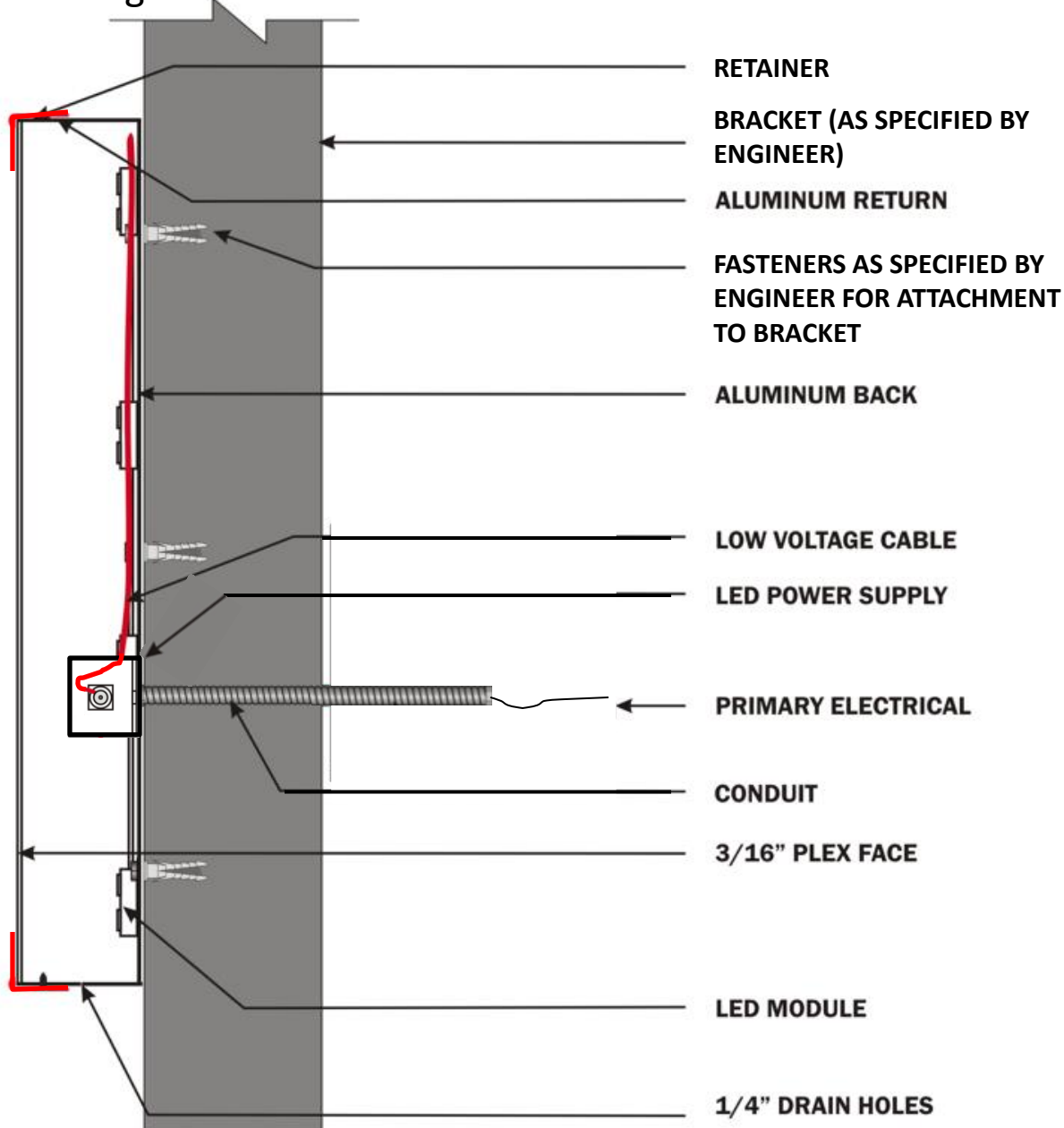
2424 N. Main Street; Summerville, SC 29486

Proposed Bracket as specified by engineer

Proposed Roof-Mounted Sign: Bracket and Attachment Details

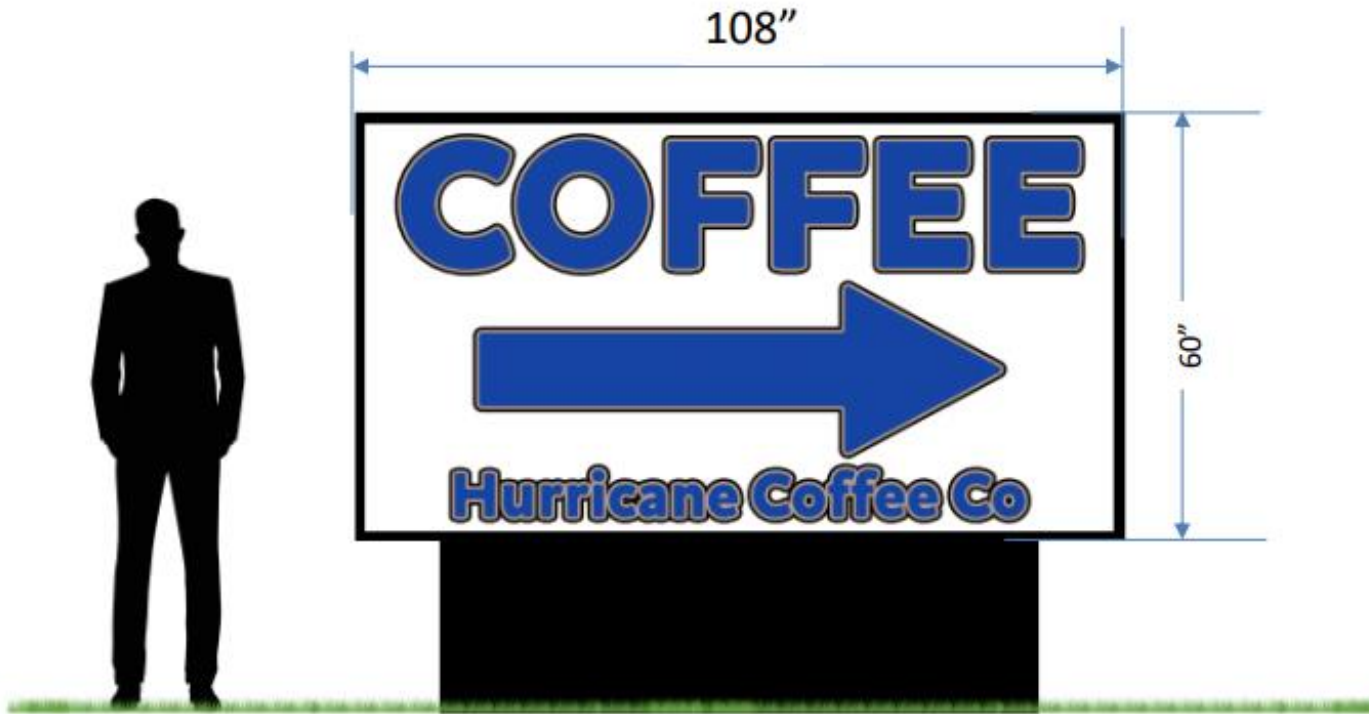


Roof-Mounted Sign: Electrical Detail



Proposed Roadside Sign

OPTION 8 (E)



Overall Sq Footage: 108" x 60" = 45 sq feet
 Overall Sign Height: 2' base + 5' sign = 7' tall

Job Name

Hurricane Coffee Co

Date:

7/29/20

Notes

Roadside Sign

OPTION 8 (E)

45 sq ft cabinet that is 9' wide, 5' tall on top of base that is 2' tall x 7' wide

CUSTOMER'S APPROVAL

- Approved
 - Approved With Changes
 - Revise and Proof Again
- Signature _____
Date _____

PROPERTY MANAGER'S APPROVAL

- Approved
 - Approved With Changes
 - Revise and Proof Again
- Signature _____
Date _____



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CHARLESTON



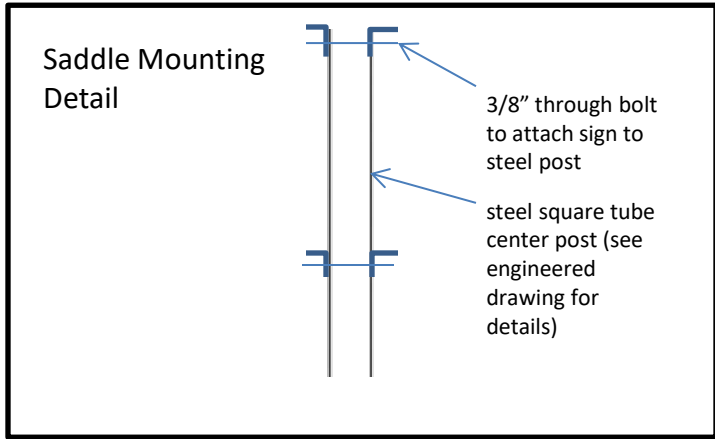
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Proposed Monument – Construction Detail



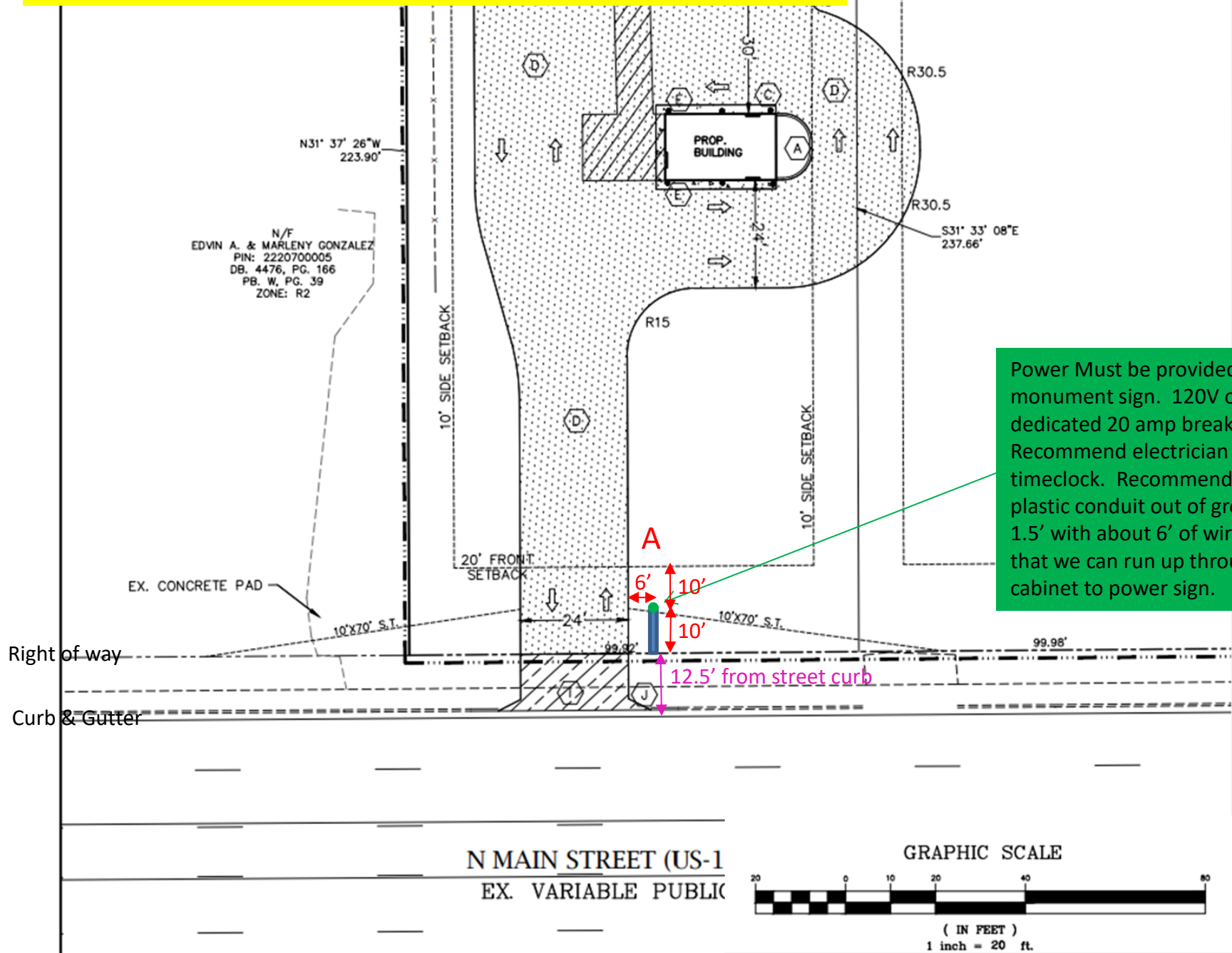
- Double-Sided cabinet (12' deep)
- Embossed Acrylic Faces
- Internally illuminated LED lighting
- Pole skirt
- Single-pole mounted (saddle mount)
- steel square tube center post
- Base of cabinet to be black



Foundation Details
(See Engineered Drawing)



Roadside Sign Location (Option A: Preferred Location)



Power Must be provided for monument sign. 120V on dedicated 20 amp breaker. Recommend electrician tying into timeclock. Recommend leaving plastic conduit out of ground about 1.5' with about 6' of wire coiled up that we can run up through sign cabinet to power sign.